

PLANNING SUBMITTAL FOR:

# 29 W SUMMIT DRIVE

EMERALD HILLS, CA



**PROJECT TEAM INFO:**

**Developer**  
**Thomas James Homes**  
 255 Shoreline Dr Suite 428  
 Redwood City, CA 94065  
 Tel: (408) 402-3024

**Architect**  
**Dahlin Group**  
 5865 Owens Drive  
 Pleasanton, CA 94588  
 Tel: (925) 251-7200  
 Contact: Jaime Matheron  
 jaime.matheron@dahlingroup.com

**Landscape**  
**Roach & Campbell**  
 111 Scripps Drive  
 Sacramento, CA 95825  
 Tel: (916) 945-8003  
 Contact: Aimee Hendrie  
 aimee@roachcampbell.com

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**DEVELOPMENT SUMMARY**

LOCATION 29 W SUMMIT DR.  
 ASSESSOR'S PARCEL NUMBER 057-123-010  
 PARCEL AREA - GROSS 10,953 SQ. FT. 0.25 AC  
 ZONING DESIGNATION RH/DR  
 OCCUPANCY GROUP R-3  
 CONSTRUCTION TYPE V-B

MAX. FLOOR AREA RATIO 3,286 SQ. FT.  
 PROPOSED FLOOR AREA 2,907 SQ. FT.

MAX. LOT COVERAGE 2,667 SQ. FT.  
 PROPOSED LOT COVERAGE 2,419 SQ. FT. 22.03%

MAX. BUILDING HEIGHT 28'  
 (NO DAYLIGHT PLANE IN RH DISTRICT)  
 PROPOSED BUILDING HEIGHT 26'-3"

**REQUIRED SETBACKS:**

FRONT - STREET (FT) 20'  
 SIDE - RIGHT (FT) 12'-6"  
 SIDE - LEFT (FT) 7'-6"  
 (20' MAX. COMBINED)  
 REAR (FT) 20'

**PROPOSED SETBACKS:**

FRONT - STREET (FT) 20'-2"  
 SIDE - RIGHT (FT) 28'-4"  
 SIDE - LEFT (FT) 15'-0"  
 REAR (FT) 41'-5"

**PARKING REQUIRED:**  
 (2) STALLS (PROVIDED IN GARAGE), (2) GUEST PARKING STALLS (PROVIDED IN DRIVEWAY AND RIGHT OF WAY), AND (1) ADU PARKING STALL (PROVIDED IN DRIVEWAY)  
 MIN. STALL DIMENSIONS: 9'X19' PER SPACE

**EXISTING USE:** ONE SINGLE FAMILY DETACHED RESIDENCE OF APPROX. 1,867 SQ. FT. TO BE DEMOLISHED.  
 EXISTING RESIDENCE = 1,588 SQ. FT.  
 EXISTING GARAGE = 279 SQ. FT.

**PROPOSED USE:** ONE NEW SINGLE FAMILY DETACHED RESIDENCE OF 2,494 SQ. FT. ATTACHED GARAGE OF 376 SQ. FT., ATTACHED PORCH OF 37 SQ. FT. AND ATTACHED ADU OF 450 SQ. FT.

**CODES AND REGULATIONS GOVERNING THE PROJECT:** CURRENT 2019 CALIFORNIA CODES

**FRONTAGE IMPROVEMENTS**

ALL EXISTING CRACKED OR DAMAGED FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ADDITIONALLY, ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.

ANY ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.

**VICINITY MAP:**



PROJECT LOCATION

NOT TO SCALE

3 BEDROOMS / 3.5 BATH +  
 1 BEDROOM / 1 BATH ADU

FLOOR AREAS	
FIRST FLOOR	1361 SQ. FT.
SECOND FLOOR	1133 SQ. FT.
TOTAL LIVING	2494 SQ. FT.
GARAGE	376 SQ. FT.
PORCH	37 SQ. FT.
ADU - ATTACHED (EXCLUDED FROM FAR)	450 SQ. FT.
FAR: (LIVING + GARAGE + PORCH)	2907 SQ. FT.
MAX FAR:	3286 SQ. FT.
THOMAS JAMES HOMES STANDARD S.F. (LIVING + ADU + 24)	2968 SQ. FT.

LOT COVERAGE	
FIRST FLOOR	1361 SQ. FT.
GARAGE	376 SQ. FT.
PORCH	37 SQ. FT.
LANAI	195 SQ. FT.
ADU*	450 SQ. FT.
TOTAL:	2419 SQ. FT.
PROPOSED LOT COVERAGE %	22.00%
MAX. LOT COVERAGE	2738 SQ. FT.
PARCEL AREA	10953 SQ. FT.

\* AS PER THE SAN MATEO COUNTY ZONING REGULATIONS (SECTION 6429.1.6 LOT COVERAGE) ACCESSORY DWELLING UNITS SHALL COUNT TOWARDS THE ALLOWED LOT COVERAGE ON A PARCEL, EXCEPT THAT NO LOT COVERAGE RESTRICTIONS SHALL PRECLUDE CREATION OF AN ATTACHED OR DETACHED ACCESSORY DWELLING UNIT OF AT LEAST 800 SQ. FT. IN SIZE THAT MEETS ALL OTHER RELEVANT STANDARDS.

TITLE SHEET

29 W SUMMIT DRIVE, EMERALD HILLS  
 D28M400A - CR

THOMAS JAMES HOMES



DATE 07-29-2022  
 JOB NO. 1641.008

5865 Owens Drive  
 Pleasanton, CA 94588  
 925-251-7200

A.0



NOT TO SCALE

## SITE AERIAL & PHOTOS

29 W SUMMIT DRIVE, EMERALD HILLS  
D28M400A - CR

THOMAS JAMES HOMES

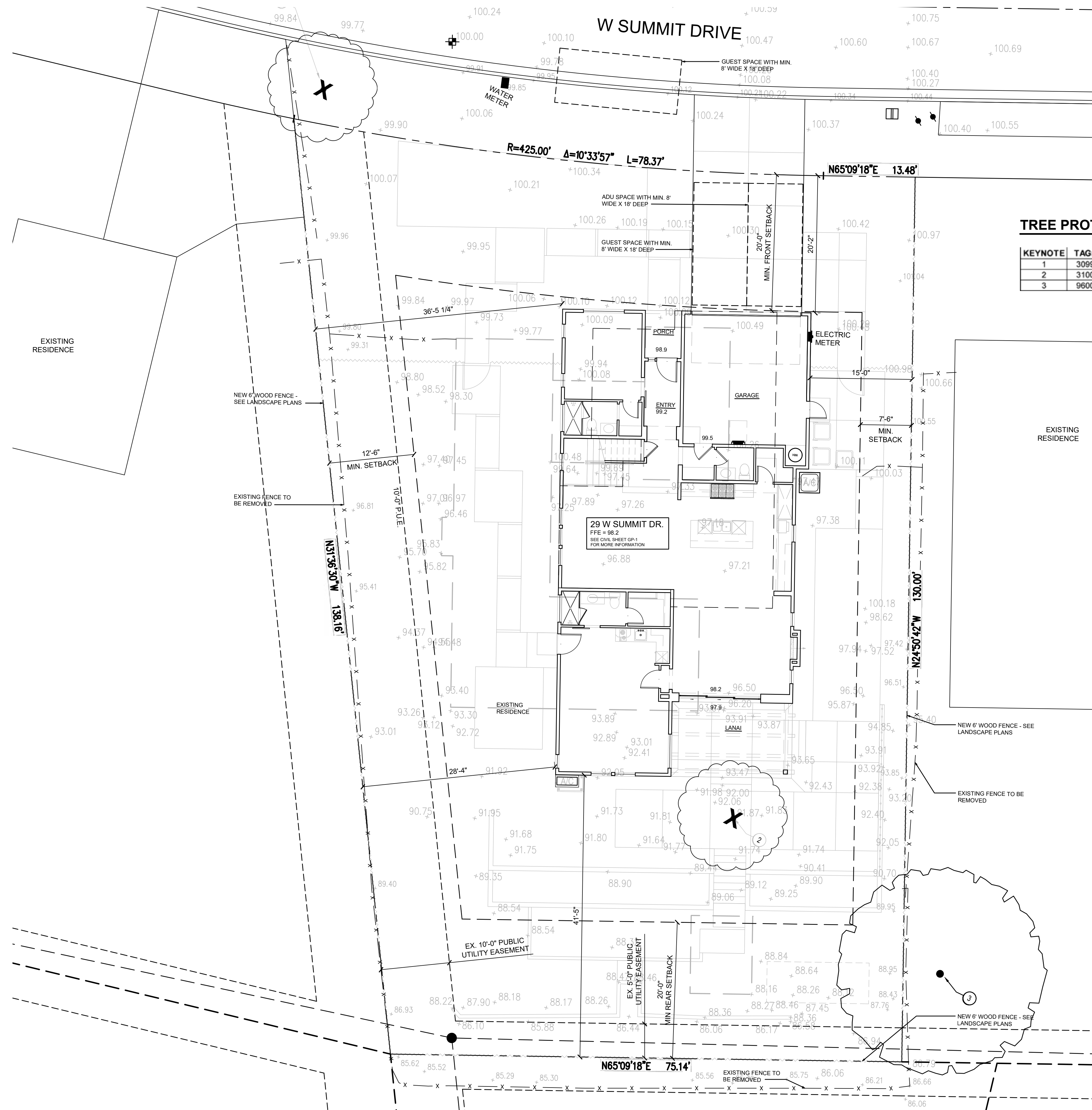


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A.1



**TREE PROTECTION CHART**

NOTE: SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION

KEYNOTE	TAG#	STATUS	LOCATION	SCIENTIFIC NAME	COMMON NAME	DBH (in)	ACTION
1	3099	Protected	On-Site	<i>Calocedrus decurrens</i>	Incense Cedar	9	Remove
2	3100	Protected	On-Site	<i>Pyrus</i>	Pear	13	Remove
3	9600	Protected	Off-Site	<i>Sequoia sempervirens</i>	Coast Redwood	45	Retain and Protect

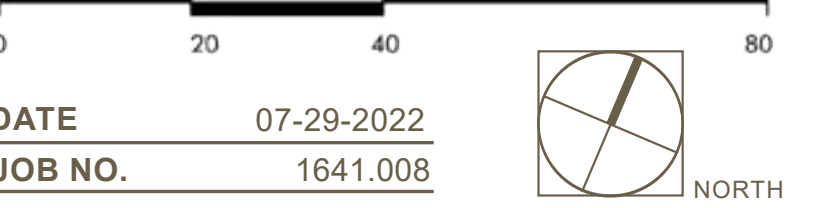
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1 BEDROOM / 1 BATH ADU

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SCALE : 1/8" = 1'-0"



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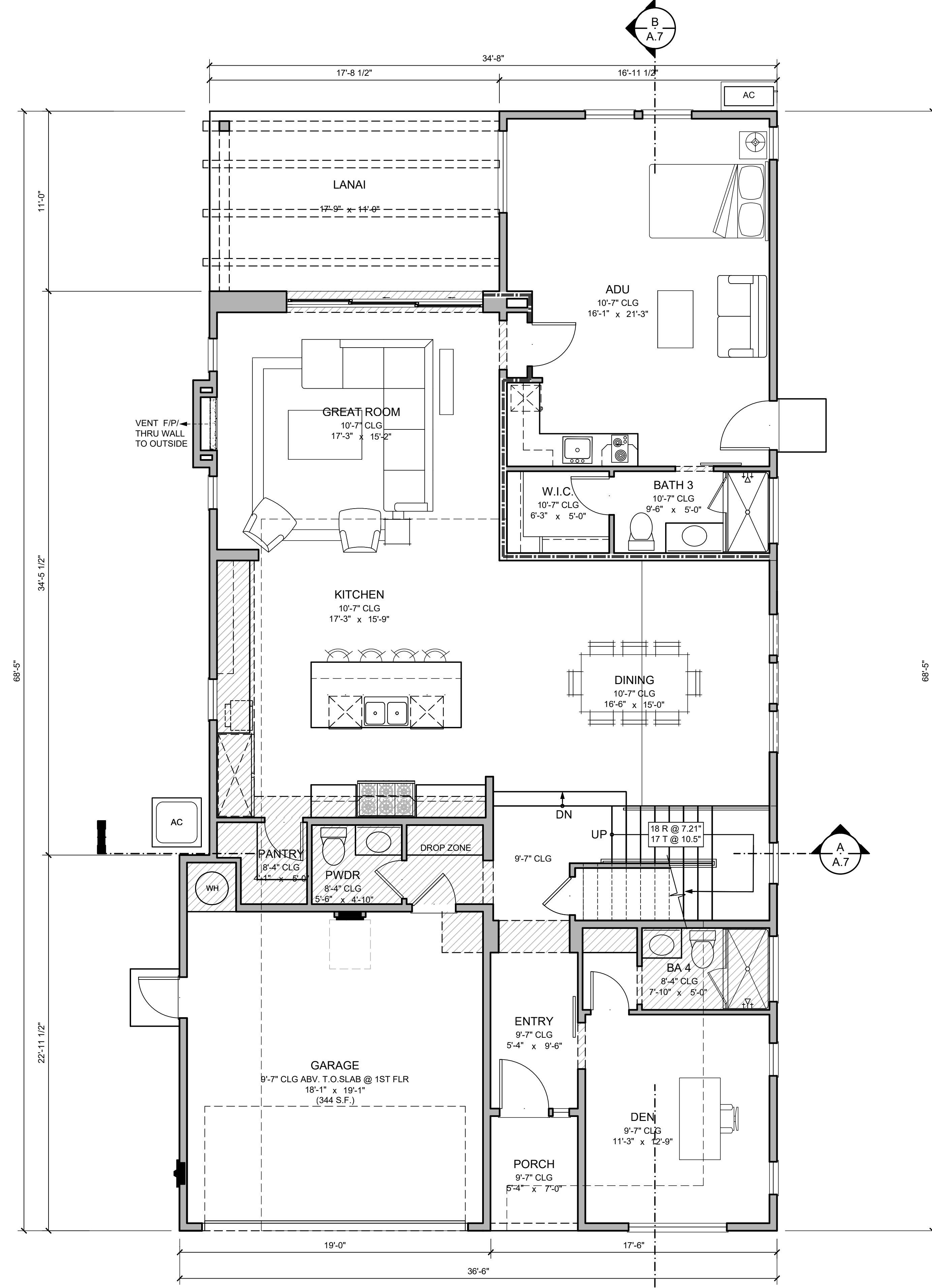
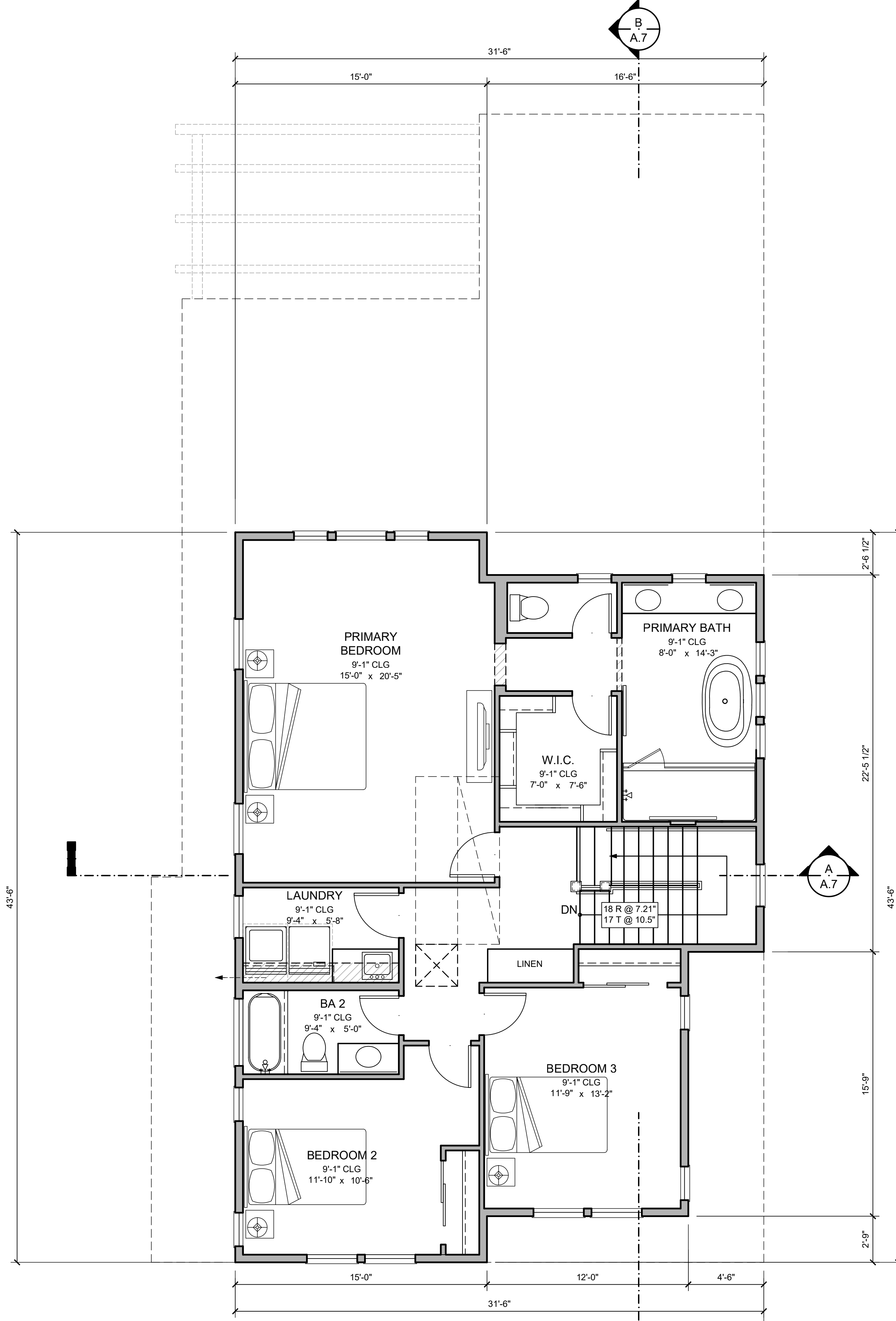
A.2

**SITE PLAN**

29 W SUMMIT DRIVE, EMERALD HILLS  
D28M400A - CR

THOMAS JAMES HOMES





3 BEDROOMS / 3.5 BATH +  
1 BEDROOM / 1 BATH ADU

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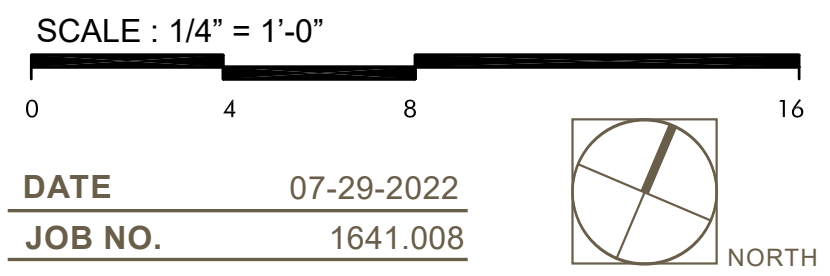
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FLOOR PLANS

29 W SUMMIT DRIVE, EMERALD HILLS  
D28M400A - CR

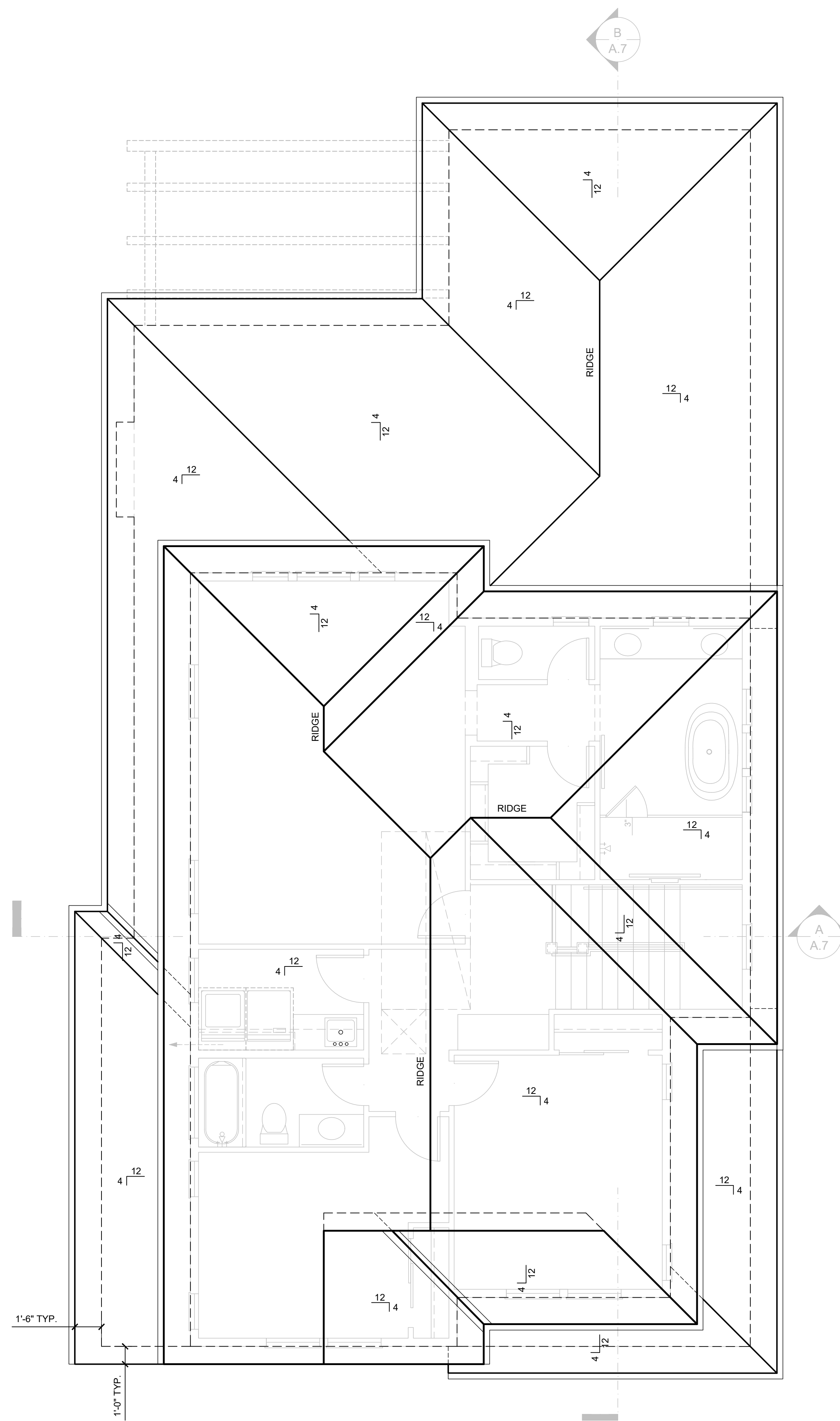
THOMAS JAMES HOMES



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A.3



# ROOF PLAN

29 W SUMMIT DRIVE, EMERALD HILLS  
D28M400A - CR

THOMAS JAMES HOMES

SCALE : 1/4" = 1'-0"

0 4 8 16

DATE 07-29-2022  
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A.4

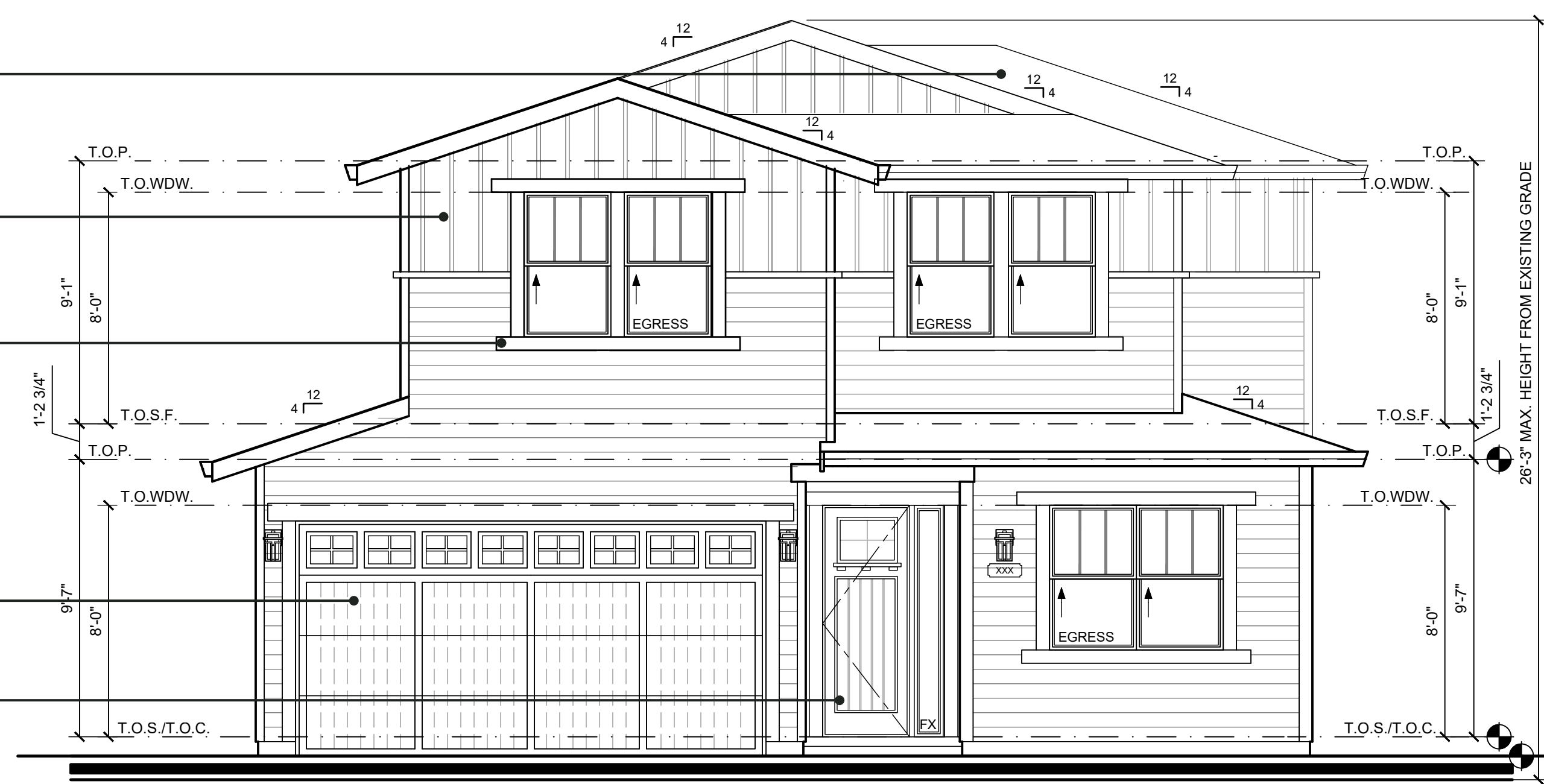
ROOF MATERIAL  
COMPOSITION SHINGLE

BODY COLOR 1  
UPPER BOARD & BATT SIDING

TRIM COLOR  
WINDOW TRIM, WOOD RAKE TRIM, EAVES, GUTTERS

BODY COLOR 2  
HORIZONTAL SIDING, GARAGE DOOR

ACCENT MATERIAL  
FRONT DOOR



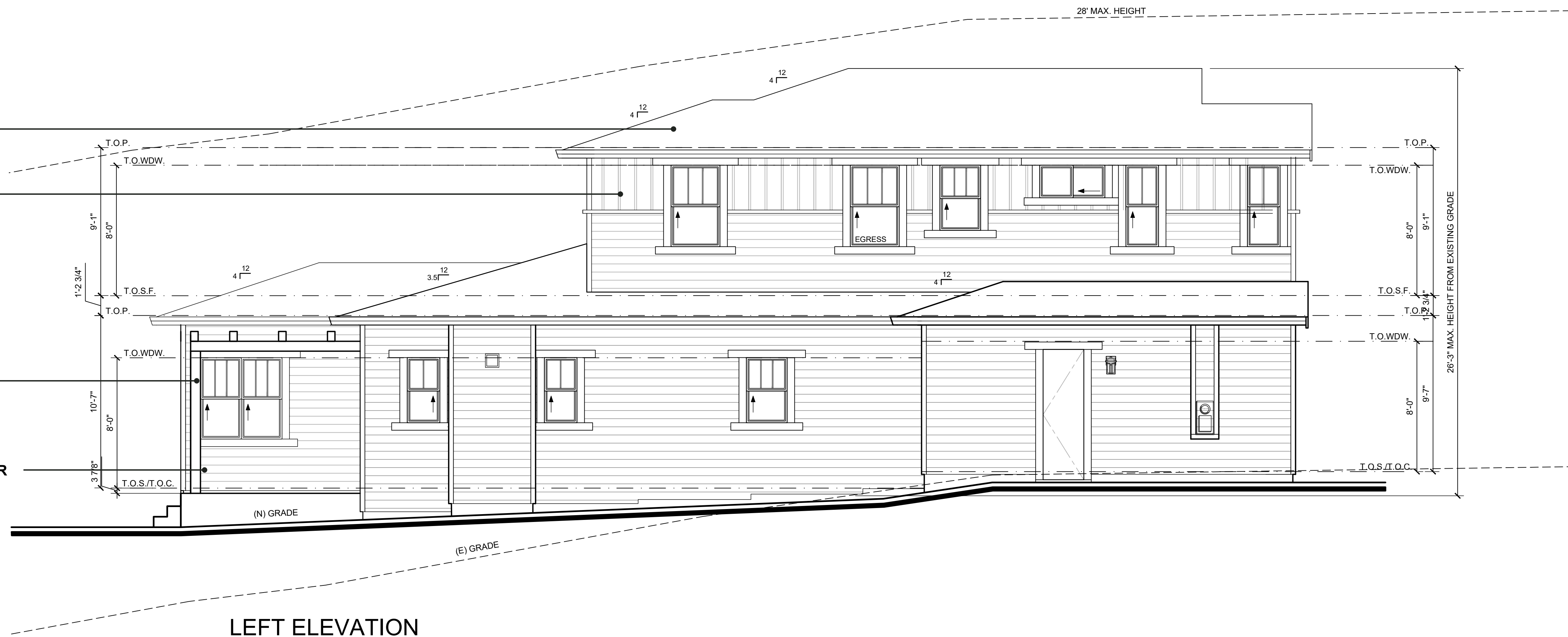
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

ROOF MATERIAL  
COMPOSITION SHINGLE

BODY COLOR 1  
UPPER BOARD & BATT SIDING

TRIM COLOR  
WINDOW TRIM, WOOD RAKE TRIM,  
EAVES, GUTTERS

BODY COLOR 2  
HORIZONTAL SIDING, GARAGE DOOR



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

**ELEVATIONS**

29 W SUMMIT DRIVE, EMERALD HILLS  
D28M400A - CR

THOMAS JAMES HOMES

**WINDOWS**  
MARVIN ESSENTIAL ALL  
ULTREX WINDOWS TYP.  
SCALE: 1/4" = 1'-0"



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**A.5**

ROOF MATERIAL  
COMPOSITION SHINGLE

BODY COLOR 1  
UPPER BOARD & BATT SIDING

TRIM COLOR  
WINDOW TRIM, WOOD RAKE TRIM,  
EAVES, GUTTERS

BODY COLOR 2  
HORIZONTAL SIDING, GARAGE DOOR



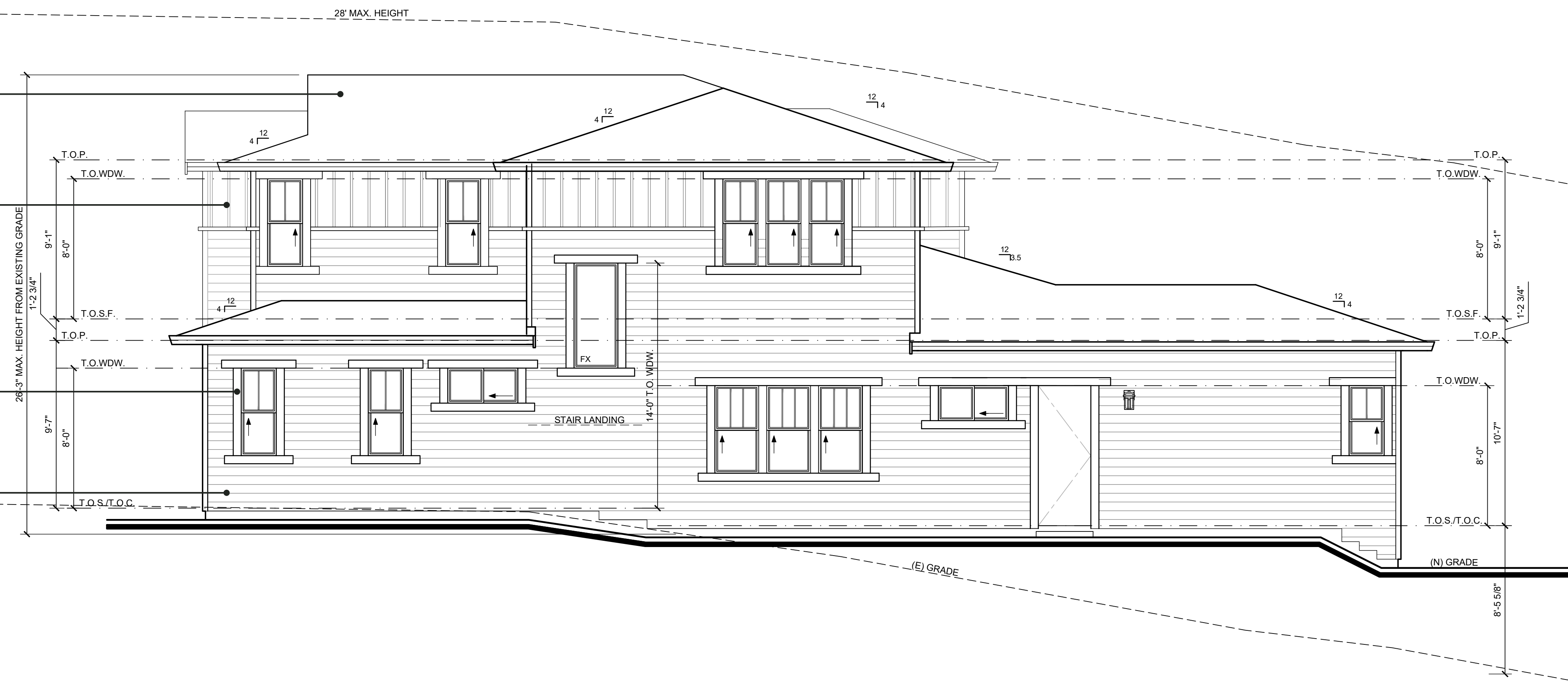
**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

ROOF MATERIAL  
COMPOSITION SHINGLE

BODY COLOR 1  
UPPER BOARD & BATT SIDING

TRIM COLOR  
WINDOW TRIM, WOOD RAKE TRIM,  
EAVES, GUTTERS

BODY COLOR 2  
HORIZONTAL SIDING, GARAGE DOOR



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

**WINDOWS**  
MARVIN ESSENTIAL ALL  
ULTREX WINDOWS TYP.  
SCALE: 1/4" = 1'-0"



DATE 07-29-2022  
JOB NO. 1641.008

**ELEVATIONS**

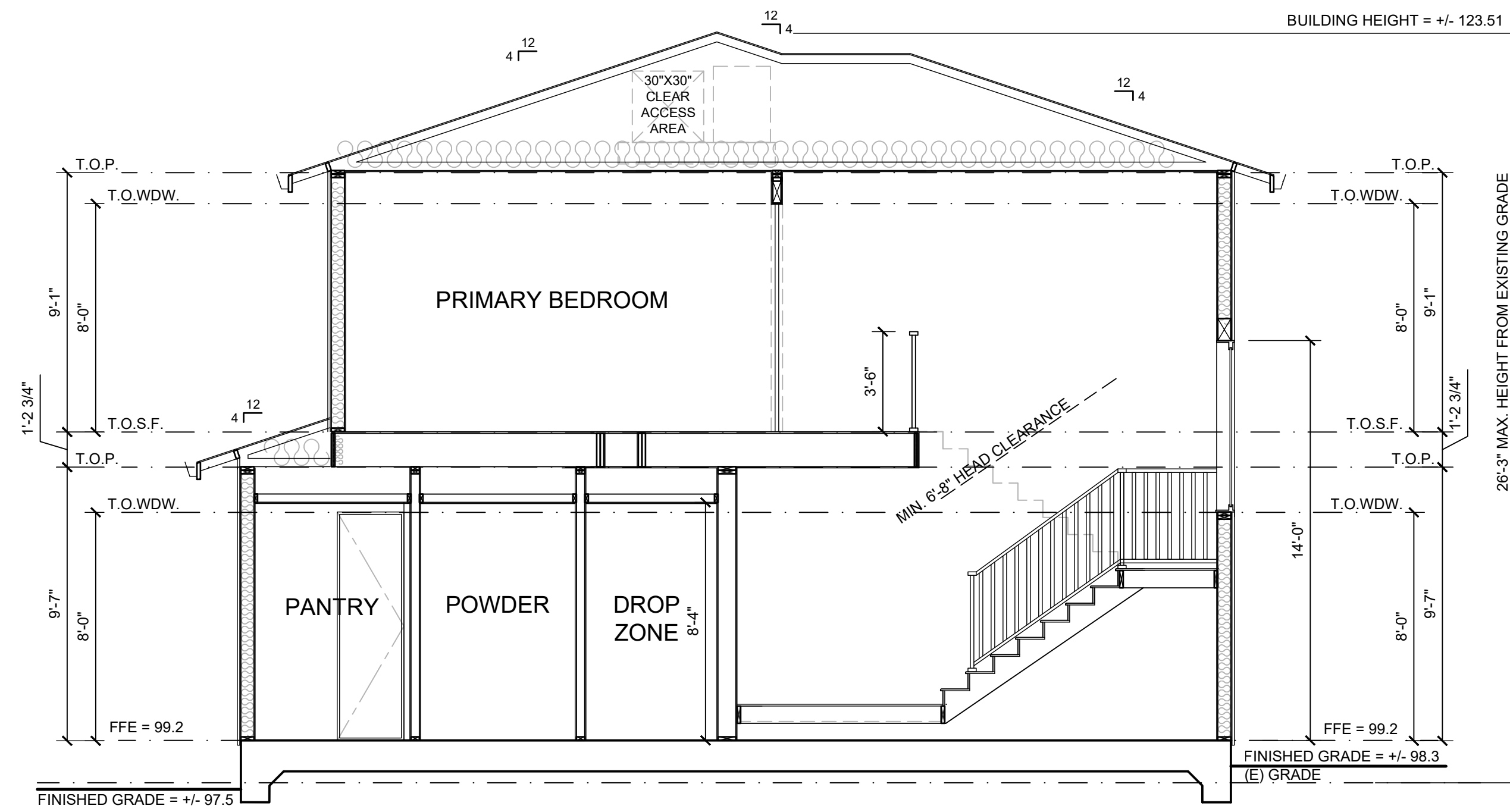
29 W SUMMIT DRIVE, EMERALD HILLS  
D28M400A - CR

THOMAS JAMES HOMES

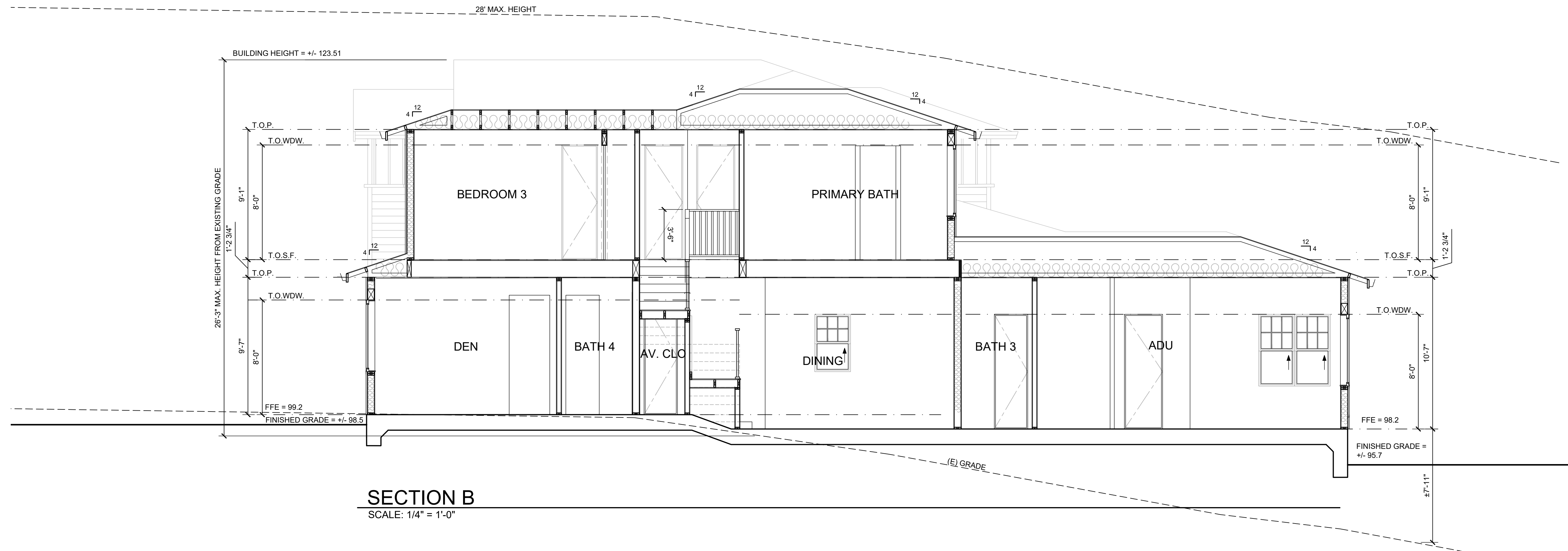


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Pleasanton, CA 94588  
925-251-7200

**A.6**



**SECTION A**  
SCALE: 1/4" = 1'-0"



**SECTION B**  
SCALE: 1/4" = 1'-0"

**SECTIONS**

29 W SUMMIT DRIVE, EMERALD HILLS  
D28M400A - CR

THOMAS JAMES HOMES



SCALE: 1/4" = 1'-0"

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**A.7**





Incandescent

## P560110-020

### Boxwood

Geometric details in Boxwood's design enhance Craftsman-inspired architecture. The one-light small wall lantern features clear seeded glass and finished in Architectural Bronze which completes the authentic style .

Width: 6-1/4"

Height: 11-3/4"

Depth: 6-1/4"

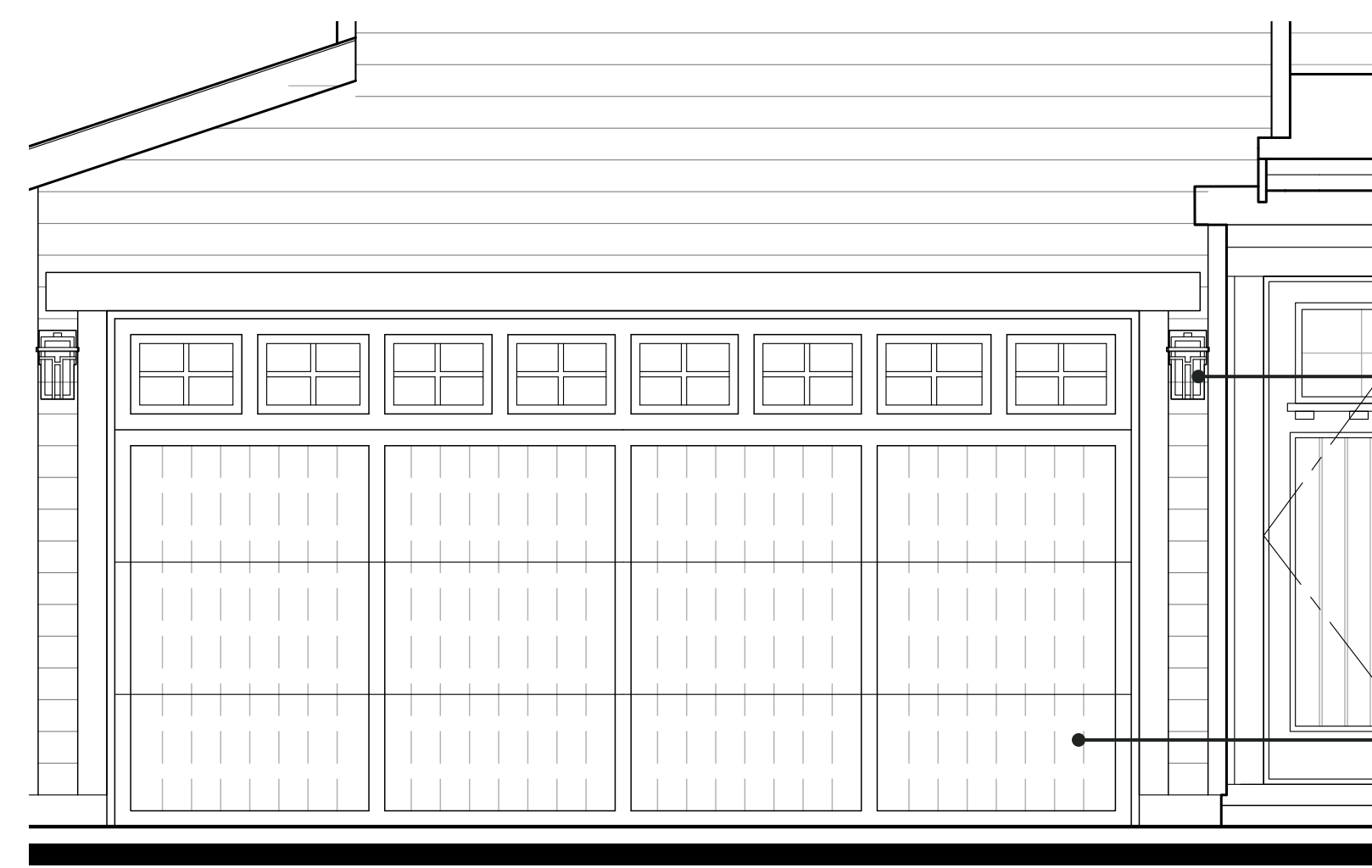
Category: Outdoor

Finish: Antique Bronze (plated)

Construction: Steel Construction

Glass/Shade: Clear Seeded Flat Square/Rectangular Flat Square/Rectangular

## EXTERIOR LIGHTING

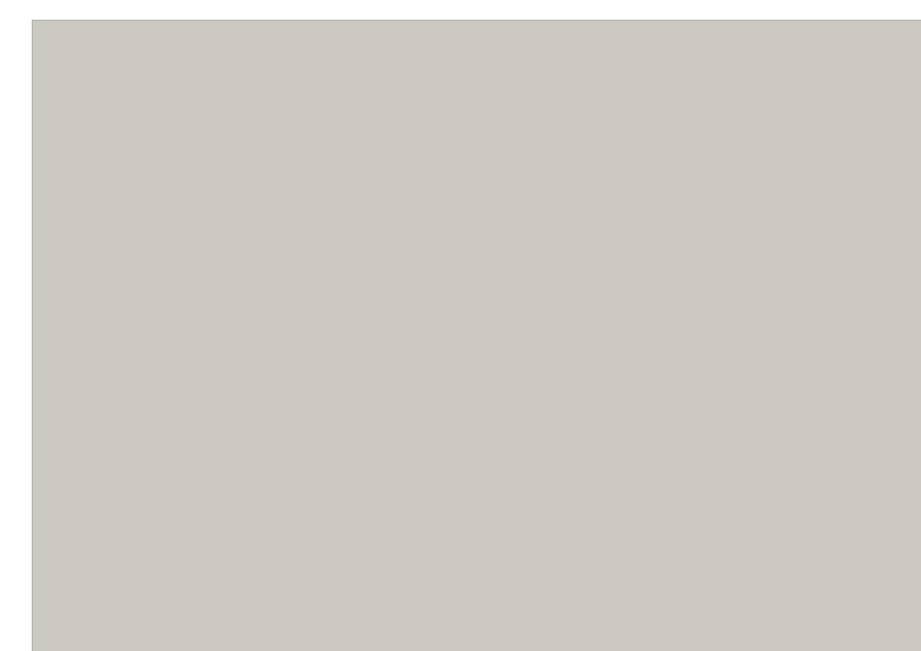


EXTERIOR LIGHTING

**PROGRESS LIGHTING**  
Outdoor Up/Down Wall Cylinder  
Model # P5675-31  
Black

GARAGE DOOR

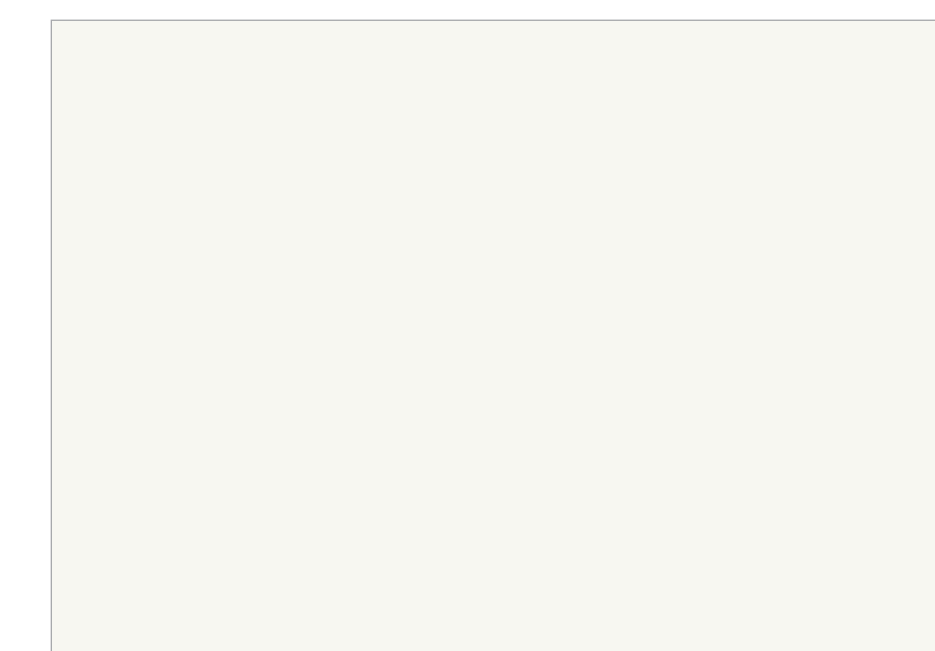
**CLOPAY GRAND HARBOR**  
DESIGN 11  
Window: SQ22



BODY COLOR 1  
UPPER BOARD & BATT SIDING



BODY COLOR 2  
HORIZONTAL SIDING, GARAGE DOOR



TRIM COLOR  
WINDOW TRIM, WOOD RAKE TRIM, EAVES,  
GUTTERS



ACCENT COLOR  
FRONT DOOR



ROOF MATERIAL  
COMPOSITION SHINGLE

### WILDFIRE PROTECTION NOTES

1. EXTERIOR SIDING O/ 60 MIN. GRADE 'D' BLDG PAPER O/ 5/8" DENS GLASS FIREGUARD (INSTALL DIRECTLY O/ STUDS OR SHEATHING WHERE OCCURS) WHERE WILDFIRE PROTECTION IS REQUIRED.
2. FIRE RATED SEALANT WHERE WILDFIRE PROTECTION IS REQUIRED.
3. 1X6 T&G (U.O.N. - SEE PLANS) O/ BLDG PAPER O/ 5/8" DENS GLASS FIREGUARD AT UNDERSIDE OF EXPOSED EAVES, ROOF EAVE SOFFITS, PORCH CEILINGS & FLOOR PROJECTIONS WHERE WILDFIRE PROTECTION IS REQUIRED.
4. ROOF MATERIAL & OVERHANG DIMENSIONS ARE AS FOLLOWS: MIN. CLASS 'A' ROOF MATERIAL O/ 72# CAP SHEET O/ 30# FELT O/ SOLID SHEATHING SHALL BE COMPOSITION SHINGLE 40 YEAR ROOFING BY GAF OR EQUAL.

## COLORS & MATERIALS

29 W SUMMIT DRIVE, EMERALD HILLS  
D28M400A - CR

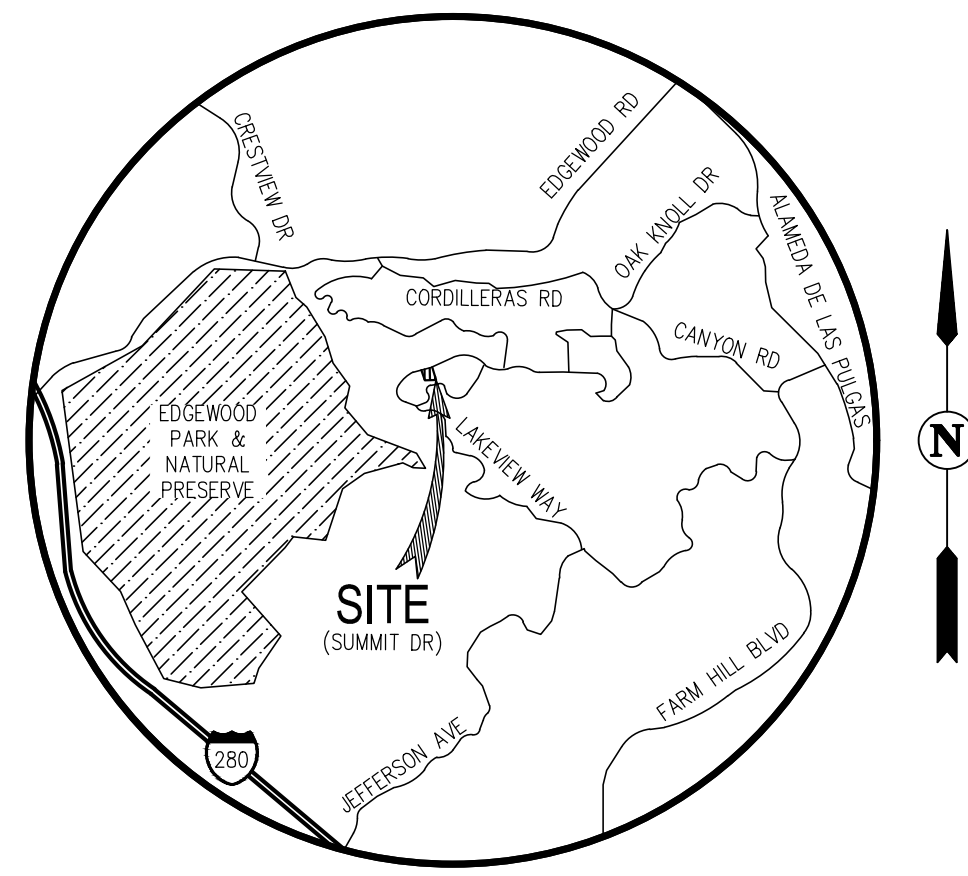
THOMAS JAMES HOMES



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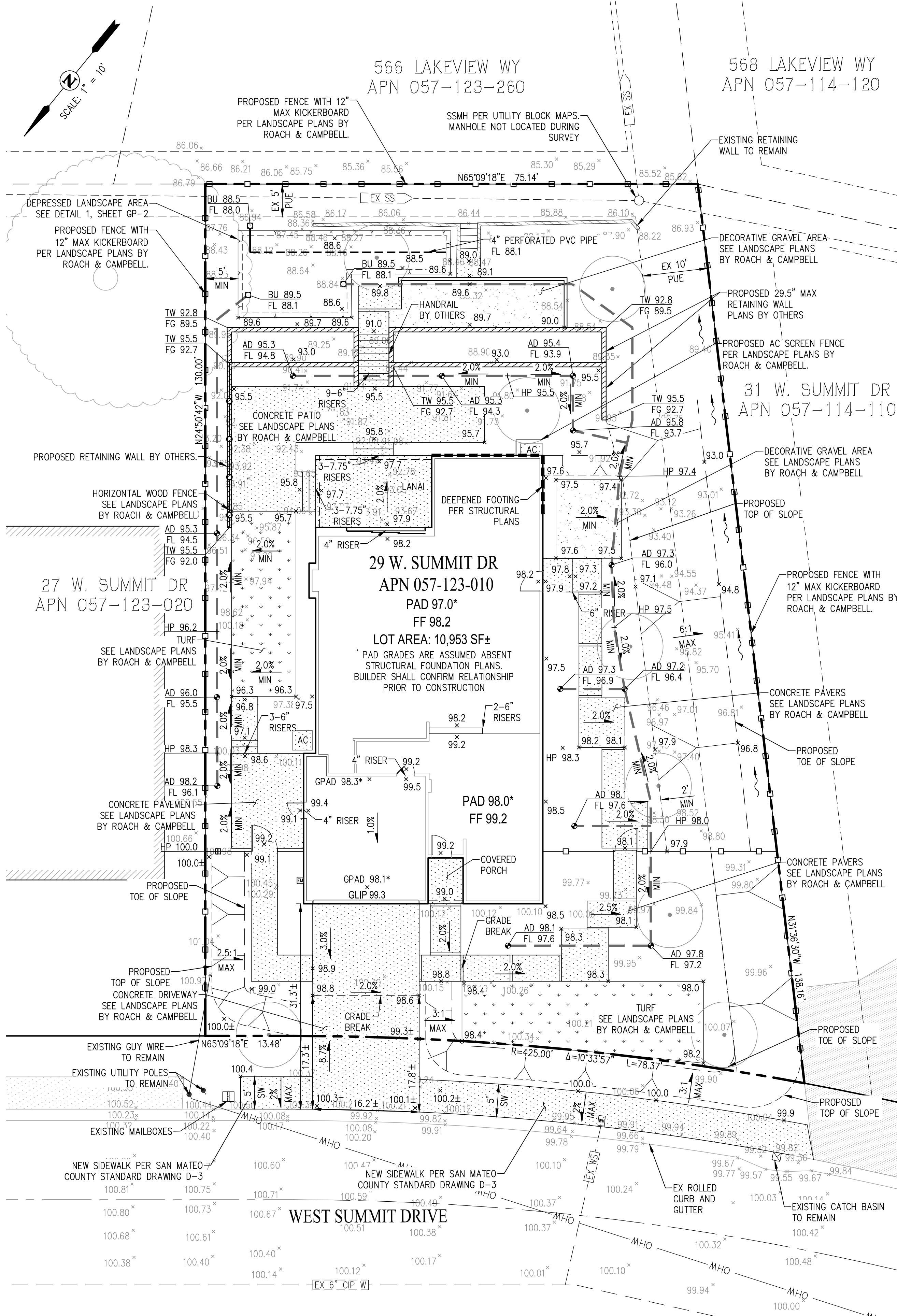
VICINITY MAP  
NOT TO SCALE

GENERAL NOTES

- 1. SITE ADDRESS: 29 WEST SUMMIT DR EMERALD HILLS, CA 94062
2. OWNER: THOMAS JAMES HOMES 255 SHORELINE DRIVE, SUITE 428 REDWOOD CITY, CA 94065
3. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC. 2633 CAMINO RAMON, SUITE 350 SAN RAMON, CA 94583
4. SOILS ENGINEER: ROMIG ENGINEERS 1390 EL CAMINO REAL, 2ND FLOOR SAN CARLOS, CA 94070
5. ARCHITECT: DAHLIN 5865 OWENS DR PLEASANTON, CA 94588
6. LANDSCAPE ARCHITECT: ROACH & CAMPBELL 111 SCRIPPS DR SACRAMENTO, CA 95823
7. CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES...
8. THE CONTRACTOR SHALL CONTACT CARLSON, BARBEE AND GIBSON, INC. AT (925) 866-0322...
9. THE GEOTECHNICAL REPORT, NAMED GEOTECHNICAL INVESTIGATION (ROMIG PROJECT NO. 5366-48) DECEMBER 2, 2021, SHALL BE RETAINED ON THE CONSTRUCTION SITE.
10. EARTHWORK, SLAB AND FOUNDATION CONSTRUCTION, SLAB SUBGRADE AND NON-EXPANSIVE FILL PREPARATION...
11. ON-SITE SLOPES, AWAY FROM THE STRUCTURE, OF AT LEAST 2 PERCENT ARE RECOMMENDED FOR FLATWORK AND PAVEMENT AREAS...
12. CONTRACTOR SHALL FOLLOW ALL PROJECT ARBORIST RECOMMENDATIONS FOR GRADING WITHIN TREE PROTECTION AREAS.

COUNTY GENERAL NOTES

- 1. ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR...
2. ALL APPLICABLE WORK AND MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE SAN MATEO COUNTY STANDARDS.
3. THE CONTRACTOR SHALL RESTORE ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED WALLS, FENCES, SERVICES, UTILITIES...
4. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE INSTALLATION OF FACILITIES BY PG&E, PACIFIC BELL, AND CABLE TV...
5. ALL STREET MONUMENTS AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION...
6. FOR LANE CLOSURES, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL OF THE CITY ENGINEER...
7. NO TRENCHES OR HOLES SHALL BE LEFT OPEN OVERNIGHT; USE STEEL PLATING OR HOT-MIX ASPHALT AS REQUIRED...
8. THE CONTRACTOR SHALL CONTROL DUST AT ALL TIMES AND SWEET STREETS AS OFTEN AS NECESSARY...
9. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED AND APPROVED BY THE COUNTY ENGINEER...
10. ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES...
11. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS...



ROUGH EARTHWORK SUMMARY table with columns for CUT, FILL, and NET, and rows for 125± CY, 275± CY, and 400± CY.

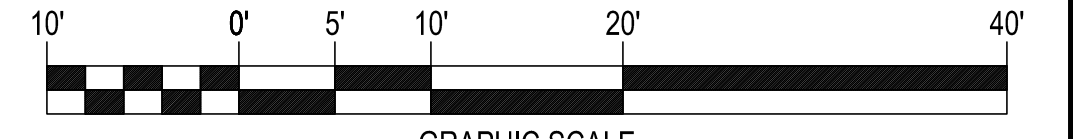
LEGEND & ABBREVIATIONS

- PROPERTY BOUNDARY
ADJOINER PROPERTY
CENTERLINE
PROPOSED BUILDING
PROPOSED FENCE TO REPLACE EXISTING FENCE
PROPOSED WOOD FENCE
EXISTING OVERHEAD ELECTRICAL WIRE
EXISTING ROLLED CURB AND GUTTER
AREA DRAIN PIPE
PROPOSED ASPHALT/CONCRETE FLATWORK
EXISTING PAVEMENT
PROPOSED TURF
DECORATIVE GRAVEL
PROPOSED RETAINING WALL
PROPOSED AREA DRAIN
PROPOSED FIELD INLET
EXISTING WATER METER
PROPOSED SPOT GRADE
EXISTING SPOT GRADE
EXISTING TREE
PROPOSED TREE
EXISTING STRUCTURE ON ADJOINER LOT
EXISTING UTILITY AS NOTED
PROPOSED ELECTRIC METER
PROPOSED DOWNSPOUT
AC
AD
EX
FF
FL
GLIP
GPAD
HP
INV
LAT
MIN
OHW
SD
SS
SSCO
SSMH
TC
W
WS

UTILITY NOTES

- 1. EXISTING WATER SERVICE LATERAL TO REMAIN. WATER PROVIDER TO DETERMINE NEW METER AND SERVICE SIZE...
2. THE LOCATION OF THE EXISTING SANITARY SEWER CLEANOUT IS UNKNOWN. INSTALL NEW PROPERTY LINE CLEANOUT AND NEW 4" SEWER LATERAL...
3. THE EXISTING GAS SERVICE LATERAL WILL BE ABANDONED. THE LOCATION OF THE EXISTING GAS MAIN IS UNKNOWN...
4. NEW DRY UTILITY SERVICE CONNECTIONS TO FOLLOW PLAN BY DRY UTILITY CONSULTANT.
5. THE LOCATIONS OF THE UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR REFERENCE ONLY.

Department of Public Works Approved
Approved as Noted
Review as Noted
Note: All work outside of the property line must have approved utility and encroachment permits
City of San Mateo
Reviewed by Date



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: JUNE 2022
DRAWN BY: SLC
PROJ. ENGR: REN
PROJ. MGR: JRD

REVISIONS
NO. BY DATE

cbg
CIVIL ENGINEERS
SURVEYORS
PLANNERS

29 WEST SUMMIT DRIVE
SAN MATEO COUNTY
CALIFORNIA

THOMAS JAMES HOMES
GRADING, DRAINAGE & UTILITY PLAN

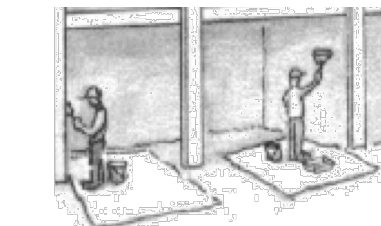
SHEET NUMBER GP-1 OF 4
JOB NUMBER 3085-00



# Construction Best Management Practices (BMPs)

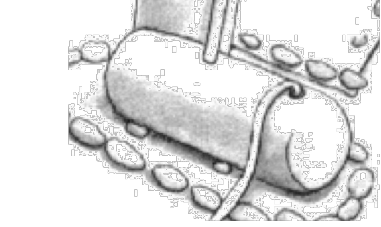
Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Painting & Paint Removal

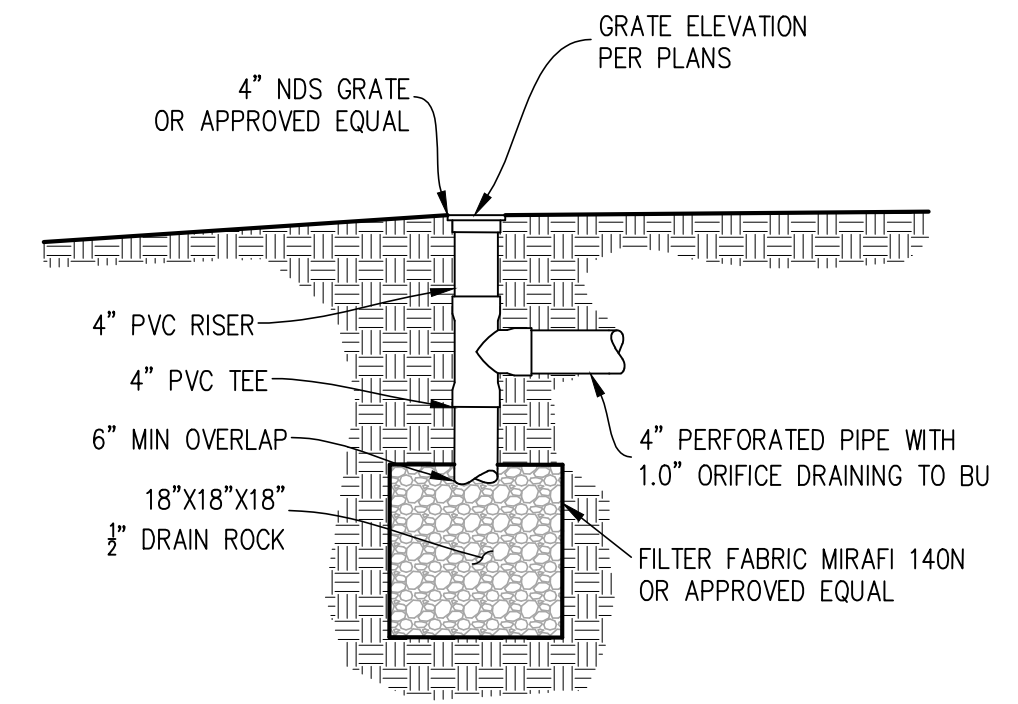


- Painting Cleanup and Removal**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
  - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
  - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
  - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
  - Chemical paint stripping residue and chips containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

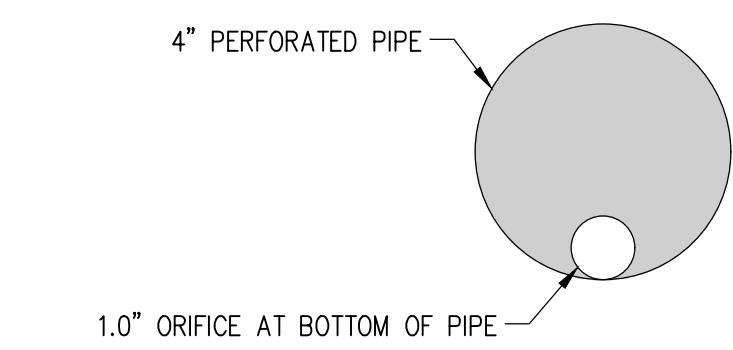
## Dewatering



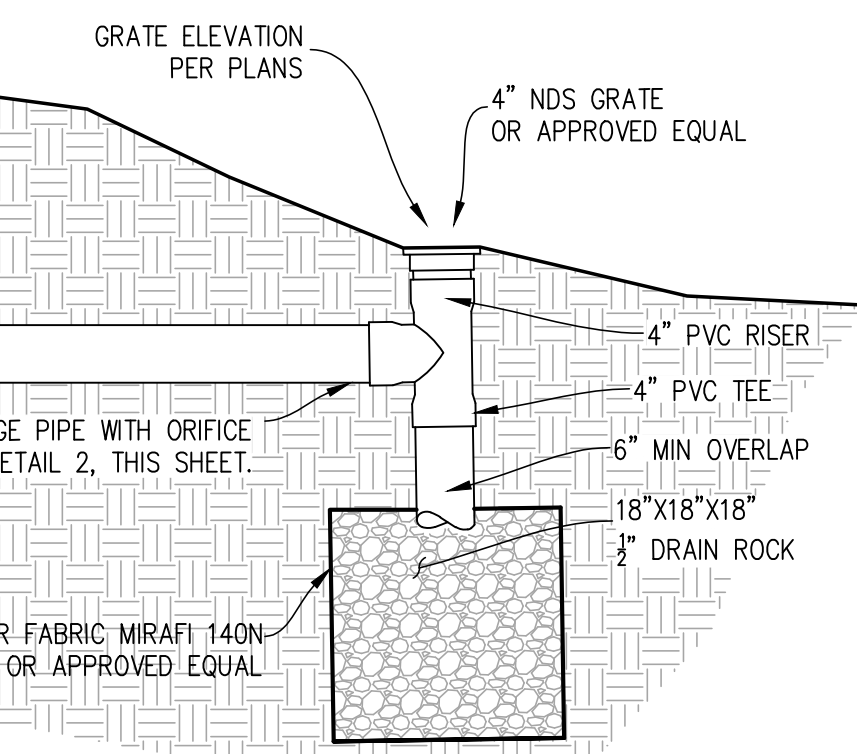
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-off water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.



② BUBBLE UP DRAIN DETAIL  
NOT TO SCALE

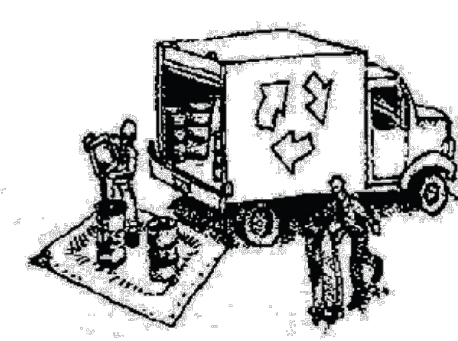


4" PERFORATED PIPE WITH ORIFICE DETAIL  
NOT TO SCALE



① DEPRESSED LANDSCAPE AREA  
NOT TO SCALE

## Materials & Waste Management



- Non-Hazardous Materials**
- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
  - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
  - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - Arrange for appropriate disposal of all hazardous wastes.

- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
  - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
  - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
  - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, pyp board, pipe, etc.)
  - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
  - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

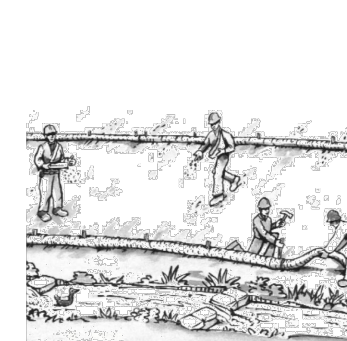
## Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
  - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
  - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
  - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
  - Clean up spills or leaks immediately and dispose of cleanup materials properly.
  - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
  - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
  - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
  - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

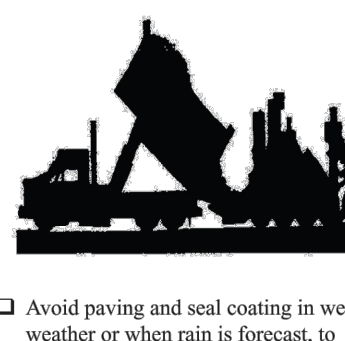
## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

- Contaminated Soils**
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
    - Unusual soil conditions, discoloration, or odor.
    - Abandoned underground tanks.
    - Abandoned wells.
    - Buried barrels, debris, or trash.

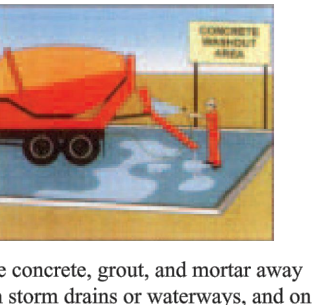
## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

- Sawcutting & Asphalt/Concrete Removal**
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
  - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
  - If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application

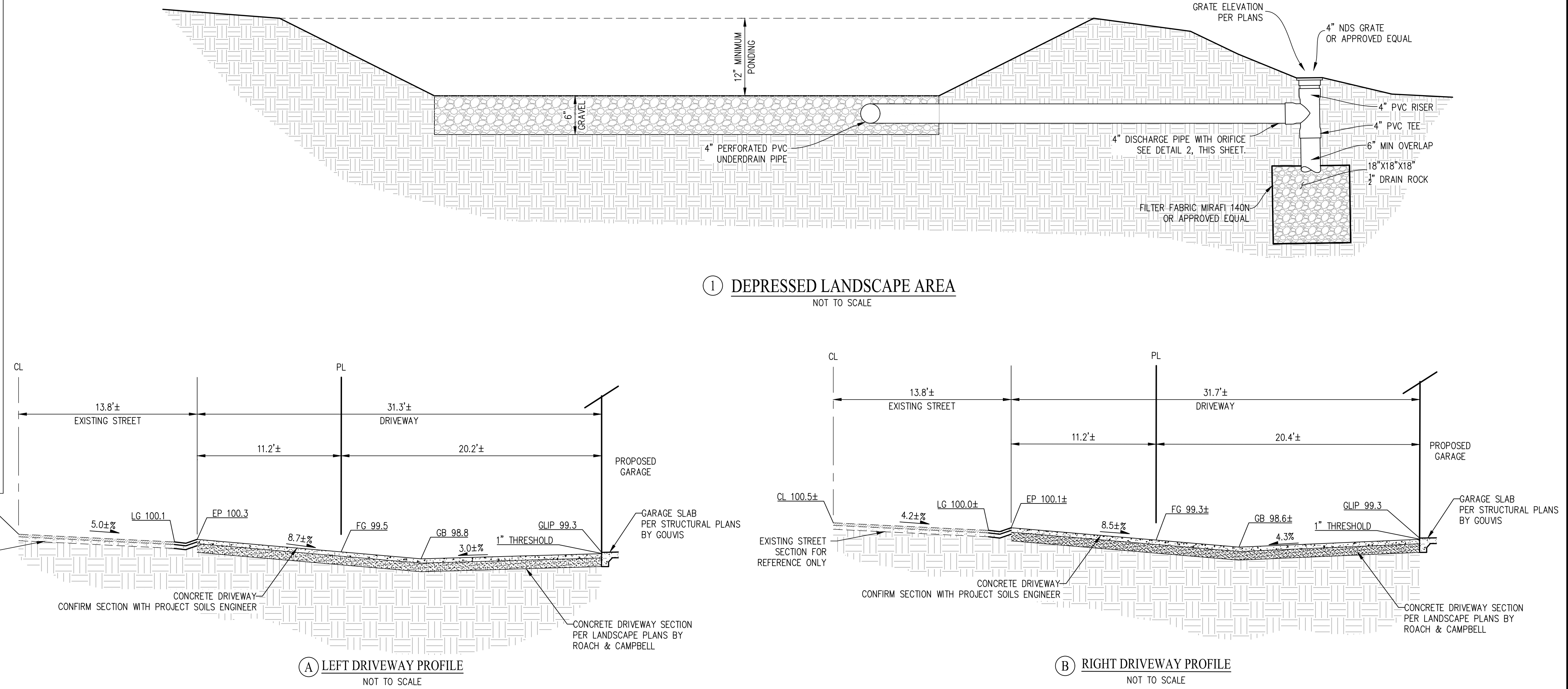
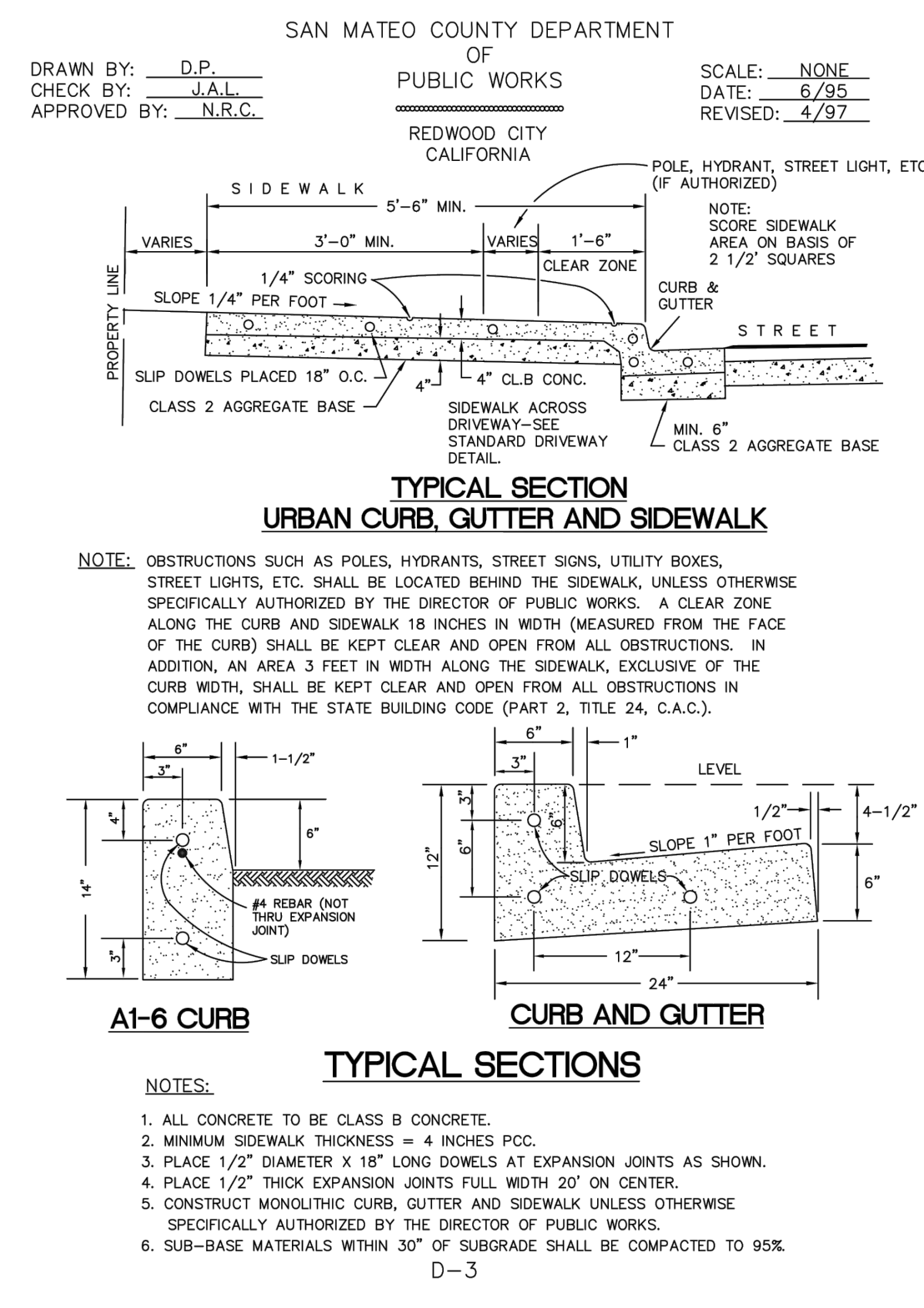
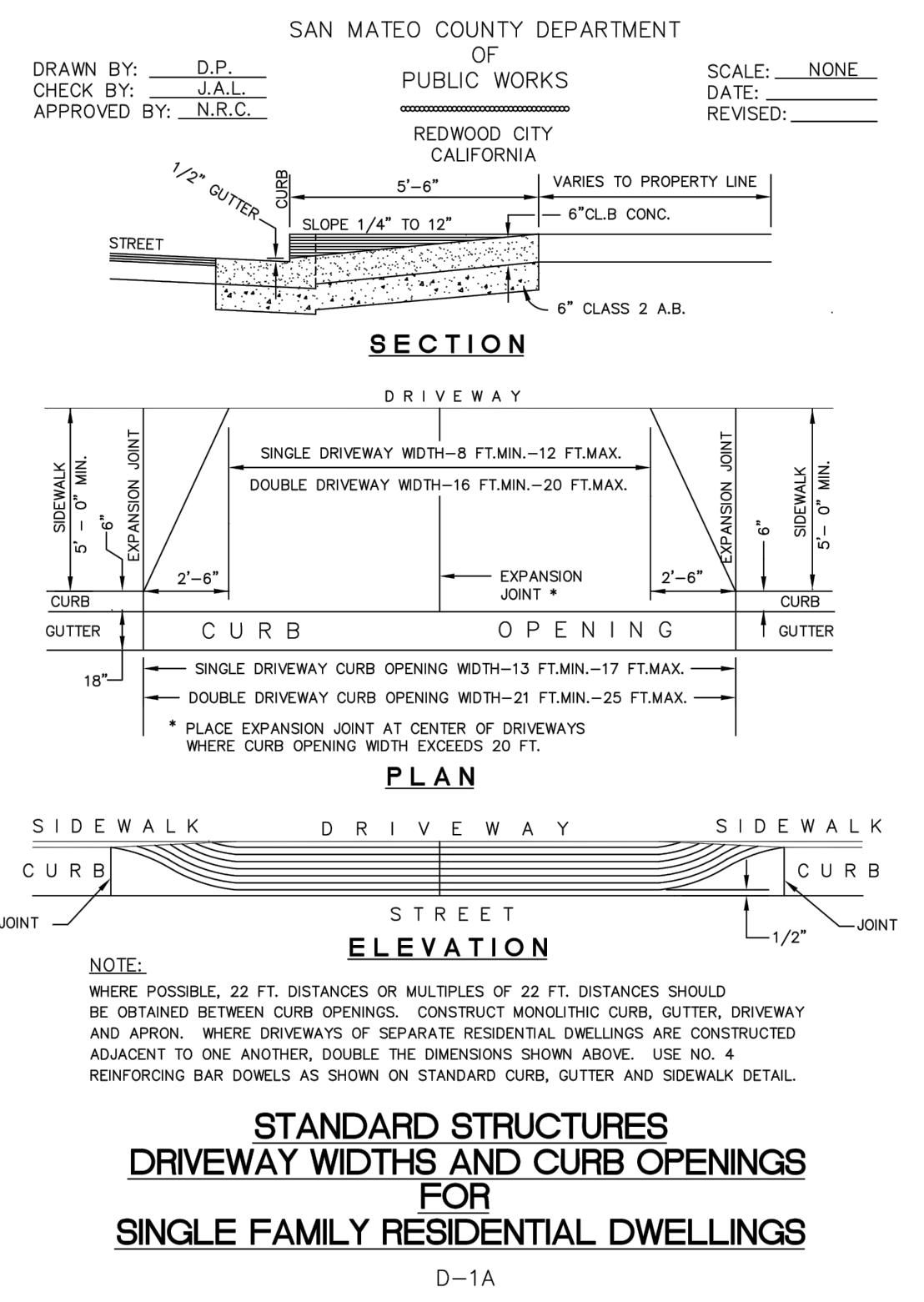


- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets outside that have not cured from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain into a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



Storm drain polluters may be liable for fines of up to \$10,000 per day!

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

DATE: JUNE 2022  
DRAWN BY: SLC  
PROJECT ENGR: REN  
PROJ. MGR: JRD

PROFESSIONAL SEAL  
SAN MATEO COUNTY  
CIVIL ENGINEER  
79604

SAN RAMON (925) 866-0322  
ROSEVILLE (916) 768-4456  
WWW.CB9.COM

PLANNERS  
SURVEYORS  
CIVIL ENGINEERS

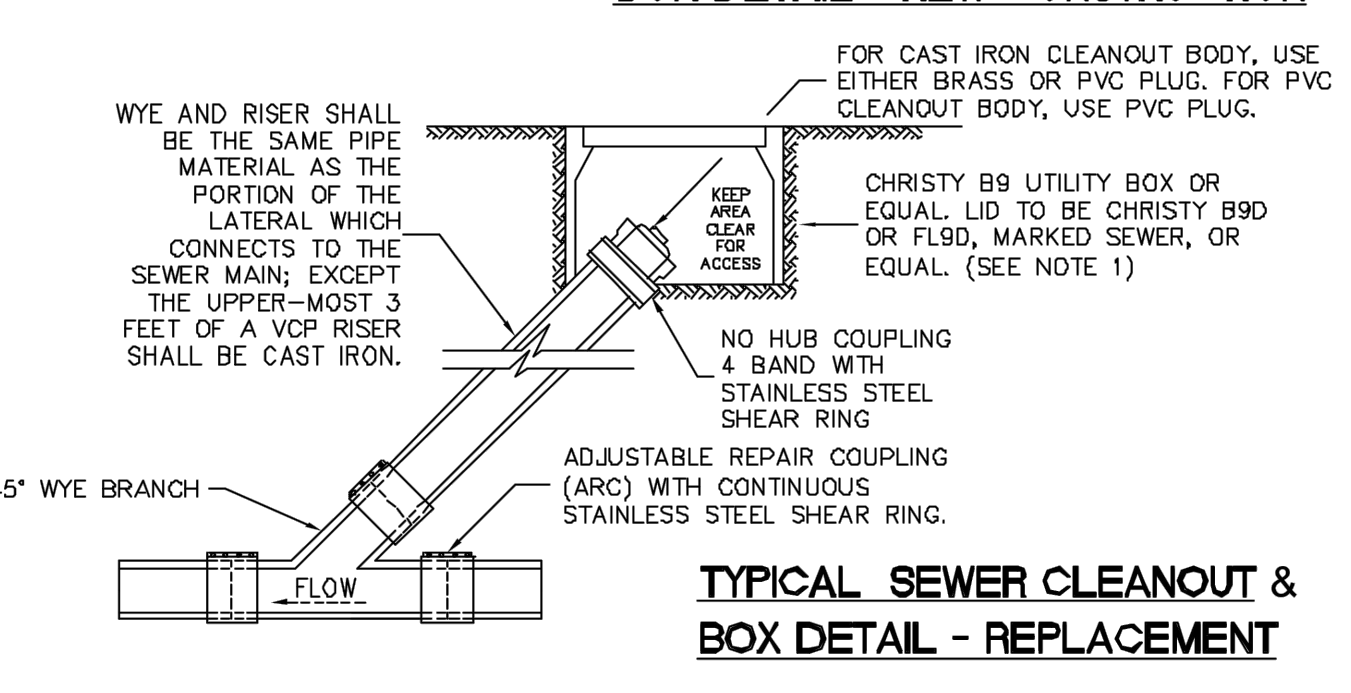
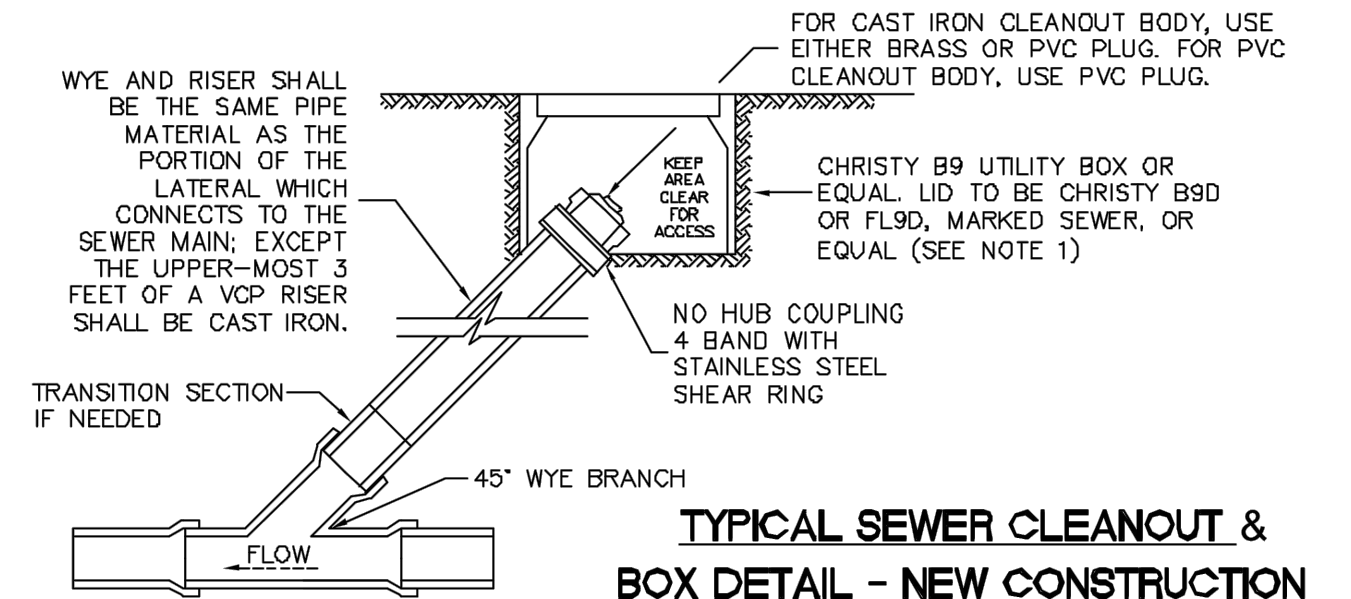
29 WEST SUMMIT DRIVE  
THOMAS JAMES HOMES  
CALIFORNIA  
SAN MATEO COUNTY

DETAILS & CONSTRUCTION BMPs

SHEET NUMBER  
GP-2  
OF 4  
JOB NUMBER  
3085-00



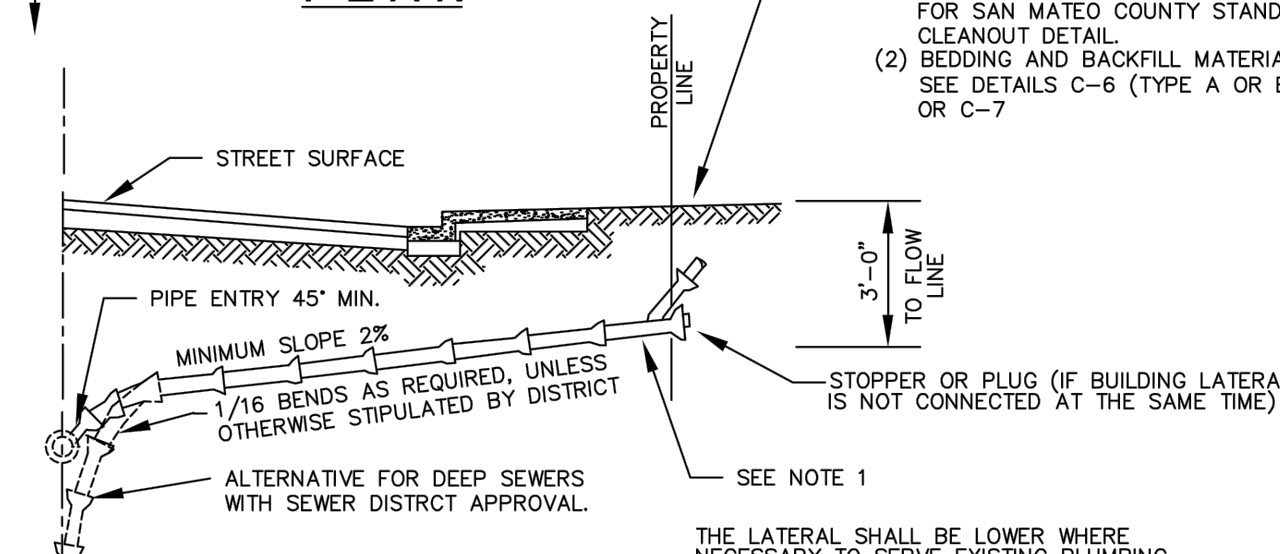
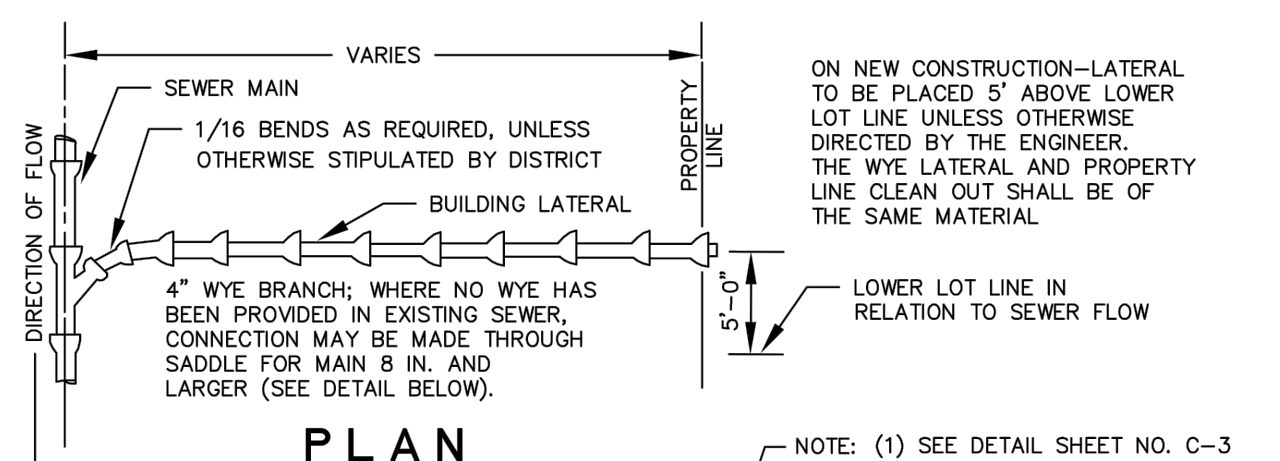
SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS  
 REDWOOD CITY CALIFORNIA  
 DRAWN BY: N.M.  
 CHECK BY: A.M.S.  
 APPROVED BY: N.R.C.  
 SCALE: NONE  
 DATE: 8/06  
 REVISED:



**NOTES:**  
 1. WHEN BOX IS SUBJECT TO TRAFFIC LOADING, PROVIDE CAST IRON LID.  
 2. BOX TO BE PLACED SUCH THAT CLEANOUT CAP CAN BE EASILY REMOVED. SEE ILLUSTRATION.  
 3. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING LATERAL FROM THE PROPERTY STRUCTURE TO DISTRICT MAIN. DISTRICT PROVIDES COURTESY SERVICE FROM DISTRICT STANDARD PROPERTY LINE CLEANOUT TO THE MAIN.  
 4. SDR-26 WYE, RISER, CLEANOUT BODY AND CAP CAN BE USED ONLY WHEN LATERAL FROM PROPERTY LINE TO MAIN LINE IS REPLACED WITH SDR-26.  
 5. WHEN ENTIRE LATERAL IS REPLACED, LATERAL FROM PROPERTY LINE CLEANOUT TO MAIN LINE SHALL HAVE A 14-1-UF GAUGE MINIMUM SINGLE CONDUCTOR TRACER WIRE TAPED TO THE ENTIRE LENGTH OF THE PIPE.  
 CONSTRUCTION OF A STANDARD CLEANOUT REQUIRES MULTIPLE INSPECTIONS BY DISTRICT PERSONNEL:  
 1. FIRST INSPECTION - TO INSPECT WYE AND RISER, WYE AND RISER MUST BE EXPOSED.  
 2. SECOND INSPECTION - TO INSPECT PLACEMENT OF BOX, LID AND LOCATION OF CLEANOUT WITHIN BOX.

C-3

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS  
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 APPROVED BY: N.R.C.  
 SCALE: NONE  
 DATE: 6/95  
 REVISED:

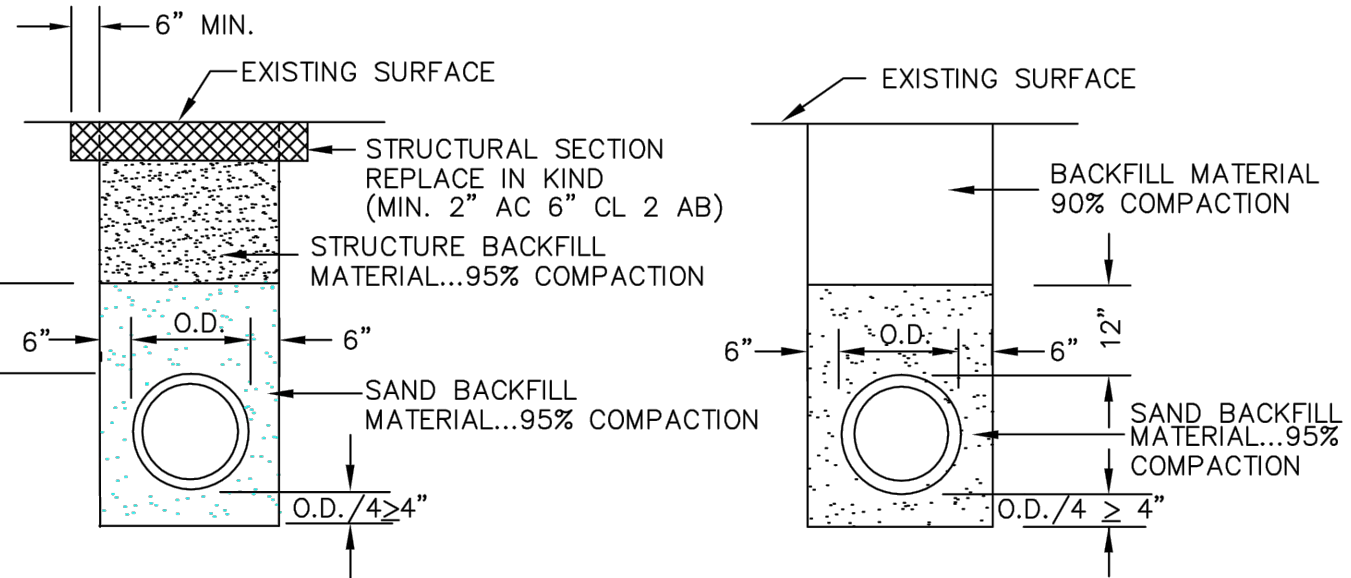


**METHOD OF ATTACHING LATERAL TO EXISTING SEWER WHERE NO WYE HAS BEEN PROVIDED:**  
 1. 1/16 BENDS AS REQUIRED  
 2. EXISTING MAIN ≤ 8": FOR MEANS BY WHICH CONNECTION IS TO BE MADE TO MAIN LINE SEE DETAIL C-8.  
 3. EXISTING MAIN 10"-18": CONNECTION BY MEANS OF AN APPROVED SADDLE "TEE"  
 4. EXISTING MAIN > 18": CONNECTION SHALL BE AT A MANHOLE UNLESS OTHERWISE APPROVED BY THE SEWER DISTRICT.

**SEWER LATERAL DETAIL**

C-5

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS  
 REDWOOD CITY CALIFORNIA  
 DRAWN BY: N.M.A.  
 CHECK BY: R.O.  
 APPROVED BY: N.R.C.  
 SCALE: NONE  
 DATE: 6/95  
 REVISED: 7/97



**NOTES:**  
 1. SAND... MATERIAL FREE FROM ORGANIC MATTER AND CLAY WITH A SIEVE GRADATION BY WEIGHT AS FOLLOWS:  

SIEVE SIZE	% PASSING SIEVE
No. 4	100
No. 200	0-5

 2. STRUCTURE BACKFILL MATERIAL... MATERIAL WITH SAND EQUIVALENT NOT LESS THAN 20 AND SIEVE GRADATION BY WEIGHT AS FOLLOWS:  

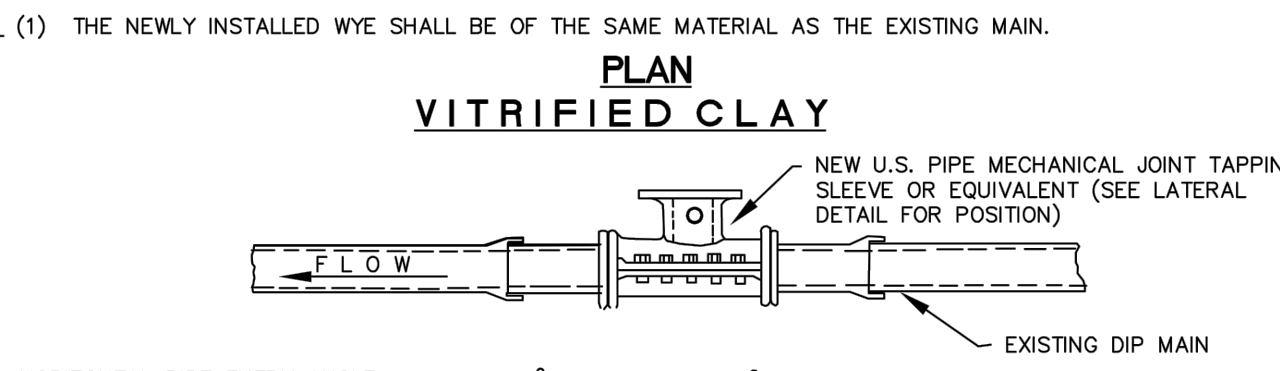
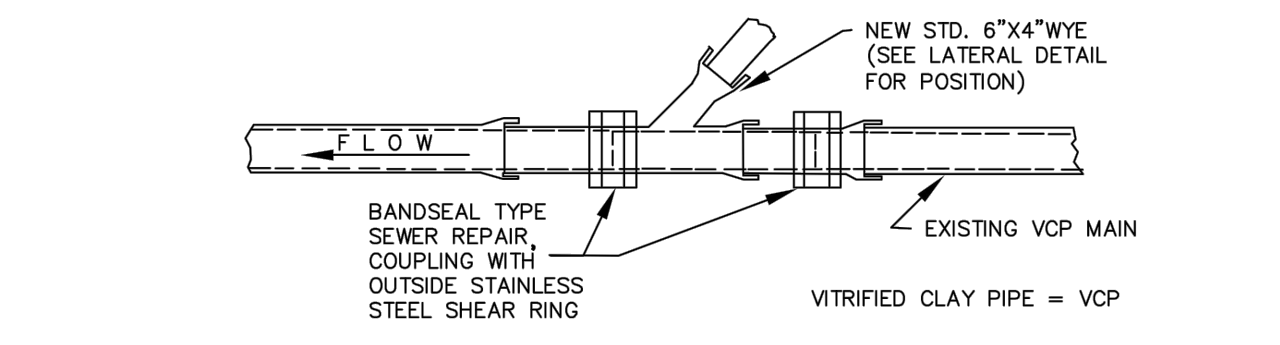
SIEVE SIZE	% PASSING SIEVE
3"	100
No. 4	35-100
No. 30	20-100

 3. BACKFILL MATERIAL... MATERIAL FROM EXCAVATION, FREE FROM STONES OR LUMPS EXCEEDING 3 INCHES GREATEST DIMENSION, ORGANIC MATTER, OR OTHER UNSATISFACTORY MATERIAL.

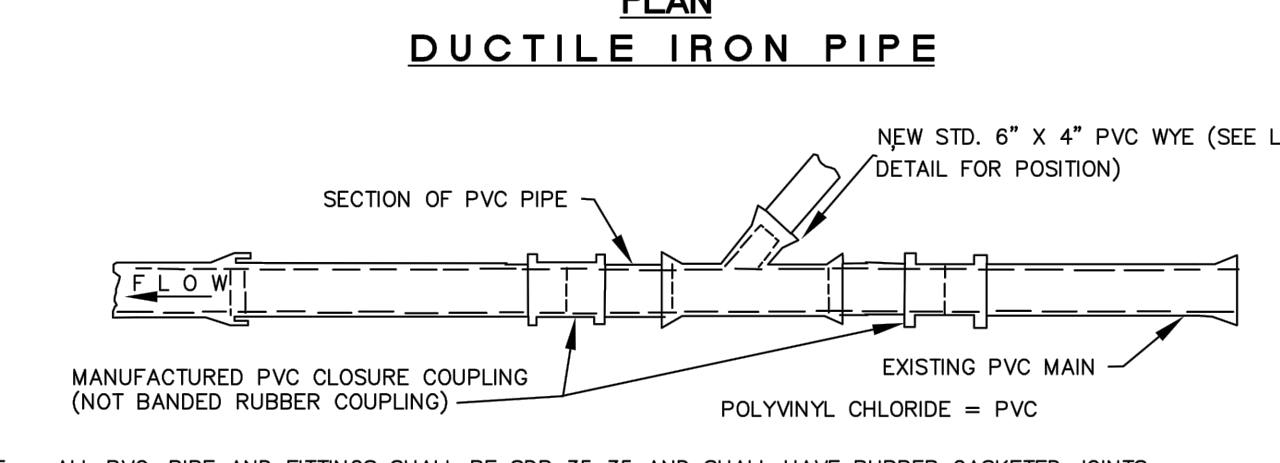
**STANDARD TRENCH BACKFILL AND BEDDING DETAIL FOR PVC SEWER PIPE**

C-7

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS  
 REDWOOD CITY CALIFORNIA  
 DRAWN BY: N.M.A.  
 CHECK BY: R.O.  
 APPROVED BY: N.R.C.  
 SCALE: NONE  
 DATE: 6/95  
 REVISED:



**NOTES:** HORIZONTAL PIPE ENTRY ANGLE WILL BE 90°, INSTEAD OF 45° (SEE LATERAL DETAIL, PLAN VIEW)  
 VERTICAL PIPE ENTRY ANGLE SHALL BE 45° MINIMUM (SEE LATERAL DETAIL PROFILE VIEW)



**NOTE:** ALL PVC, PIPE AND FITTINGS SHALL BE SDR 35 AND SHALL HAVE RUBBER GASKETED JOINTS. SOLVENT WELDED JOINTS SHALL NOT BE ALLOWED.

**LATERAL CONNECTION INSTALLATION DETAIL ON EXISTING PIPE**

**NOTE:** LATERAL CONNECTION INSTALLATION ON NEWLY INSTALLED PIPE WILL BE AS DIRECTED BY THE DEPARTMENT OF PUBLIC WORKS.

C-8

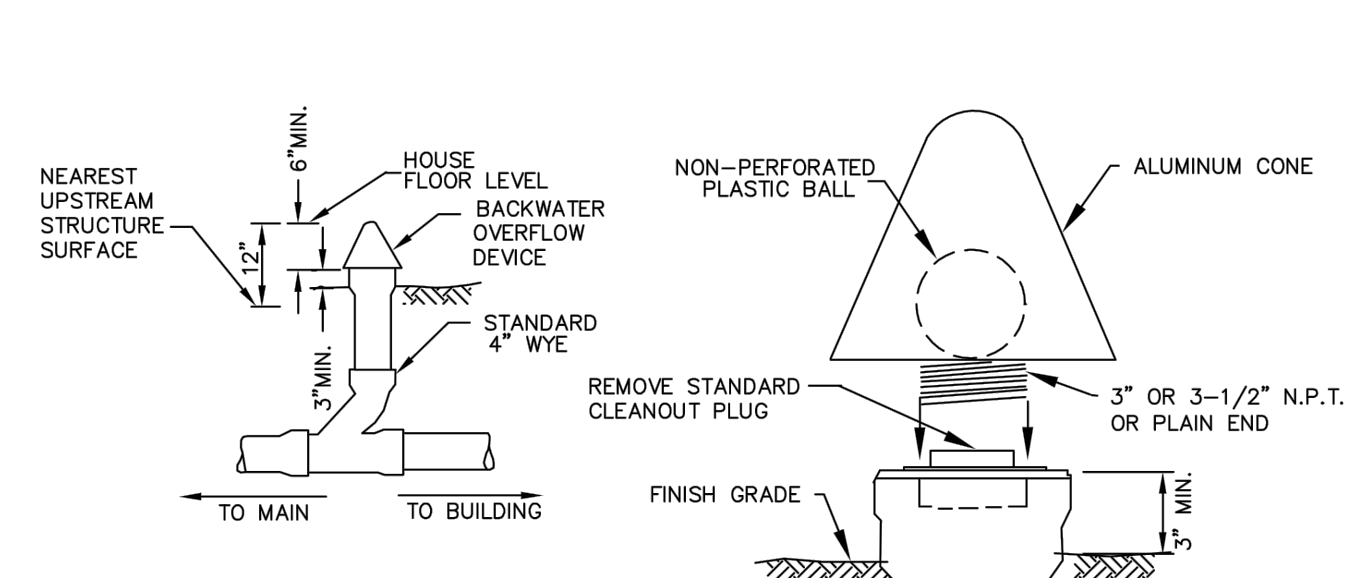
**EMERALD LAKE HILLS SEWER MAINTENANCE DISTRICT GENERAL NOTES**

- A VIDEO INSPECTION OF THE SEWER MAIN (MANHOLE TO MANHOLE) WHERE THE NEW LATERAL CONNECTS TO THE SEWER DISTRICT MAIN AND/OR THE EXISTING CONNECTION IS TO BE REMOVED SHALL BE PERFORMED BY THE APPLICANT OR CONTRACTOR AND SUBMITTED TO THE SEWER DISTRICT FOR REVIEW AFTER LATERAL CONNECTION HAS BEEN MADE AND/OR THE MAIN REPAIRED. THE VIDEO INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS DESCRIBED IN THE SPECIAL PROVISIONS FOR CLOSED CIRCUIT TELEVISION INSPECTION OF SANITARY SEWER MAINS (A COPY CAN BE OBTAINED FROM OUR WEBSITE AT HTTP://PUBLICWORKS.SMCGOV.ORG/SEWER-SERVICES). THE SEWER DISTRICT WILL REVIEW THE VIDEO INSPECTION TO DETERMINE WHETHER THE WORK PERFORMED IS ACCEPTABLE. ALL UNACCEPTABLE WORK SHALL BE CORRECTED TO THE SEWER DISTRICT'S SATISFACTION AT THE APPLICANT'S EXPENSE.
- IF LOWEST FINISHED FLOOR ELEVATION OF THE PROPOSED MAIN RESIDENCE WILL BE LESS THAN ONE FOOT HIGHER THAN THE RIM ELEVATION OF THE NEAREST UPSTREAM SANITARY SEWER MANHOLE, A BACKFLOW PREVENTION OR OVERFLOW DEVICE MUST BE INSTALLED IMMEDIATELY UPSTREAM OF THE REQUIRED CLEANOUT NEAR THE PROPERTY LINE TO PREVENT BACKFLOW OF SEWAGE INTO BUILDING/PROPERTY.
- SANITARY SEWER CONNECTION AND TESTING MUST BE MADE IN THE PRESENCE OF A SEWER DISTRICT REPRESENTATIVE.
- THE SEWER DISTRICT OFFICE SHALL BE CONTACTED AT (650)-363-4100 TO SCHEDULE INSPECTIONS. INSPECTIONS MUST BE SCHEDULED A MINIMUM OF ONE WORKING DAY PRIOR TO THE INSPECTION. NO INSPECTIONS SHALL OCCUR ON FRIDAYS, WEEKENDS OR HOLIDAYS, UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH THE SEWER DISTRICT.
- CARE MUST BE TAKEN TO PROTECT THE EXISTING SEWER DISTRICT FACILITIES WHEN INSTALLING A NEW SEWER LATERAL. ANY DAMAGE TO THE SEWER DISTRICT FACILITIES SHALL BE REPAIRED BY THE APPLICANT PER THE SEWER DISTRICT STANDARD DETAILS AND AT THE APPLICANT'S EXPENSE. THE SEWER DISTRICT MUST BE NOTIFIED OF ANY DAMAGES TO THE SANITARY SEWER FACILITIES AND ANY REPAIRS MUST BE INSPECTED BY A SEWER DISTRICT REPRESENTATIVE.
- IF THE NEW LATERAL WILL BE SUBJECT TO TRAFFIC LOAD, A MINIMUM OF THREE FEET (3') OF COVER SHALL BE MAINTAINED OVER THE SEWER LATERAL BETWEEN THE PROPERTY LINE CLEANOUT AND SEWER MAIN AT ALL TIMES. THE 3 FEET OF COVER PROTECTS THE SEWER LATERAL FROM ACCIDENTAL EXPOSURE AND/OR DAMAGE. IF 3 FEET OF COVER CANNOT BE MAINTAINED OVER THE SEWER LATERAL, THEN DUCTILE IRON PIPE SHALL BE USED.
- IF THE EXISTING LATERAL FROM THE PROPERTY LINE CLEANOUT TO THE SEWER DISTRICT MAIN IS TO BE ABANDONED AND A NEW LATERAL CONNECTION IS PROPOSED, THE EXISTING LATERAL CONNECTION SHALL BE REMOVED AND THE SEWER DISTRICT MAIN REPAIRED BY THE PROJECT APPLICANT. A MINIMUM OF 12 INCHES IN LENGTH OF THE ABANDONED LATERAL UPSTREAM FROM THE PREVIOUS CONNECTION POINT SHALL BE PLUGGED WITH CEMENT.
- IF A NEW LATERAL IS TO BE CONNECTED TO AN EXISTING MANHOLE, THE CONNECTION SHALL BE MADE BY CORE DRILLING A HOLE IN THE MANHOLE WALL APPROPRIATELY SIZED FOR THE SEWER LATERAL PIPE. THE ANNUAL SPACE BETWEEN THE WALL AND PIPE SHALL BE PLUGGED WITH MORTAR CEMENT. AFTER THE ANNUAL SPACE HAS BEEN PLUGGED, THE INTERIOR OF THE ENTIRE MANHOLE SHALL BE COATED WITH AN APPROVED WATERPROOFING MATERIAL APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK SHALL BE PERFORMED TO FAIR OAKS SEWER MAINTENANCE DISTRICTS STANDARD SPECIFICATIONS. IF THERE ARE ANY DISCREPANCIES WITH THE INFORMATION ON THE PLANS AND CONDITIONS ENCOUNTERED IN THE FIELD, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THE DISCREPANCIES.
- THE PROPERTY LINE CLEANOUT MUST BE PLACED IN A LOCATION THAT PROVIDES EASY ACCESS FOR MAINTENANCE EQUIPMENT AND IS OUTSIDE OF ANY ENCLOSURES. A MINIMUM OF 6' IS REQUIRED BETWEEN THE PROPERTY LINE CLEANOUT AND STRUCTURE.

**OVERFLOW AND BACKFLOW DEVICE DETAIL**

C-9

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS  
 REDWOOD CITY CALIFORNIA  
 DRAWN BY: N.M.A.  
 CHECK BY: R.O.  
 APPROVED BY: N.R.C.  
 SCALE: NONE  
 DATE: 6/95  
 REVISED:



**NOTE:** LOCATION OF DEVICE TO APPROVAL OF DISTRICT AND BUILDING DEPARTMENT PRIOR TO INSTALLATION

**NOTE:** LOCATION OF DEVICE TO APPROVAL OF DISTRICT AND BUILDING DEPARTMENT PRIOR TO INSTALLATION

**OVERFLOW AND BACKFLOW DEVICE DETAIL**

C-9

WORK UNDER THE PERMIT ISSUED WITH THIS PLAN SET IS LIMITED TO THE CONSTRUCTION OF RETAINING WALLS ONLY

PRELIMINARY PLANS  
 NOT FOR CONSTRUCTION

DATE: JUNE 2022  
 DRAWN BY: SLC  
 PROJ. ENGR: REN  
 PROJ. MGR: JRD

RECEIVED PROFESSIONAL ENGINEER  
 JAMES R. DENNING  
 79604  
 CIVIL  
 STATE OF CALIFORNIA

cbg  
 CIVIL ENGINEERS

925) 866-0322  
 ROSEVILLE (916) 768-4456  
 WWW.CBAG.COM

PLANNERS  
 SURVEYORS

29 WEST SUMMIT DRIVE  
 THOMAS JAMES HOMES  
 SAN MATEO COUNTY  
 CALIFORNIA

SHEET NUMBER  
**GP-3**  
 OF 4  
 JOB NUMBER  
 3085-00



SAN MATEO COUNTY DEPARTMENT  
OF  
PUBLIC WORKS  
REDWOOD CITY  
CALIFORNIA

DRAWN BY: N.M.A.  
CHECK BY: R.O.  
APPROVED BY: N.R.C.

SCALE: NONE  
DATE: 6/95  
REVISED:

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS  
STANDARD SPECIFICATIONS**

**GENERAL NOTES**

- ALL REFERENCES TO "DISTRICT" IN THESE GENERAL NOTES SHALL MEAN THE APPROPRIATE COUNTY SEWER OR SANITATION DISTRICT.
- THE APPROVAL OF THESE PLANS BY THE DISTRICT SHALL BE INTERPRETED TO MEAN THAT THE SANITARY SEWER DESIGN SHOWN ON THESE PLANS MEETS THE DISTRICT'S STANDARDS. THE DISTRICT'S APPROVAL IN NO WAY GUARANTEES ANY OTHER ASPECT OF THIS PLAN OR ITS ACCURACY RELATIVE TO ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DISTRICT AT 363-4765 OR 363-4100 TWO (2) WORKING DAYS IN ADVANCE OF BEGINNING ANY SANITARY SEWER WORK. THE CONTRACTOR SHALL THEREAFTER KEEP THE INSPECTOR FOR THE DISTRICT INFORMED OF HIS SCHEDULE FOR SANITARY SEWER WORK.
- ALL SANITARY SEWER WORK CONSTRUCTED WITHOUT INSPECTION BY THE DISTRICT SHALL BE REMOVED AND RECONSTRUCTED WITH INSPECTION.
- THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY WORK.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE BEGINNING ANY EXCAVATING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE COUNTY OR CITY BEFORE BEGINNING ANY SANITARY SEWER WORK.
- UPON THE COMPLETION OF CONSTRUCTION A COMPLETE SET OF REPRODUCIBLE "AS-CONSTRUCTED" PLANS SHALL BE PROVIDED TO THE DISTRICT.
- SANITARY SEWER SERVICE SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL USE WHATEVER MEANS ARE NECESSARY (E.G. PUMPS, ETC.) TO MAINTAIN THIS SERVICE DURING CONSTRUCTION.
- PRIOR TO COMMENCING ANY SANITARY SEWER WORK IN OFF-SITE EASEMENTS THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH ADEQUATE EVIDENCE THAT ALL AFFECTED PROPERTY OWNERS (AND TENANTS WHERE APPLICABLE) WERE NOTIFIED WELL IN ADVANCE OF THE DATE WORK IN THESE EASEMENTS WAS TO BEGIN AND THAT THEY HAVE UPDATED THAT NOTICE IN A TIMELY MANNER WHEN THOSE DATES HAVE CHANGED.

C-13

SAN MATEO COUNTY DEPARTMENT  
OF  
PUBLIC WORKS  
REDWOOD CITY  
CALIFORNIA

DRAWN BY: N.M.A.  
CHECK BY: R.O.  
APPROVED BY: N.R.C.

SCALE: NONE  
DATE: 6/95  
REVISED: 4/97

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS  
STANDARD SPECIFICATIONS**

**PIPE AND FITTINGS**

**POLYVINYL CHLORIDE PIPE (PVC)**

- ALL PIPE AND FITTINGS SHALL CONFORM TO ASTM SPECIFICATIONS D3034, SDR 35.
- ALL JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH ELASTOMERIC SEALING GASKETS. SEALING GASKETS SHALL MEET THE REQUIREMENTS OF ASTM SPECIFICATION D1869. SOLVENT CEMENT JOINTS ARE NOT PERMITTED.
- ALL PIPE ENTERING OR LEAVING A CONCRETE STRUCTURE SHALL HAVE A RUBBER WATERSTOP GASKET ATTACHED TO IT. THE WATERSTOP GASKET SHALL CONFORM TO THE PIPE MANUFACTURER'S SPECIFICATIONS. THE WATERSTOP GASKET SHALL BE SEATED FIRMLY AROUND THE PIPE EXTERIOR AND BE CAST INTO THE CONCRETE STRUCTURE.
- ALL PIPE JOINTS SHALL BE MADE USING MANUFACTURED PVC COUPLINGS. BAND TYPE COMPRESSION COUPLINGS ARE NOT PERMITTED.

**DUCTILE IRON PIPE (DIP)**

- ALL PIPE SHALL BE THICKNESS CLASS 50 (FOUR INCH PIPE SHALL BE THICKNESS CLASS 51) IN ACCORDANCE WITH ANSI SPECIFICATIONS A21.51. FITTINGS SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATION A21.10.
- JOINTS SHALL BE PUSH-ON TYPE OR MECHANICAL JOINT TYPE IN ACCORDANCE WITH ANSI SPECIFICATION A21.11. RUBBER GASKETS FOR PUSH-ON JOINTS SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATIONS HEREIN.
- PIPE AND FITTINGS SHALL HAVE A BITUMINOUS COATING OUTSIDE IN ACCORDANCE WITH ASTM SPECIFICATION A746-86, UNLESS OTHERWISE SPECIFIED HEREIN.
- PIPE AND FITTINGS SHALL HAVE A 1/16" (ONE-SIXTEENTH INCH) CEMENT-MORTAR LINING WITH AN ASPHALTIC SEAL COAT.

**VITRIFIED CLAY PIPE (VCP)**

- PIPE AND FITTINGS SHALL BE EXTRA STRENGTH, UNGLAZED, BELL AND SPIGOT, CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATION C700.
- JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH FACTORY INSTALLED FLEXIBLE COMPRESSION TYPE GASKETS MADE OF PLASTICIZED POLYVINYL OR POLYURETHANE CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATIONS C425. BAND TYPE COUPLINGS ARE NOT ALLOW.

C-14

WORK UNDER THE PERMIT  
ISSUED WITH THIS PLAN SET IS  
LIMITED TO THE CONSTRUCTION  
OF RETAINING WALLS ONLY

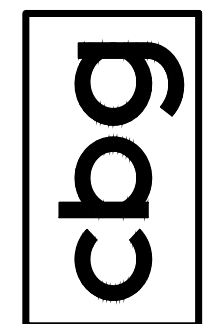
PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

DATE: JUNE 2022  
DRAWN BY: SLC  
PROJECT ENGR: REN  
PROJECT MGR: JRD



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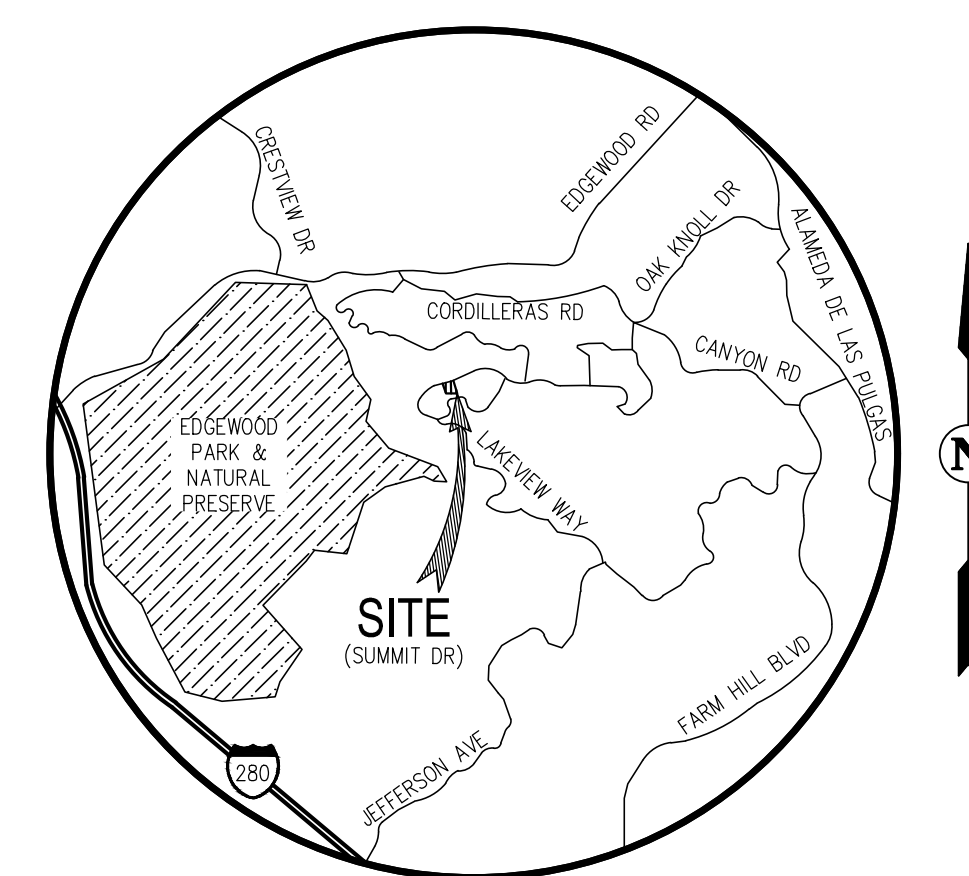
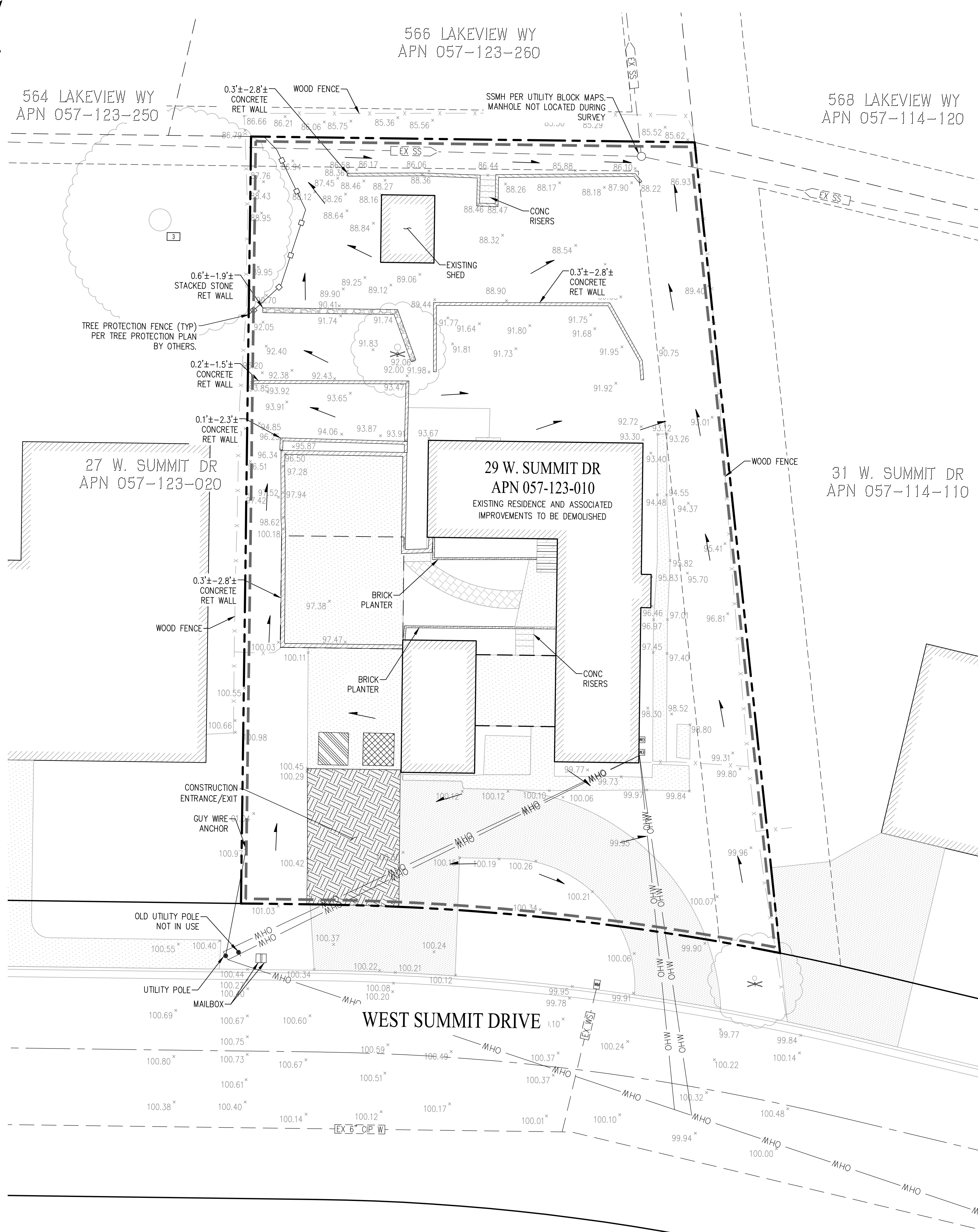
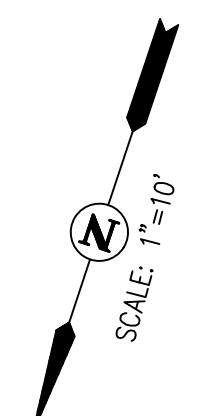
29 WEST SUMMIT DRIVE  
THOMAS JAMES HOMES  
ADDITIONAL SANITARY  
SEWER DETAILS  
SAN MATEO COUNTY  
CALIFORNIA

SHEET NUMBER  
**GP-4**  
OF 4  
JOB NUMBER  
3085-00



**GENERAL NOTES**

1. SITE ADDRESS: 29 WEST SUMMIT DRIVE, EMERALD HILLS, CA 94062
2. OWNER/DEVELOPER (DISCHARGER): THOMAS JAMES HOMES, LLC, 255 SHORELINE DRIVE, SUITE 428, REDWOOD CITY, CA 94065, (650) 434-7966, KEN KING
3. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC., 2633 CAMINO RAMON, SUITE 350, SAN RAMON, CA 94583, (925) 866-0322, JUSTIN R. DEKNOBLOUGH, R.C.E. 79604



**LEGEND**

- PROPERTY BOUNDARY
- - - ADJOINER PROPERTY LINE
- x-x- EXISTING FENCE
- o-o- TREE PROTECTION FENCE
- TREE NUMBER PER ARBORIST REPORT (TO REMAIN)
- TREE NUMBER PER ARBORIST REPORT (TO BE REMOVED)
- - - FIBER ROLL - (SE-5)
- ▭ STABILIZED CONSTRUCTION ENTRANCE/EXIT - (TC-1)
- DIRECTION OF EXISTING RUNOFF FLOW

**PROJECT SUPERINTENDENT TO MARK KNOWN LOCATIONS\***

- ▨ MATERIALS AND EQUIPMENT STORAGE AREA (WM-1 - WM-3\*\*)
- ▨ SANITARY FACILITY (WM-9\*\*)

**NOTE:**

- \* THE MATERIALS AND EQUIPMENT STORAGE AREA AND SANITARY FACILITY WILL BE PLACED AT THE PROJECT SUPERINTENDENT'S DISCRETION AND ARE SUBJECT TO CHANGE.
- \*\* DENOTES SECTION RELATED TO BMP IN THE CASQA BMP HANDBOOK.

**CURRENT CASQA STORMWATER BMP CONSTRUCTION HANDBOOK DETAILS**

- EC-1 SCHEDULING
- NS-1 WATER CONSERVATION PRACTICES
- NS-8 VEHICLE & EQUIPMENT CLEANING
- NS-9 VEHICLE & EQUIPMENT FUELING
- NS-10 VEHICLE & EQUIPMENT MAINTENANCE
- NS-12 CONCRETE CURING
- NS-13 CONCRETE FINISHING
- SE-1 SILT FENCE
- SE-5 FIBER ROLLS
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
- WE-1 WIND EROSION CONTROL
- WM-1 MATERIAL DELIVERY & STORAGE
- WM-2 MATERIAL USE
- WM-3 STOCKPILE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

**NOTE:**

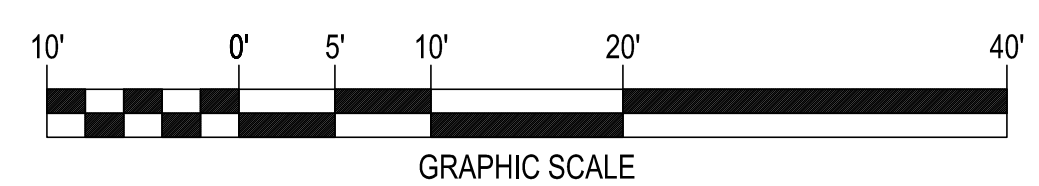
NOT ALL DETAILS LISTED MAY BE APPLICABLE FOR THIS SITE.

**SHEET INDEX**

- ECP-1 EROSION CONTROL PLAN
- ECP-2 EROSION CONTROL NOTES & DETAILS
- ECP-3 EROSION CONTROL & CONSTRUCTION BMP

TREE NUMBER	COMMON NAME	DBH (IN)
1	INCENSE CEDAR	9.0
2	PEAR	13

TREE NUMBER	COMMON NAME	DBH (IN)
3	COAST REDWOOD	45.0



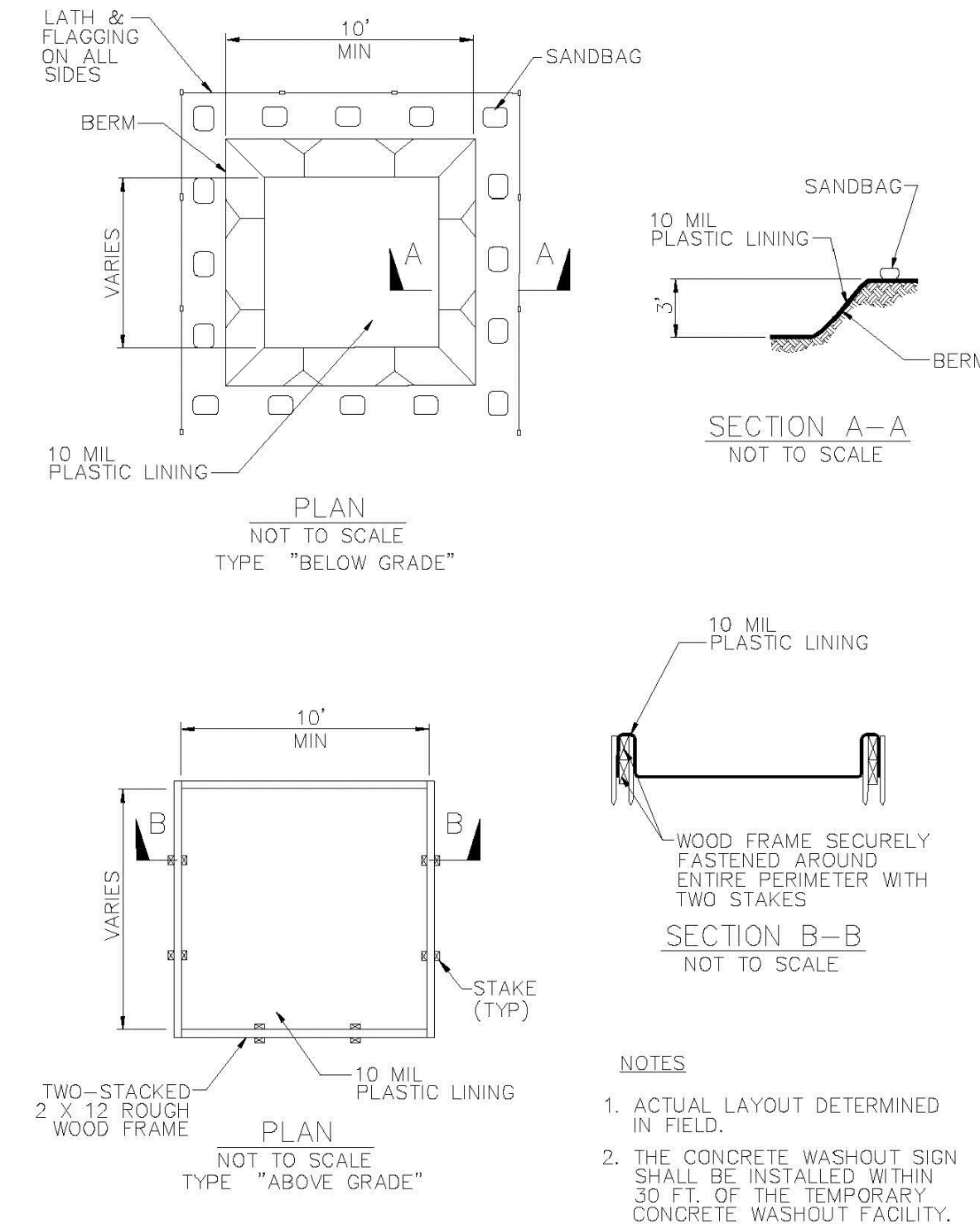
DATE:	MAY 2022	DRAWN BY:	SLC	PROJ. ENGR:	REN	PROJ. MGR:	JRD
SAN RAMON • (925) 866-0322 ROSEVILLE • (916) 768-4456 WWW.CBANG.COM				PLANNERS SURVEYORS			
CIVIL ENGINEERS							
29 W. SUMMIT DRIVE <b>EROSION CONTROL PLAN</b> CALIFORNIA SAN MATEO COUNTY							
SHEET NUMBER <b>ECP-1</b> OF 3 JOB NUMBER 3085-000							



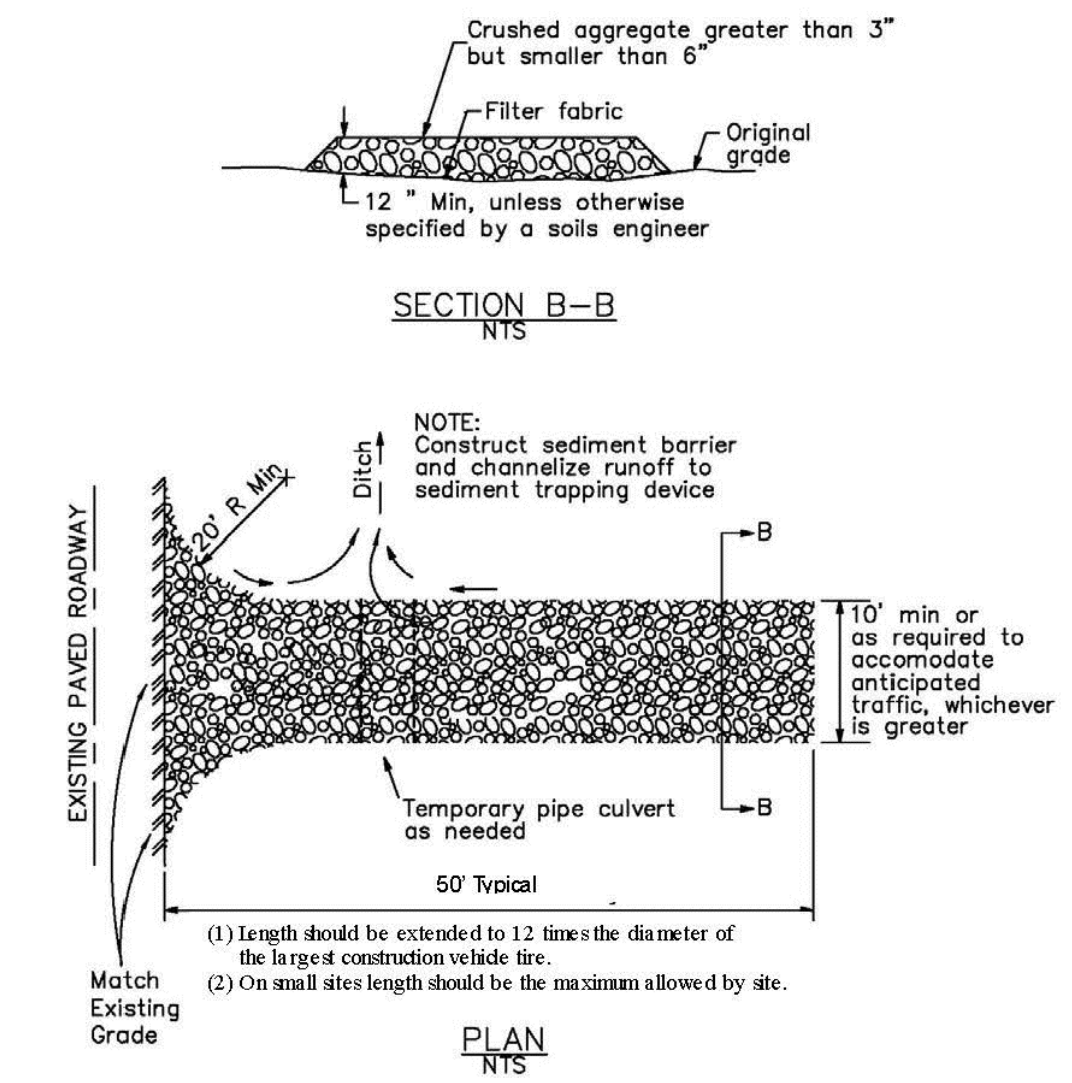
## BEST MANAGEMENT PRACTICE NOTES

- IT SHALL BE THE OWNER'S DUTY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO ENSURE THE ENTIRE SITE IS IN COMPLIANCE WITH LOCAL ORDINANCES PROTECTING THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
- THIS PLAN IS INTENDED TO BE UTILIZED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE UTILIZED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN AS NECESSARY IN THE FIELD. DOCUMENT AND REPORT ANY FIELD CHANGES AND NOTIFY THE CITY OR COUNTY REPRESENTATIVE OF THE FIELD CHANGES.
- ALL MAINTENANCE AND OPERATION REQUIREMENTS SHALL FOLLOW THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
- THE CONTRACTOR OR OWNER SHALL EFFECT AND MAINTAIN PRECAUTIONARY MEASURES NECESSARY TO PROTECT ADJACENT WATERCOURSES AND PUBLIC OR PRIVATE PROPERTY FROM DAMAGE BY EROSION, FLOODING AND DEPOSITION OF MUD OR DEBRIS ORIGINATING FROM THE SITE.
- THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR ALL ASPECTS OF EROSION CONTROL FOR THE PROJECT AND SHALL INSTALL AND MAINTAIN ANY DEVICES AND MEASURES NECESSARY TO THE SATISFACTION OF THE CITY OR COUNTY ENGINEER.
- THE CONTRACTOR OR OWNER SHALL ESTABLISH AND MAINTAIN EFFECTIVE BMP PERIMETER CONTROLS AND STABILIZED ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE YEAR-ROUND.
- EROSION CONTROL MEASURES WILL BE PROPERLY IN PLACE YEAR-ROUND. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE DAY RAIN PROBABILITY EXCEEDS 50 PERCENT.
- INSPECTIONS AND OBSERVATIONS SHALL OCCUR WEEKLY, AND AT LEAST ONCE EACH 24-HOUR PERIOD DURING EXTENDED STORM EVENTS, TO IDENTIFY AND RECORD BMPs THAT NEED MAINTENANCE TO OPERATE EFFECTIVELY, THAT HAVE FAILED OR THAT COULD FAIL TO OPERATE AS INTENDED.
- DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORMWATER DISCHARGES DURING CONSTRUCTION.
- DISCHARGERS SHALL IMPLEMENT EFFECTIVE WIND EROSION CONTROL.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF SITE WORK. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
- APPLY GRAVEL CONSTRUCTION ENTRANCE MATERIAL WITHIN MATERIAL STORAGE AREA.
- APPLY GRAVEL CONSTRUCTION ENTRANCE MATERIAL WITHIN THE VEHICLE STORAGE AREA.
- PLACE ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- IMPLEMENT BMPs TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS.
- PAVED STREETS WILL BE MONITORED DAILY AND FREQUENTLY CLEANED. STREETS WILL ALSO BE SWEEPED ON AT LEAST A WEEKLY BASIS OR MORE OFTEN, AS NEEDED, TO MAINTAIN CONTINUOUS LITTER AND TRACKING CONTROL. STREET WASHING WILL NOT BE DONE.
- TRASH RECEPTACLES WILL BE PROVIDED THROUGHOUT THE SITE AND UTILIZED BY ALL WORKERS FOR MISCELLANEOUS TRASH. SITE REFUSE WILL BE PICKED UP ON A WEEKLY BASIS OR AS OFTEN AS NECESSARY IN ORDER TO KEEP THE SITE CLEAN.
- COVER AND BERM LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.).
- CONTAIN AND SECURELY PROTECT STOCKPILED WASTE MATERIAL FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- EXCAVATING, FILLING, BACKFILLING AND GRADING WORK SHALL NOT BE PERFORMED DURING UNFAVORABLE WEATHER CONDITIONS.
- DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVER FOR INACTIVE AREAS AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND COMPLETED LOTS. INACTIVE AREAS OF CONSTRUCTION ARE AREAS OF CONSTRUCTION ACTIVITY THAT HAVE BEEN DISTURBED AND ARE NOT SCHEDULED TO BE RE-DISTURBED FOR AT LEAST 14 DAYS.
- SLOPES WILL BE GRADED SO THAT WATER IS DIRECTED AWAY FROM THE SLOPE FACES AT THE END OF EACH WORKING DAY WHEN A CHANCE OF RAIN IS FORECAST.
- ALL RILLS, GULLIES, ETC. WILL BE PROMPTLY REPAIRED AS PRACTICAL BY REGRADING OR INSTALLATION OF SOIL, GRAVEL OR SANDBAGS.
- ALL DRAIN INLETS WILL BE PROTECTED AS THEY ARE COMPLETED, DURING THE ENTIRE COURSE OF CONSTRUCTION.
- IF SEDIMENT BASINS ARE TO BE USED, DISCHARGERS SHALL, AT A MINIMUM DESIGN SEDIMENT BASINS ACCORDING TO THE METHOD PROVIDED IN CASQA'S CONSTRUCTION BMP GUIDANCE HANDBOOK.
- AFTER EACH RAINSTORM, SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS, FIBER ROLLS, SILT FENCES AND SILT SACKS. SEDIMENT TRAPS/BASINS SHOULD ALSO BE OBSERVED AND PUMPED DRY AS NECESSARY TO ASSURE PROPER FUNCTION AND CAPACITY.
- INTERIOR FIBER ROLLS MAY BE REMOVED AS THE AREA COMES UNDER CONSTRUCTION FOR FINISH GRADING AND LANDSCAPING INSTALLATION. PERIMETER PROTECTION SHOULD BE LEFT IN PLACE YEAR-ROUND DURING CONSTRUCTION OR DEMOLITION.
- AT A MINIMUM, TREE PROTECTION FENCING IS TO BE ORANGE CONSTRUCTION FENCING AND PLACED AROUND TREE TO CREATE A TREE PROTECTION ZONE AND SHALL BE INSTALLED AROUND TREES THAT ARE TO REMAIN. IF PROJECT ARBORIST REQUIRES ADDITIONAL PROTECTIONS, THE CONTRACTOR SHALL FOLLOW AND INSTALL SAID PROTECTIONS.

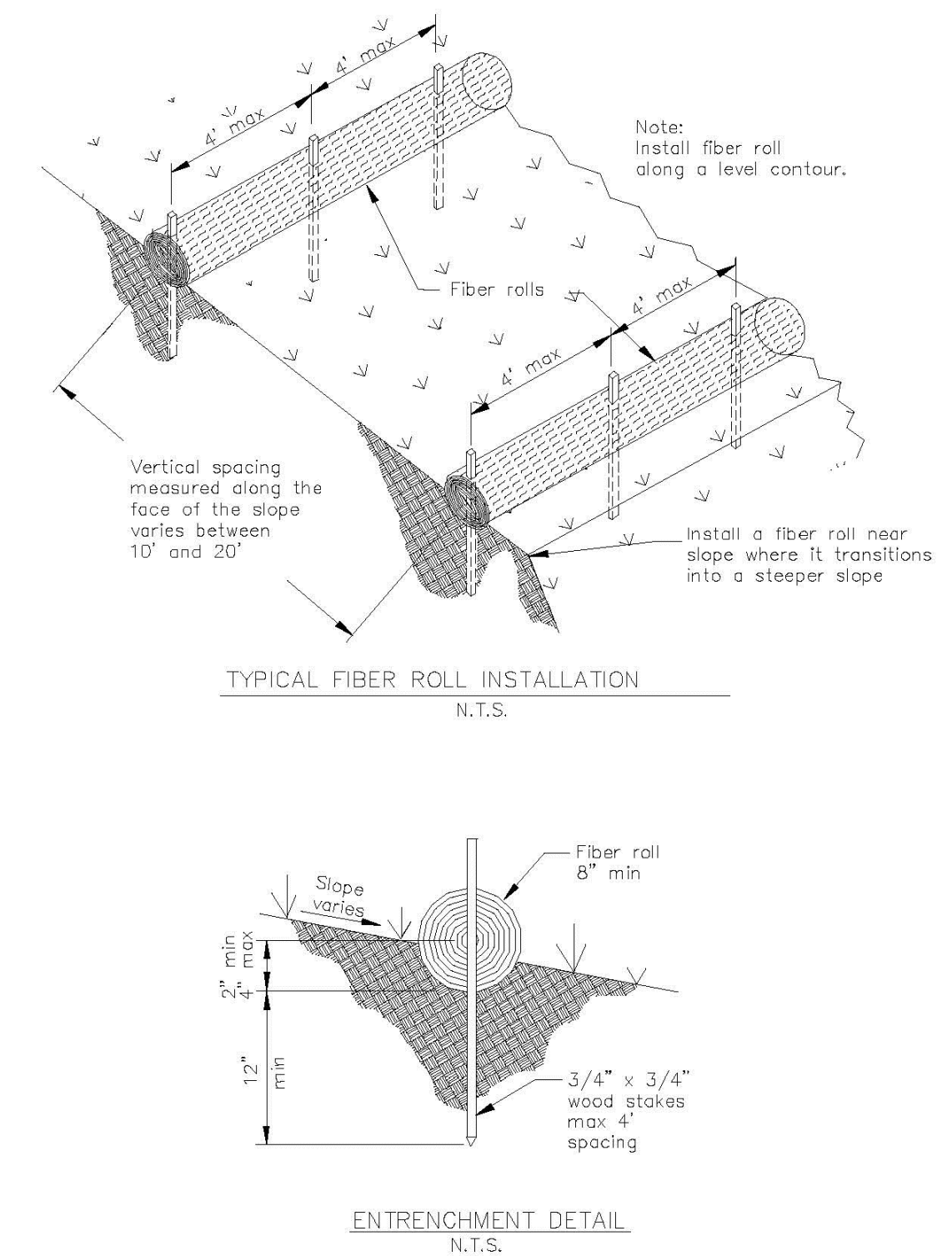
## Concrete Waste Management WM-8



## Stabilized Construction Entrance/Exit TC-1



## Fiber Rolls SE-5



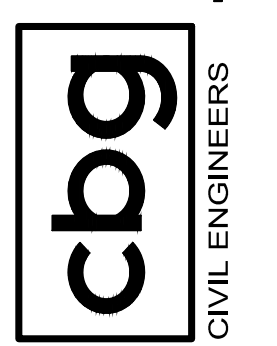
NO.	BY	DATE	REVISIONS

DATE: MAY 2022  
 DRAWN BY: SLC  
 PROJ. ENGR: REN  
 PROJ. MGR: JRD

REGISTERED PROFESSIONAL ENGINEER  
 JUSTIN R. DENNINGHOUGH  
 79604  
 CIVIL  
 STATE OF CALIFORNIA

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29 W. SUMMIT DRIVE  
 THOMAS JAMES HOMES  
 EROSION CONTROL  
 NOTES & DETAILS  
 SAN MATEO COUNTY  
 CALIFORNIA

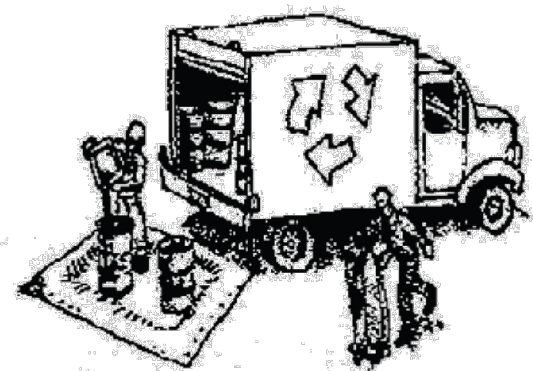
SHEET NUMBER  
**ECP-2**  
 OF 3  
 JOB NUMBER  
 3085-000



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Bern and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



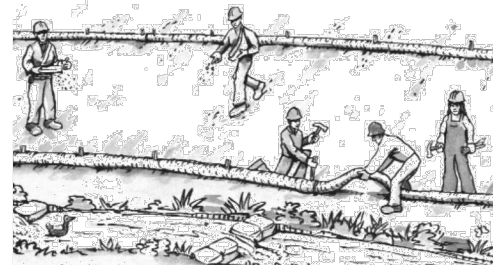
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



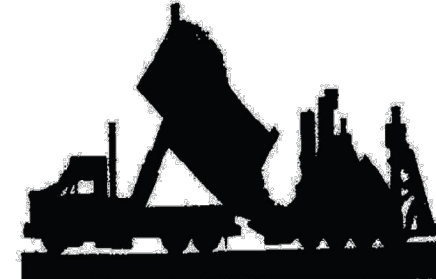
### Schedule grading and excavation work during dry weather.

- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



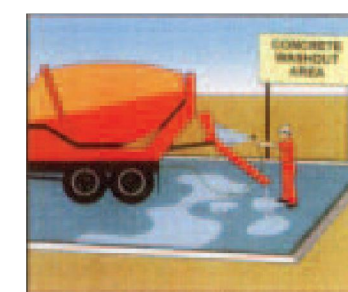
### Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.

- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!)
- If sawcut slurry enters a catch basin, clean it up immediately.

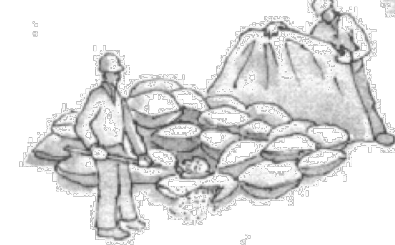
## Concrete, Grout & Mortar Application



### Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.

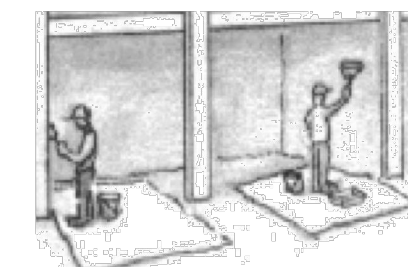
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

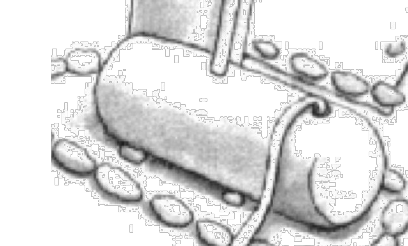
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering

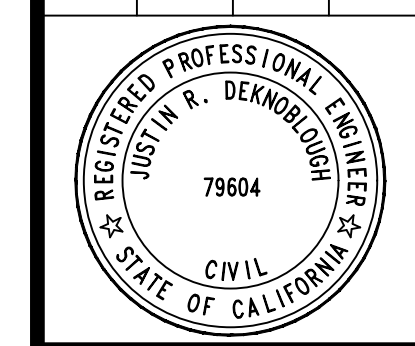


- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

NO.	BY	DATE	REVISIONS

DATE: MAY 2022  
 DRAWN BY: SLC  
 PROJ. ENGR: REN  
 PROJ. MGR: JRD



REGISTERED PROFESSIONAL ENGINEER  
 JUSTIN R. DEKORBO  
 79604  
 CIVIL  
 STATE OF CALIFORNIA

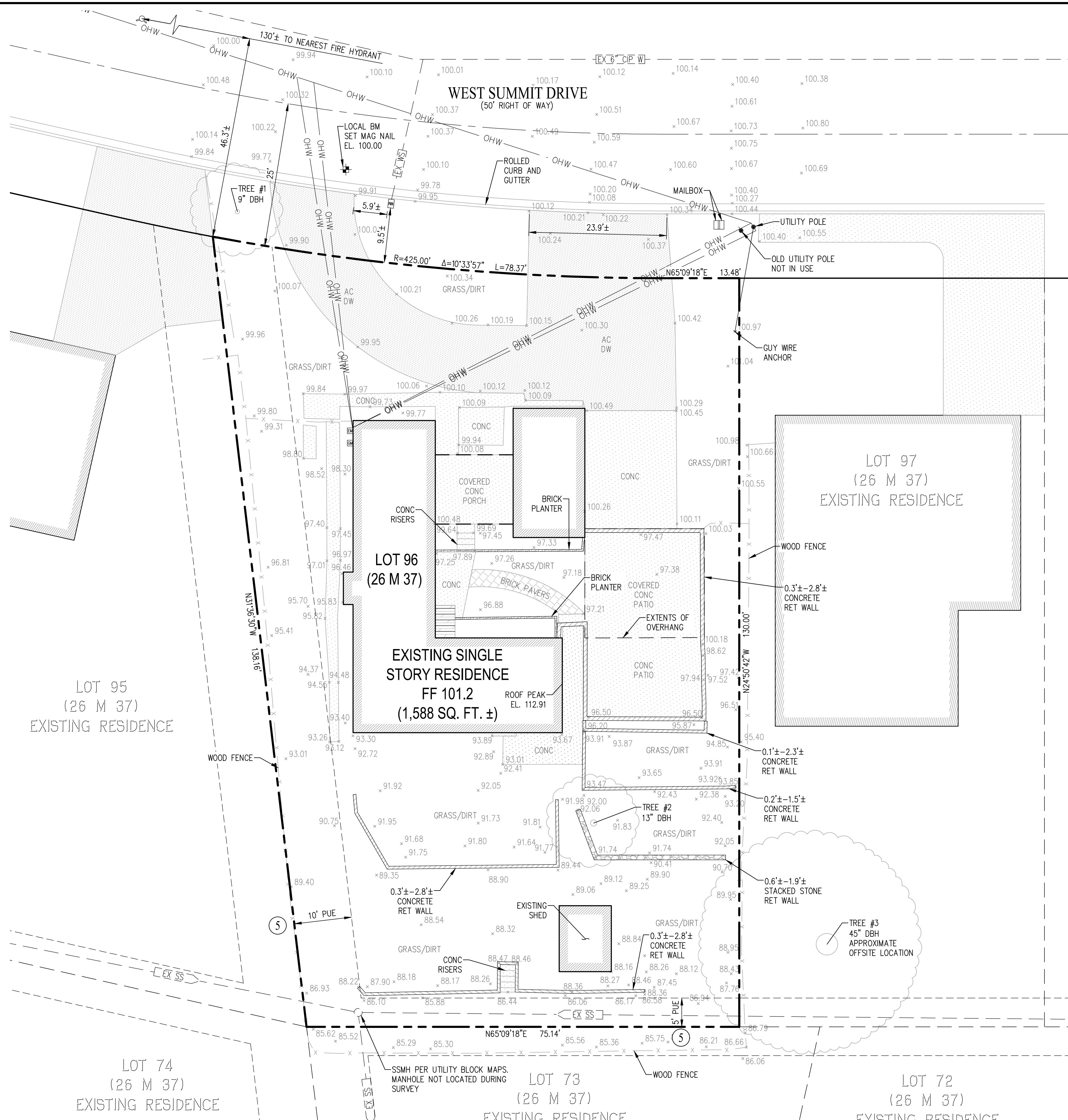
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29 W. SUMMIT DRIVE  
 SAN MATEO COUNTY  
 CALIFORNIA

THOMAS JAMES HOMES  
**EROSION CONTROL & CONSTRUCTION BMPs**

SHEET NUMBER  
**ECP-3**  
 OF 3  
 JOB NUMBER  
 3085-000





**TITLE REPORT**

FIDELITY NATIONAL TITLE COMPANY  
 TITLE NO. FSMO-1082101082-BD  
 DATED JULY 28, 2021

**LEGAL DESCRIPTION:**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA IN COUNTY OF SAN MATEO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT 96, AS DELINEATED UPON THAT CERTAIN MAP ENTITLED "TRACT NO. 563 EMERALD LAKE HEIGHTS, SAN MATEO COUNTY CALIFORNIA", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, ON DECEMBER 9, 1946 IN BOOK 26 OF MAPS, AT PAGES 37 AND 38.

**EXCEPTIONS AND EXCLUSIONS:**

- # INDICATES TITLE REPORT ITEM NUMBER
- ITEMS (1) THROUGH (4) RELATE TO TAXES, LIENS, LAND RIGHTS, AND TITLE DOCUMENTS, AND CANNOT BE PLOTTED.
- (5) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT:
  - PURPOSE: PUBLIC UTILITIES
  - AFFECTS: SOUTHWESTERLY 10 FEET AND SOUTHEASTERLY 5 FEET
- ITEMS (6) THROUGH (8) RELATE TO COVENANTS, CONDITIONS AND RESTRICTIONS, DEED OF TRUST, AND VALIDITY OF TRUSTEES AND CANNOT BE PLOTTED.

**BENCHMARK:**

BENCHMARK ID: LOCAL BENCHMARK  
 DESCRIPTION: SET MAG NAIL IN THE STREET PAVEMENT OF 29 WEST SUMMIT DRIVE.  
 ELEVATION: 100.00' (ASSUMED)

**ASSESSOR'S PARCEL NUMBER:**

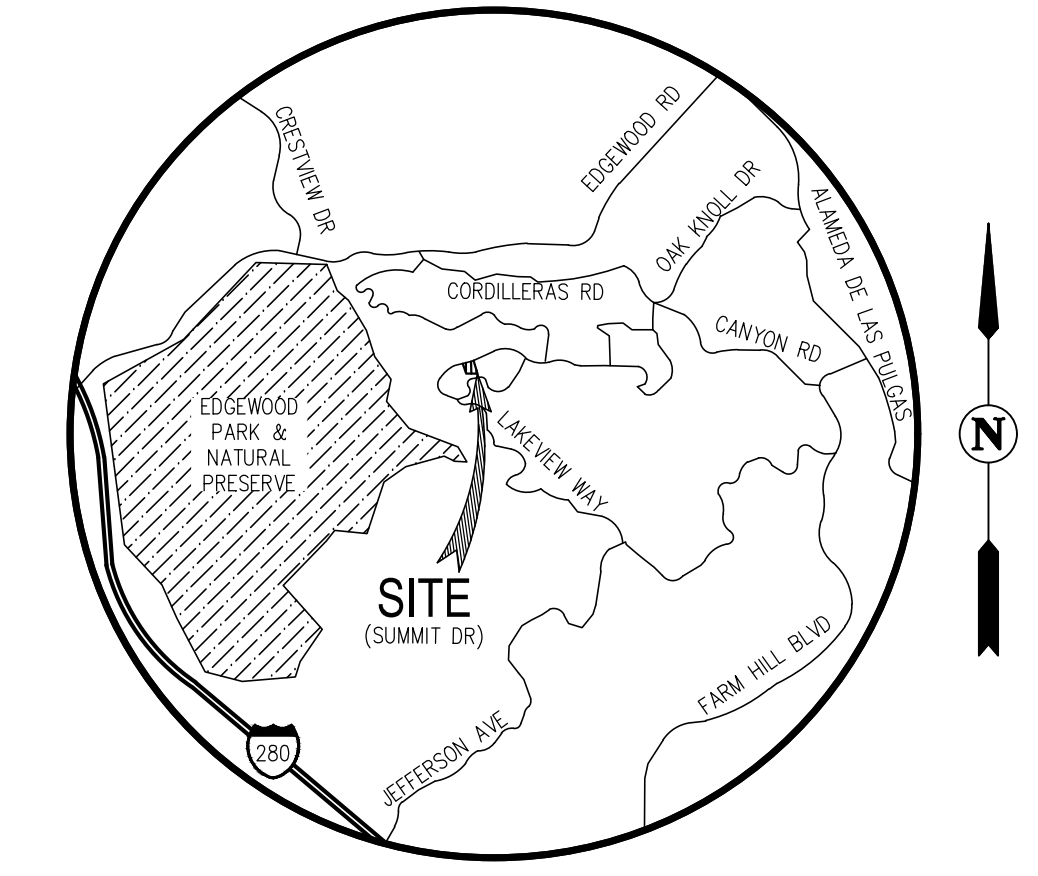
057-123-010

**AREA:**

10,953 SQ. FT. MORE OR LESS.

**LEGEND & ABBREVIATIONS**

---	PROPERTY BOUNDARY LINE	103.30	GROUND ELEVATION
---	EXISTING RIGHT OF WAY	⊗	EXISTING FIRE HYDRANT
---	CENTERLINE	○	EXISTING MANHOLE
---	EXISTING UTILITY LINE	AC	AIR CONDITIONER
---	TIE LINE	CONC	CONCRETE
---	ADJACENT PROPERTY BOUNDARY LINE	DBH	DIAMETER AT BREAST HEIGHT (PER ARBORIST)
---	EXISTING STRUCTURE	DW	DRIVEWAY
---	OVERHEAD WIRES	EL	ELEVATION
---	FENCE LINE	EX	EXISTING
---	BUILDING OVERHANG	FF	FINISHED FLOOR
●	FOUND STANDARD STREET MONUMENT	OH	OVERHANG
●	FOUND MONUMENT AS NOTED	OHW	OVERHEAD WIRES
⊗	EXISTING WATER FAUCET	SS	SANITARY SEWER
⊗	EXISTING ELECTRIC METER	SSMH	SANITARY SEWER MANHOLE
⊗	EXISTING GAS METER	W	WATER
⊗	EXISTING WATER METER	WM	WATER METER
⊗	LOCAL BENCHMARK	WS	WATER SERVICE



**VICINITY MAP**  
NOT TO SCALE

**NOTES:**

- 1) RECORD INFORMATION AND PROPERTY DESCRIPTION ARE PER TITLE REPORT LISTED HEREON. THIS IS NOT A BOUNDARY SURVEY.
- 2) UTILITIES SHOWN ARE BASED ON OBSERVED EVIDENCE AT THE TIME OF THE FIELD SURVEY, AND LIMITED UTILITY RECORDS AVAILABLE. ADDITIONAL RESEARCH AND INVESTIGATION WOULD BE REQUIRED TO DETERMINE THE EXACT LOCATIONS OF UNDERGROUND UTILITIES. DO NOT RELY ON THIS SURVEY FOR SUCH LOCATIONS. SOME UTILITIES COULD BE COVERED BY STRUCTURES OR OBJECTS SUCH AS AUTOMOBILES, TRUCKS, CONTAINERS, ETC.
- 3) ALL DISTANCES SHOWN ARE FEET AND DECIMALS THEREOF.
- 4) NO SANITARY SEWER CLEANOUT WAS LOCATED DURING FIELD SURVEY.
- 5) ALL TIES SHOWN HEREON ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 6) STRUCTURES, TREES, AND IMPROVEMENTS ON ADJACENT PROPERTIES HAVE NOT BEEN SURVEYED. LOCATIONS DEPICTED HEREIN ARE APPROXIMATE.
- 7) SURVEY UPDATED 10/4/21 TO INCLUDE TREE TAG INFORMATION RELATED TO TREE INVENTORY IN THE PROJECT ARBORIST REPORT DATED 9/29/21 AND PREPARED BY CALIFORNIA TREE AND LANDSCAPE CONSULTING, INC.

**REFERENCES:**

- (#) INDICATES REFERENCE NUMBER
- (1) TRACT NO 563, EMERALD LAKE HEIGHTS, SAN MATEO COUNTY CALIFORNIA (29 M 37)

**FLOOD ZONE:**

ZONE X: AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN.  
 SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 06081C0282E  
 DATED: OCTOBER 16, 2012

**29 WEST SUMMIT DRIVE  
TOPOGRAPHIC SURVEY**

SAN MATEO COUNTY CALIFORNIA  
 SCALE: 1" = 10' DATE: SEPTEMBER 9, 2021

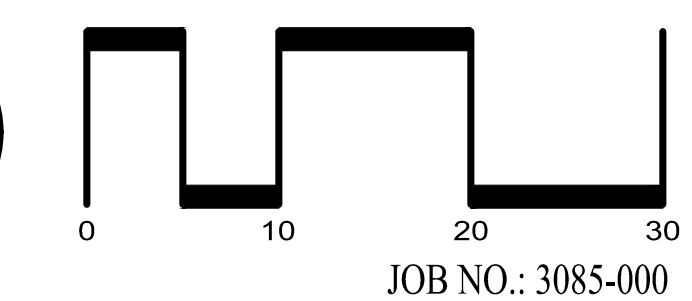
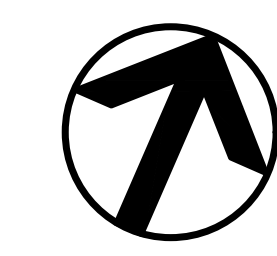
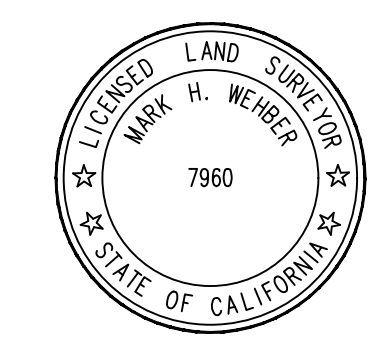
**SURVEYOR'S STATEMENT:**

THIS TOPOGRAPHIC SURVEY REPRESENTS A SURVEY BY ME OR UNDER MY DIRECTION.

*Mark H. Wehber*

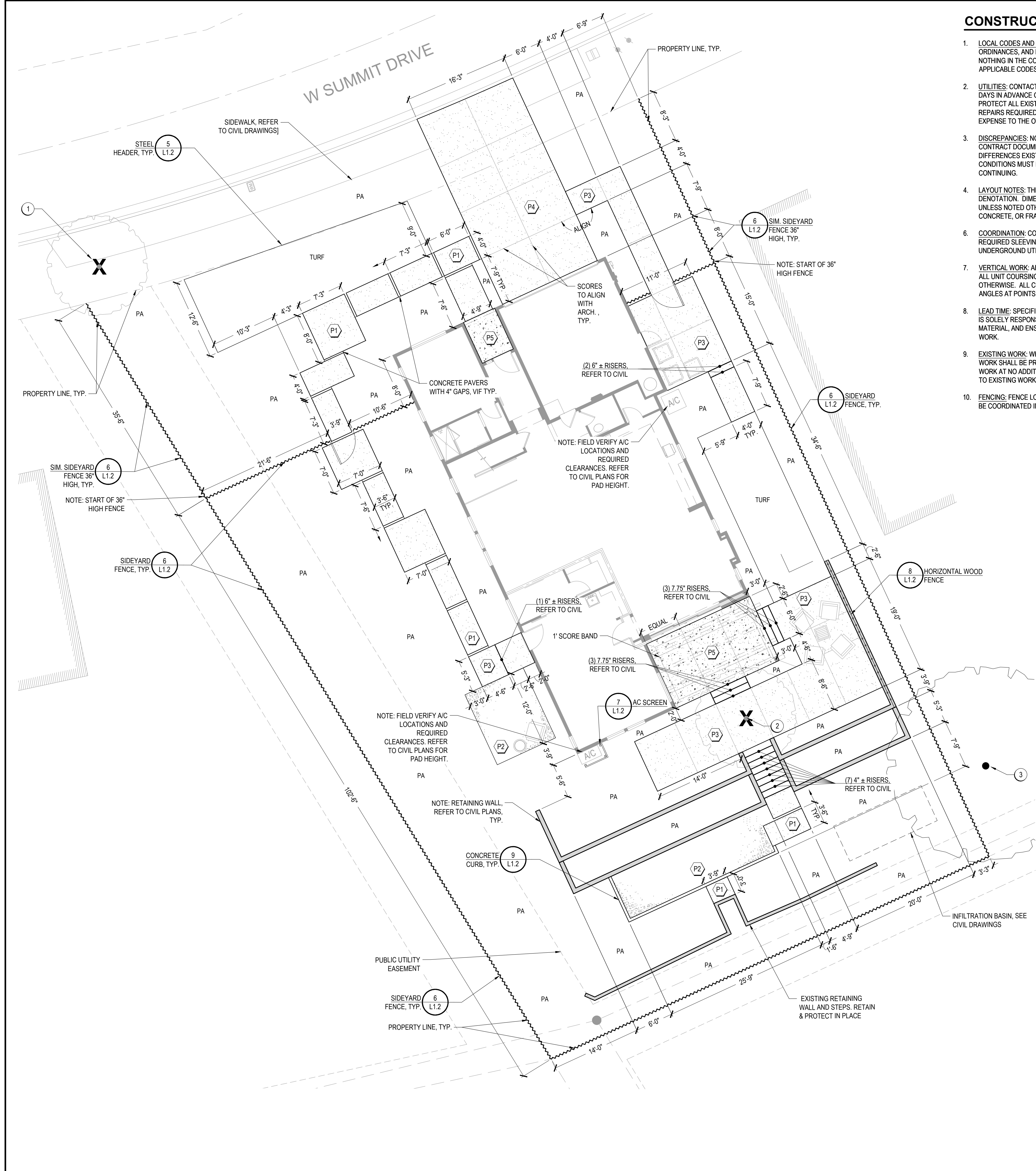
MARK H. WEHBER  
 REGISTERED L.S. NO. 7960

9/9/2021  
 DATE



SAN RAMON (925) 866-0322  
 SACRAMENTO (916) 375-1877  
 WWW.CBANDG.COM  
 CIVIL ENGINEERS SURVEYORS PLANNERS

SHEET NO.  
**1**  
 OF 1 SHEETS



**CONSTRUCTION NOTES**

1. LOCAL CODES AND ORDINANCES: WORK SHALL CONFORM TO ALL LOCAL CODES, ORDINANCES, AND REQUIREMENTS, INCLUDING FEDERAL ACCESSIBILITY GUIDELINES. NOTHING IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS AN EXEMPTION TO APPLICABLE CODES OR OTHER JURISDICTIONAL REQUIREMENTS.
2. UTILITIES: CONTACT COMMON GROUND ALLIANCE (C.G.A.) AT 811, AT LEAST TWO WORKING DAYS IN ADVANCE OF WORK (PER CA GOV. CODE 4218). THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, AND SHALL PAY FOR ANY REPAIRS REQUIRED DUE TO THE CONTRACTOR'S OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
3. DISCREPANCIES: NOTIFY DISTRICT'S REPRESENTATIVE OF ANY VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. DO NOT PROCEED WHERE DIFFERENCES EXIST THAT WOULD AFFECT THE WORK. ALL ADJUSTMENTS DUE TO FIELD CONDITIONS MUST BE APPROVED BY THE DISTRICT'S REPRESENTATIVE PRIOR TO CONTINUING.
4. LAYOUT NOTES: THE WRITTEN DIMENSION SUPERCEDES SCALED OR GRAPHIC DENOTATION. DIMENSIONS ARE BETWEEN PARALLEL OR PERPENDICULAR POINTS UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO CENTERLINE OR FACE OF MASONRY, CONCRETE, OR FRAMING SUBSTRATE FINISH SURFACES, UNLESS NOTED OTHERWISE.
5. COORDINATION: CONTRACTOR SHALL COORDINATE WORK BETWEEN TRADES. ALL REQUIRED SLEEVING SHALL BE COORDINATED WITH SITE WORK, INCLUDING OTHER UNDERGROUND UTILITIES, CURBS, AND CONCRETE.
6. VERTICAL WORK: ALL VERTICAL CONSTRUCTION SHALL BE INSTALLED TRUE AND PLUMB. ALL UNIT COURSING AND TOPS OF WALLS, FENCES, ETC. SHALL BE LEVEL UNLESS NOTED OTHERWISE. ALL CURVES SHALL BE CONTINUOUS AND EVEN, WITH NO BREAKS OR ANGLES AT POINTS OF TANGENCY OR FORMWORK JOINTING.
7. LEAD TIME: SPECIFIED MATERIALS MAY REQUIRE A SIGNIFICANT LEAD TIME. CONTRACTOR IS SOLELY RESPONSIBLE TO LEAD TIMES AND TO PROVIDE SUBMITTALS, AND ORDER MATERIAL, AND ENSURE DELIVERY TO THE JOB SITE TO ALLOW TIMELY PROGRESSION OF WORK.
8. EXISTING WORK: WHERE NEW CONSTRUCTION ABUTS EXISTING WORK, ALL EXISTING WORK SHALL BE PROTECTED. CONTRACTOR SHALL REPLACE ANY DAMAGED EXISTING WORK AT NO ADDITIONAL EXPENSE TO THE OWNER. ALL NEW WORK WILL CONFORM TO EXISTING WORK, INCLUDING FLATWORK JOINTS, ELEVATIONS, COLOR, AND FINISH.
9. FENCING: FENCE LOCATIONS SHOWN ARE DIAGRAMMATIC AND FINAL LOCATIONS ARE TO BE COORDINATED IN THE FIELD BY THE LANDSCAPE CONTRACTOR.

**LAYOUT LEGEND**

DETAIL CALLOUT	ADJ. EQ BOC BOW CJ CL CLR EJ EQ ILO MAX MIN	ADJACENT EQUAL DISTANT BACK OF CURB BACK OF WALK CONSTRUCTION/COLD JOINT CENTERLINE CLEAR EXPANSION JOINT EQUAL DISTANT IN LIEU OF MAXIMUM MINIMUM	NATIVE GRASS OH PA PLB SIM SYM TYP T, TURF UNO VIF	NATIVE GRASS OVERHANG PLANTING AREA PROPERTY LINE POINT OF BEGINNING SIM SYMMETRICAL TYPICAL TURF AREA UNLESS NOTED OTHERWISE VERIFY IN FIELD
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**PAVING AND FENCING LEGEND**

- P1 CONCRETE PAVERS PER DETAIL 1/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. 4" GAP FILL WITH P2.
- P2 DECORATIVE GRAVEL PER DETAIL 4/L1.2: 3/8" CRUSHED AGGREGATE, COLOR: YOSEMITE TAN (BUILDER TO VERIFY), BY LYNGSO (650.364.1730). 2" OVER COMPACTED SUBGRADE OVER FILTER FABRIC. WITH 8" GALVANIZED WIRE STAPLES.
- P3 CONCRETE PAVING (PEDESTRIAN) PER DETAIL 2/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS.
- P4 CONCRETE PAVING (VEHICULAR) PER DETAIL 3/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. TOOLED SCORE JOINTS AS SHOWN ON PLANS.
- P5 CONCRETE TO BE POURED WITH ARCHITECTURE. REFER TO STRUCTURAL DRAWINGS.
- Sideyard Fence: PER DETAIL 6/L1.2, 330 LF (CONTRACTOR TO VERIFY, INCLUDES TWO 4'-0" GATE)
- 36" Fence Similar to Sideyard Fence: PER DETAIL 6/L1.2, 64 LF (CONTRACTOR TO VERIFY)
- 36" Horizontal Fence: PER DETAIL 8/L1.2, 31 LF (CONTRACTOR TO VERIFY)
- Steel Header, TYP. REFER TO PLAN FOR EXACT LOCATIONS AND CONDITIONS.

**TREE PROTECTION CHART** NOTE: SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION

KEYNOTE	TAG#	STATUS	LOCATION	SCIENTIFIC NAME	COMMON NAME	DBH (in)	ACTION
1	3099	Protected	On-Site	<i>Calocedrus decurrens</i>	Incense Cedar	9	Remove
2	3100	Protected	On-Site	<i>Pyrus</i>	Pear	13	Remove
3	9600	Non-Protected	Off-Site	<i>Sequoia sempervirens</i>	Coast Redwood	45	Retain and Protect

**SITE CALCULATIONS (PERFORMANCE APPROACH)**

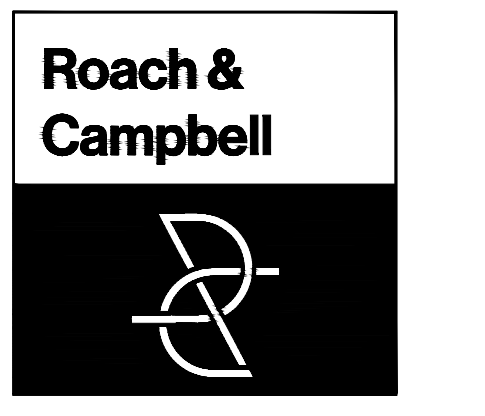
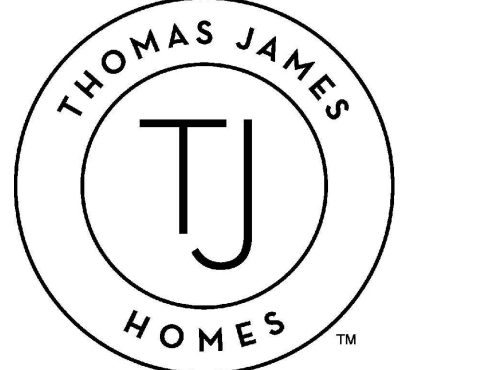
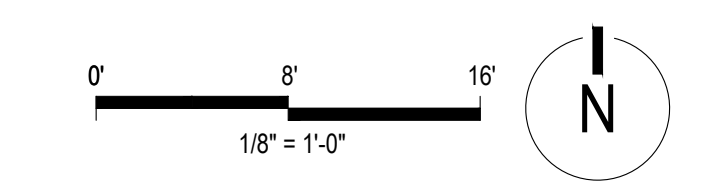
29 W Summit	SF	% OF LOT AREA
<b>EXISTING</b>		
TOTAL LOT SF	10,953	100%
<b>TOTAL PERMEABLE AREA</b>	<b>7,207</b>	<b>66%</b>
PROPOSED LOT LANDSCAPE AREA (% OF TOTAL AREA)	6,405	58%
SHRUB AND GROUND COVER AREA (% OF TOTAL LANDSCAPE AREA)	5,732	89%
PROPOSED TURF AREA (% OF TOTAL LANDSCAPE AREA)	673	11%
AGGREGATE PATIO	350	
WALKABLE CONCRETE PADS WITH GAPS	452	
<b>TOTAL IMPERMEABLE AREA</b>	<b>3,746</b>	<b>34%</b>
RESIDENCE/ GARAGE FOOTPRINT (% OF TOTAL AREA)	2,181	20%
LANAI	195	
FRONT PORCH	37	
EXISTING RETAINING WALL	30	
EXISTING STAIRS TO REMAIN	13	
NEW RETAINING WALL	109	
TRASH PAD AND WALK WAYS	851	
DRIVEWAY (CONCRETE)	330	
<b>CALCULATIONS FOR AREA PAST THE PROPERTY LINE</b>	<b>1,031</b>	
SHRUB AND GROUND COVER AREA	494	
PUBLIC SIDEWALK	356	
DRIVEWAY	181	

NOTE: WATER SUPPLY IS DOMESTIC.

**SEE SHEET L1.2 FOR CONSTRUCTION DETAILS**

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

SIGNED \_\_\_\_\_ DATE 08/09/22



111 Scripps Drive  
 Sacramento, California 95825  
 916.945.8003 | 916.342.7119  
 4409 CRA 5044

**LANDSCAPE IMPROVEMENT PLANS FOR**

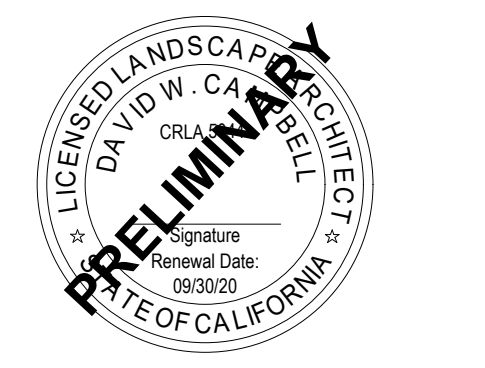
**29 W SUMMIT DRIVE, EMERALD HILLS, CA**

BY THOMAS JAMES HOMES

KEYMAP:

LAYOUT PLAN, NOTES, AND LEGEND

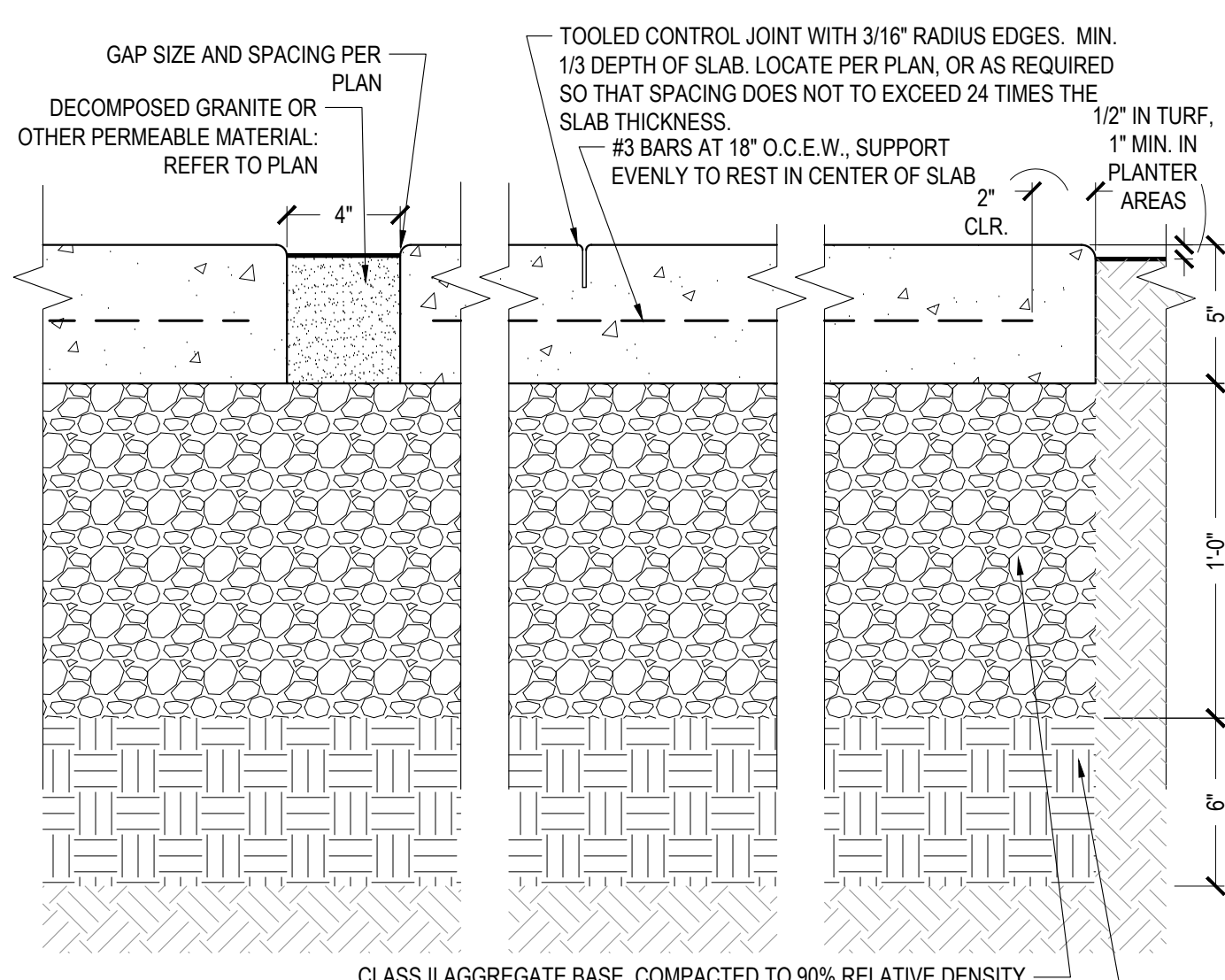
DRAWN BY: \_\_\_\_\_  
 STAFF \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DWG \_\_\_\_\_  
 JOB NO. \_\_\_\_\_  
 20035 \_\_\_\_\_  
 DATE \_\_\_\_\_  
 06/13/2022 \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_



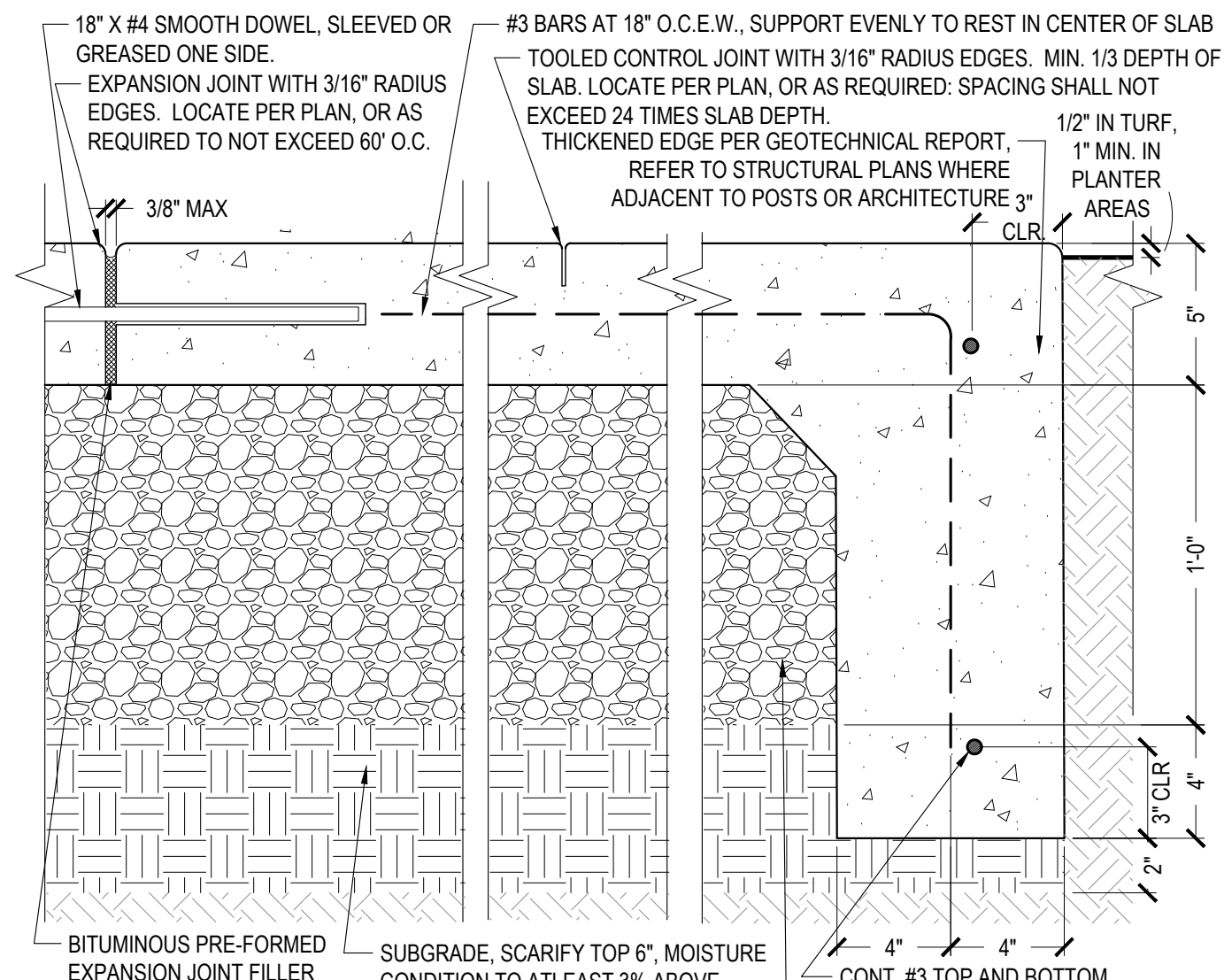
**L1.1**

DRAWINGS IN SET: 9

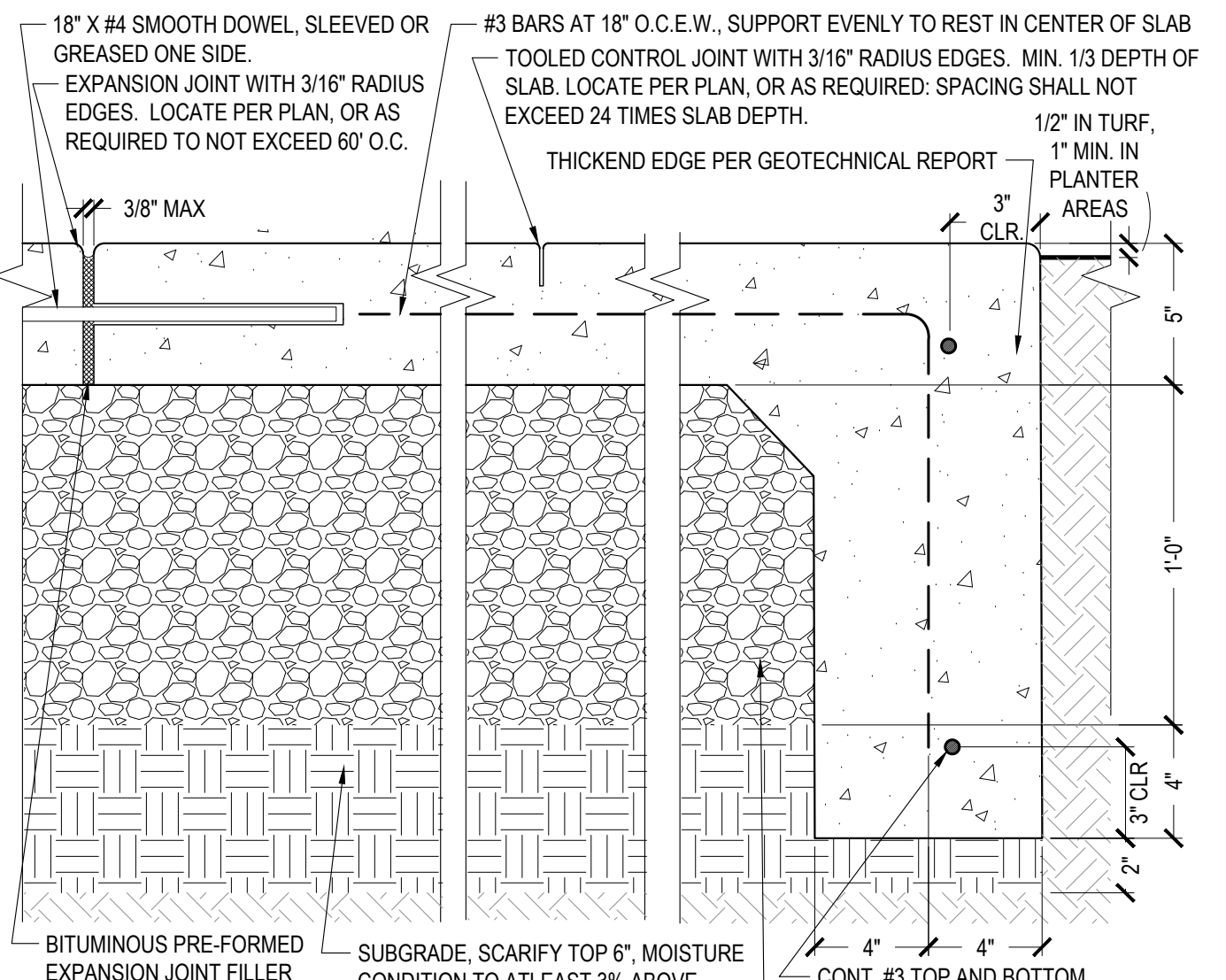
DESIGN REVIEW - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).



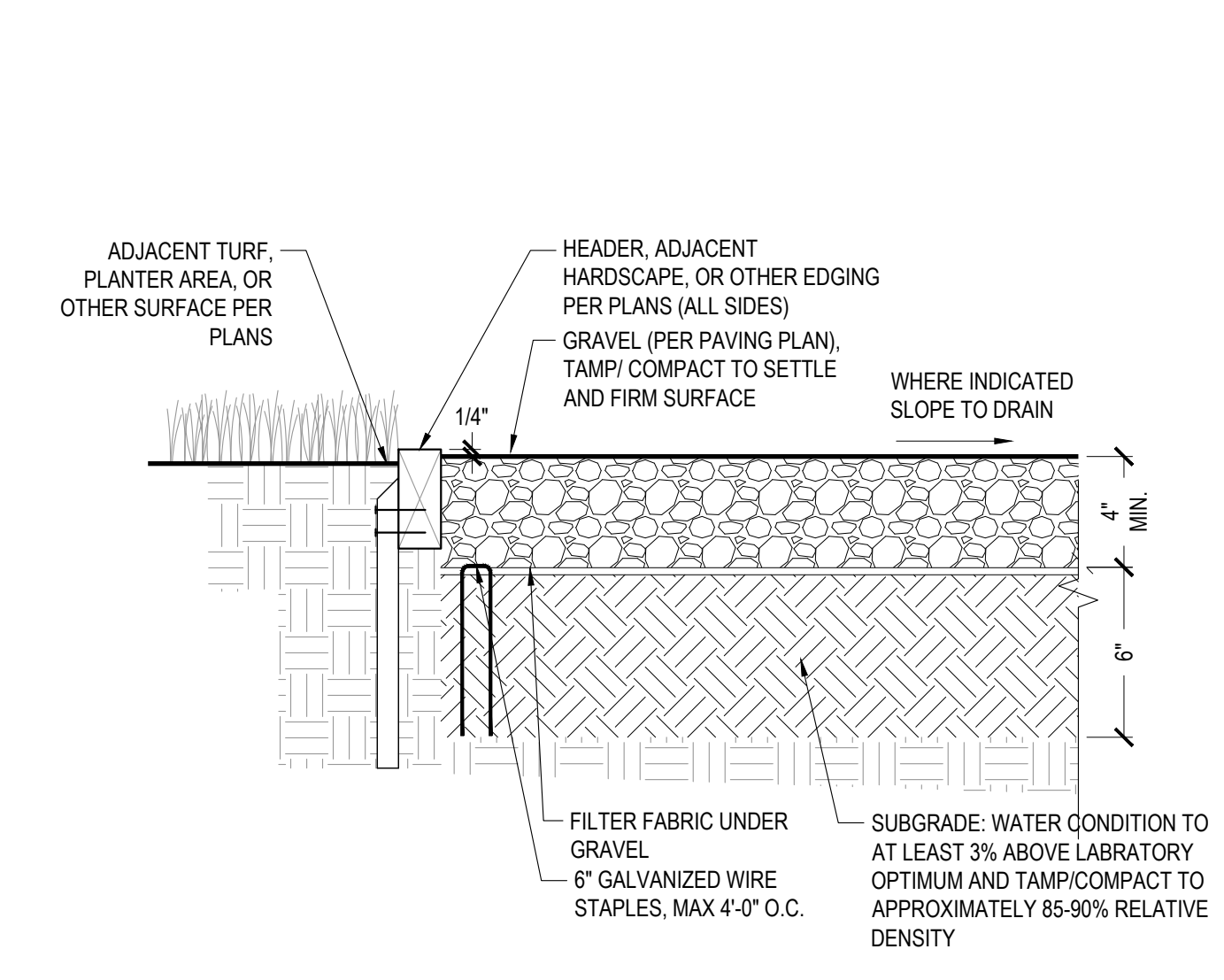
**1 CONCRETE PAVERS**  
1" = 0'-6"



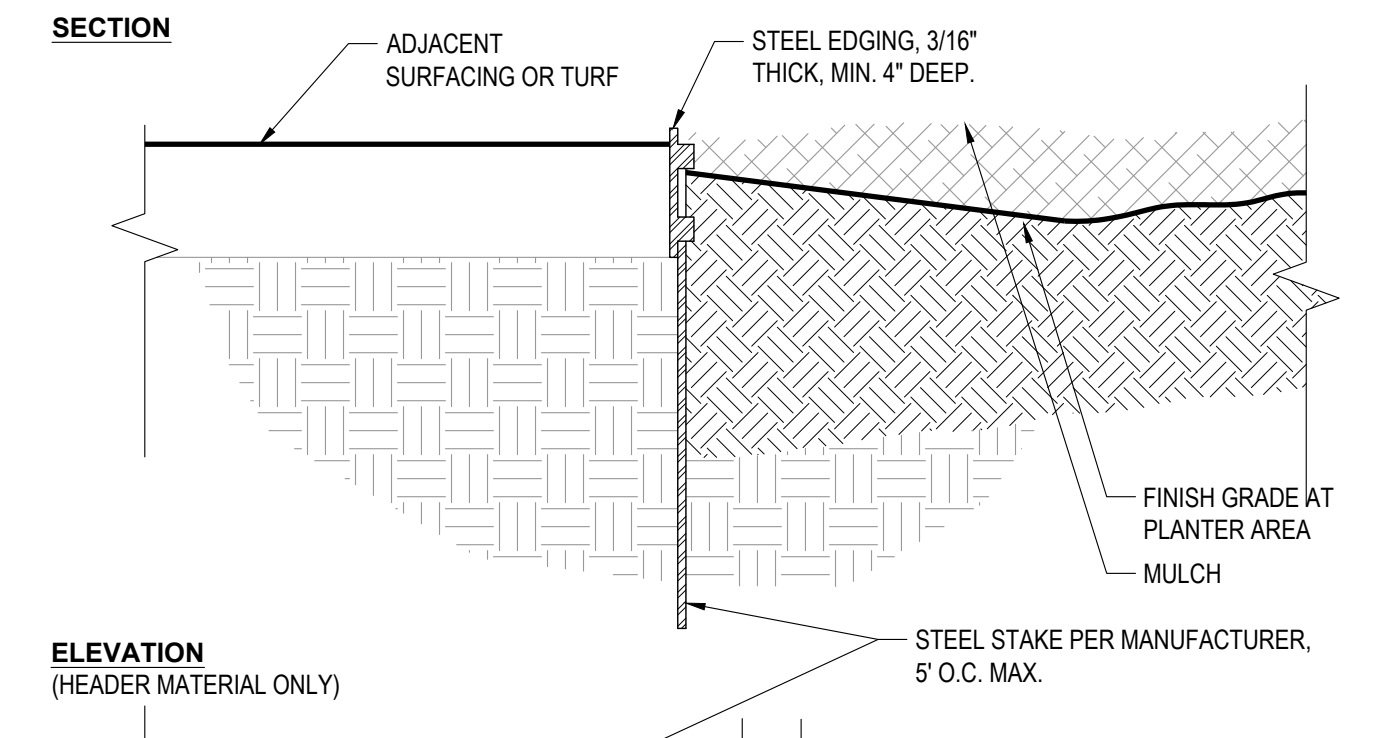
**2 CONCRETE PAVING (PEDESTRIAN)**  
1" = 0'-6"



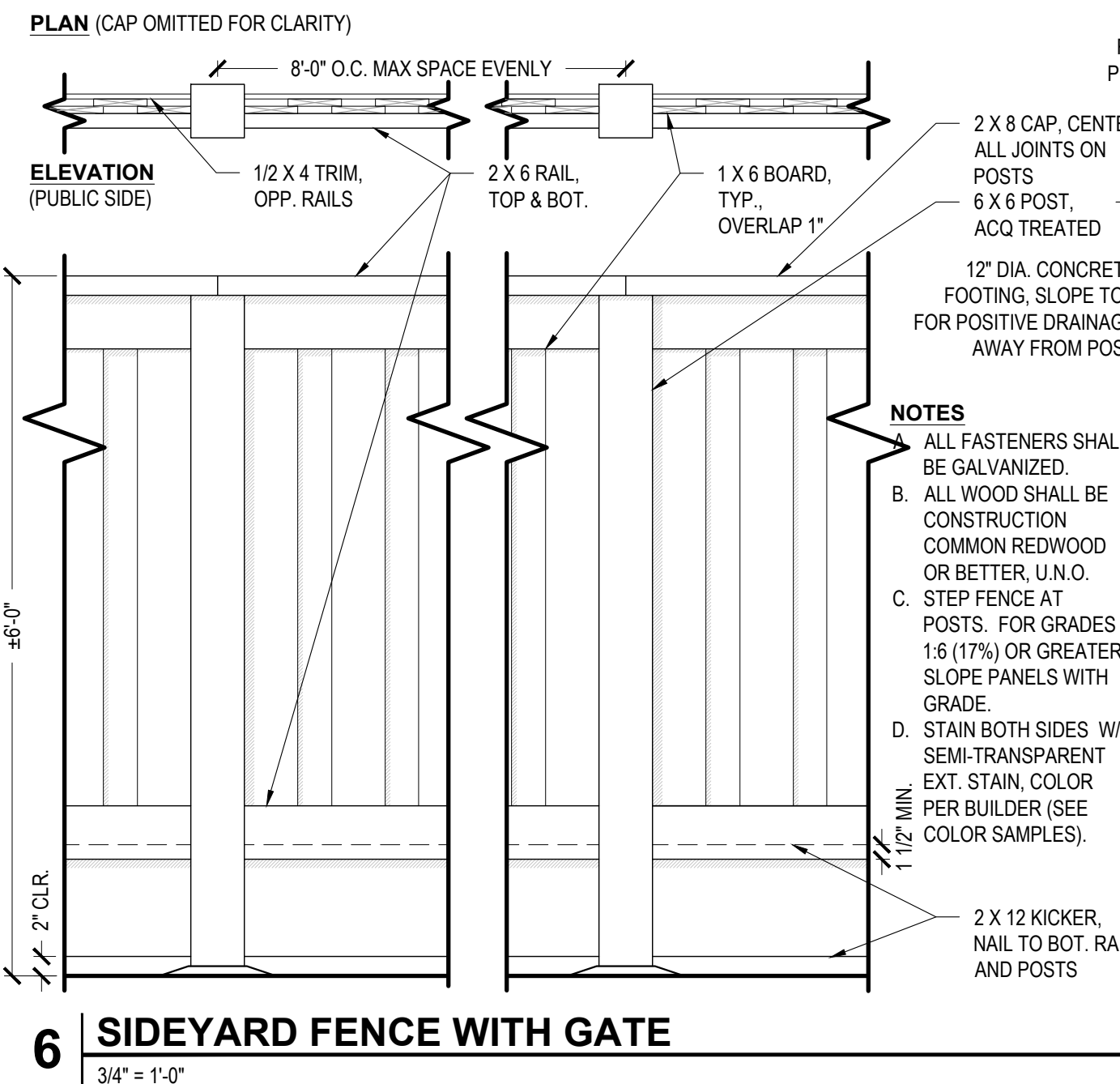
**3 CONCRETE PAVING (VEHICULAR)**  
1" = 0'-6"



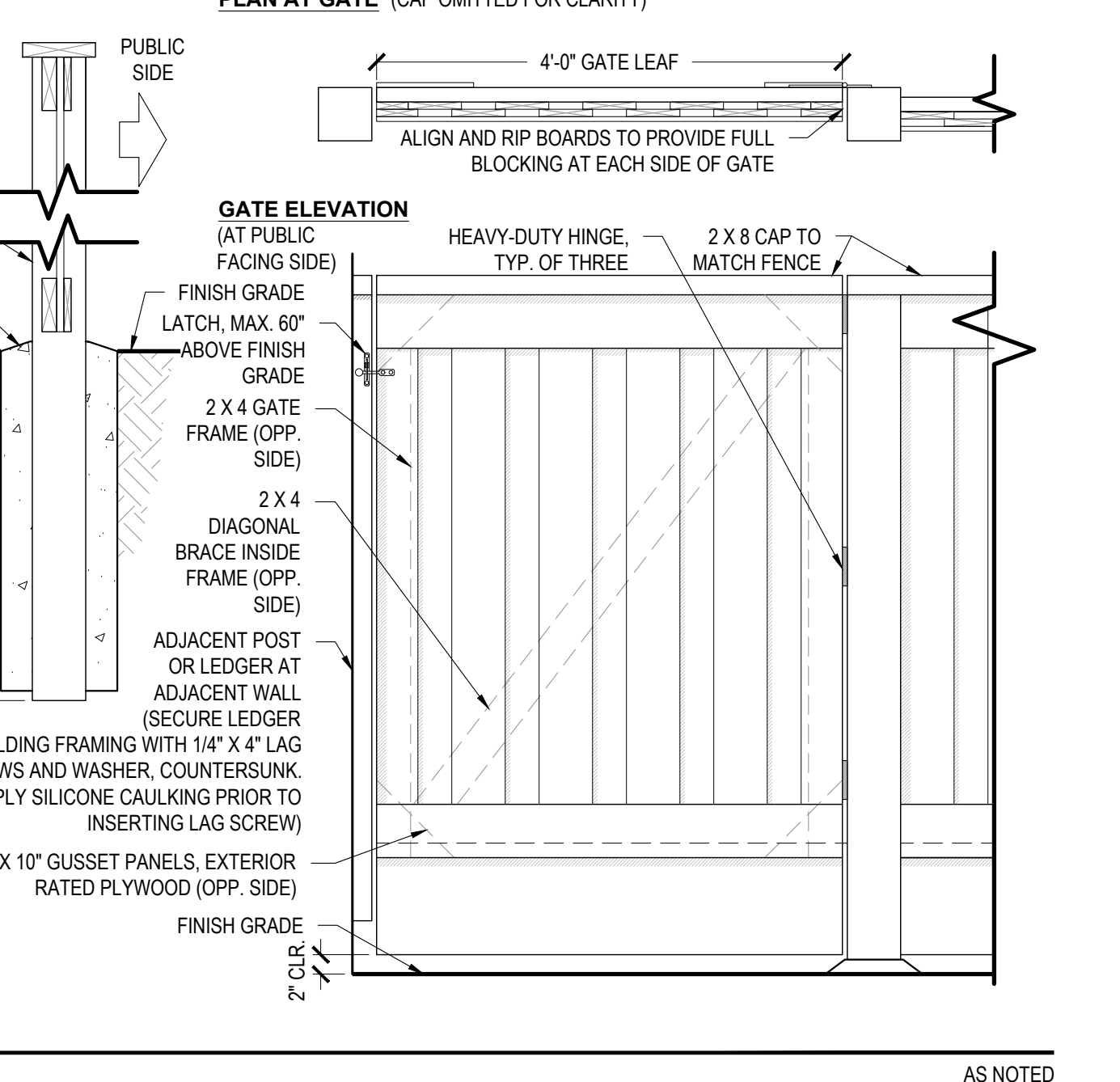
**4 CRUSHED GRAVEL (PEDESTRIAN)**  
1" = 0'-6"



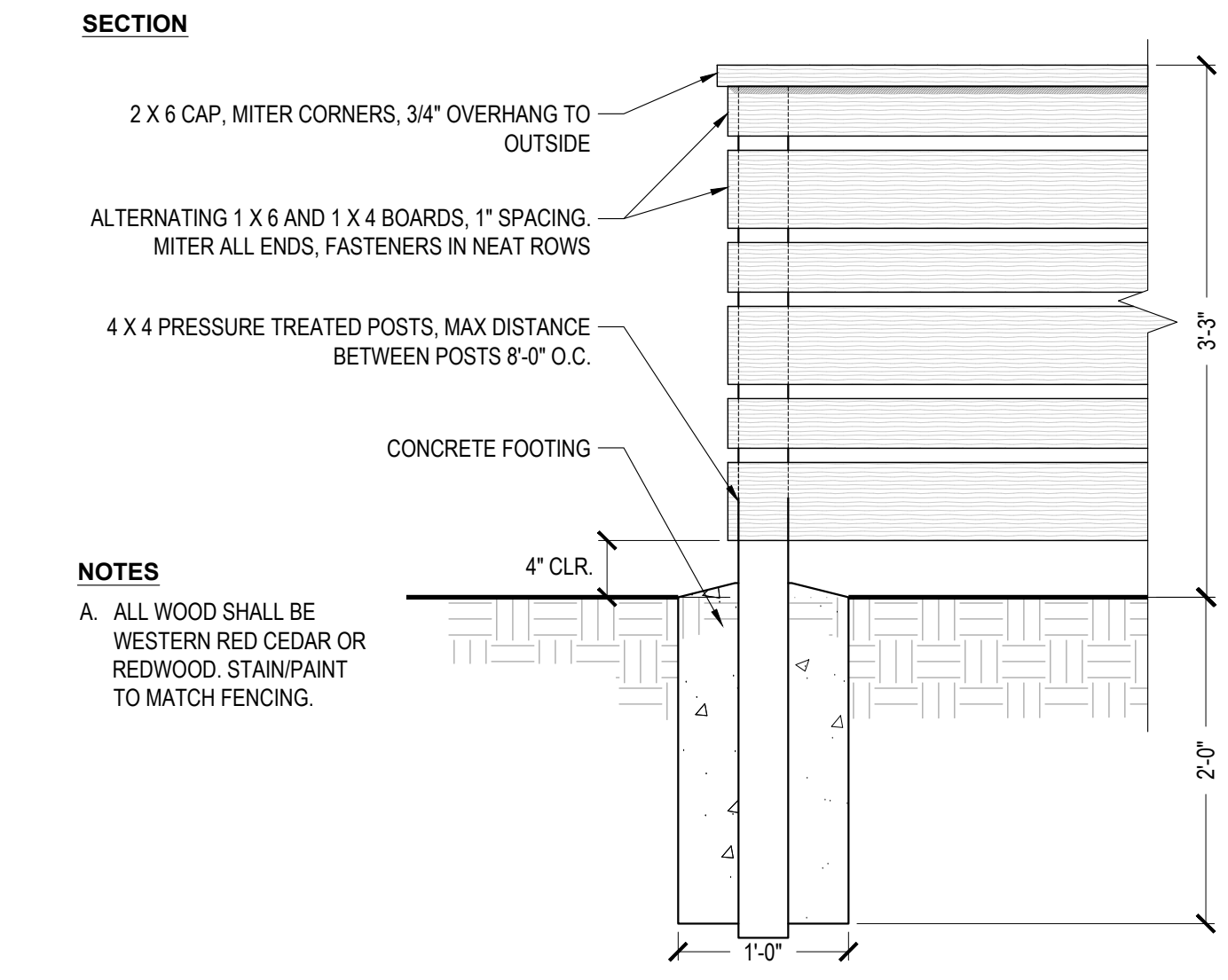
**5 STEEL HEADER**  
1" = 0'-6" AS NOTED



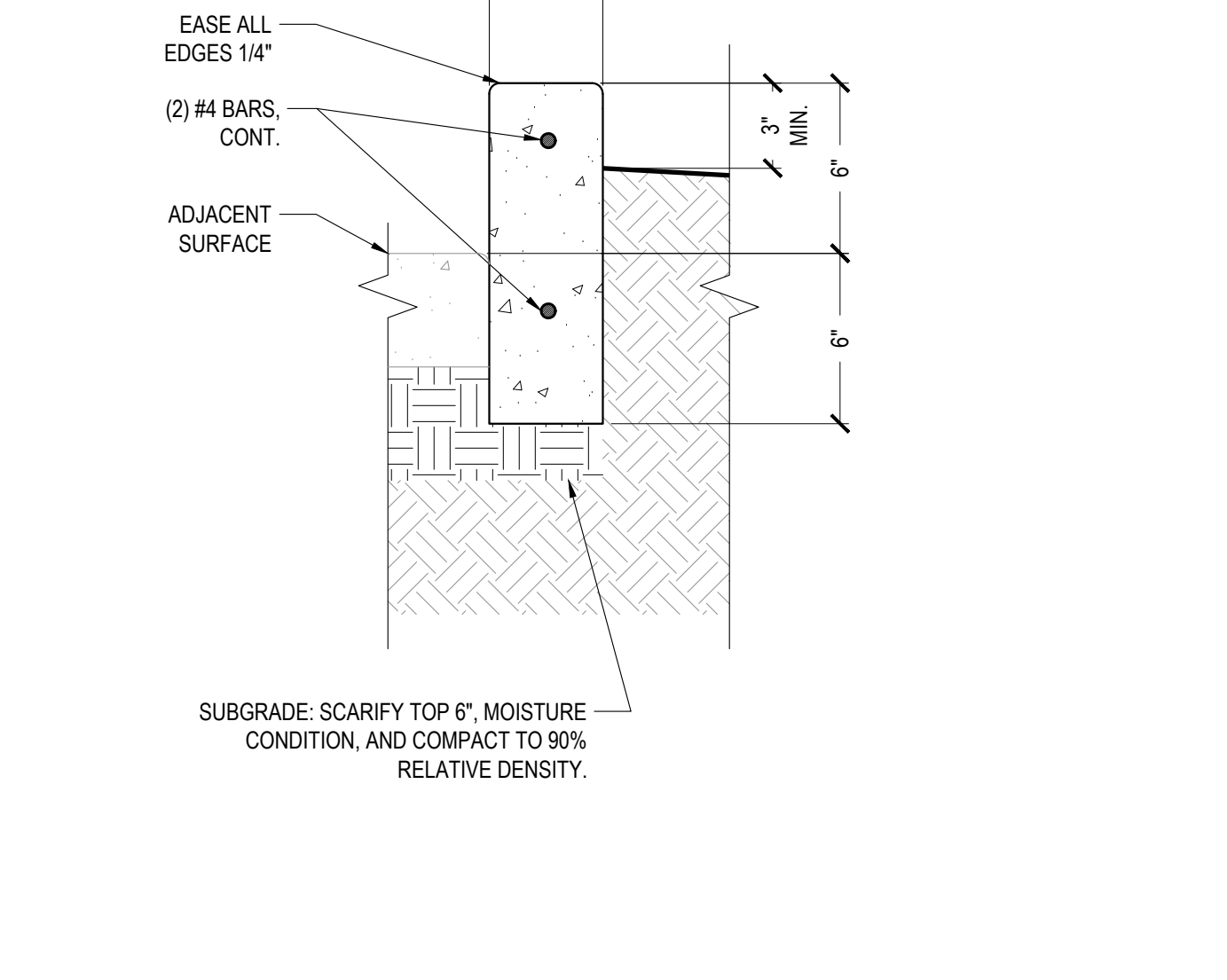
**6 SIDEYARD FENCE WITH GATE**  
3/4" = 1'-0" AS NOTED



**7 A/C SCREEN**  
1" = 1'-0" AS NOTED



**8 HORIZONTAL WOOD FENCE**  
1" = 1'-0" AS NOTED



**9 CONCRETE CURB (4")**  
1" = 0'-6" SECTION

**REPRESENTATIVE STAIN COLORS**



**Roach & Campbell**

111 Scripps Drive  
Sacramento, California 95825  
916.945.8003 | 916.342.7119  
4409 CRLA 5044

**LANDSCAPE IMPROVEMENT PLANS FOR**

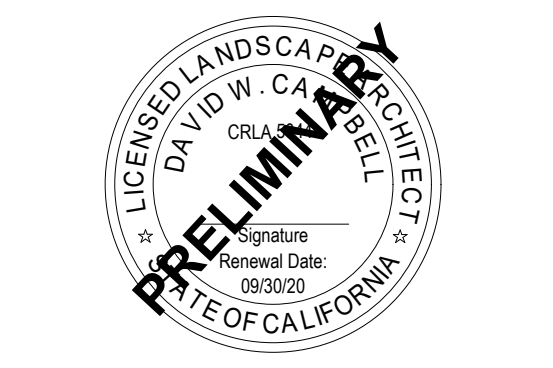
**29 W SUMMIT DRIVE, EMERALD HILLS, CA**

**BY THOMAS JAMES HOMES**

KEYMAP:

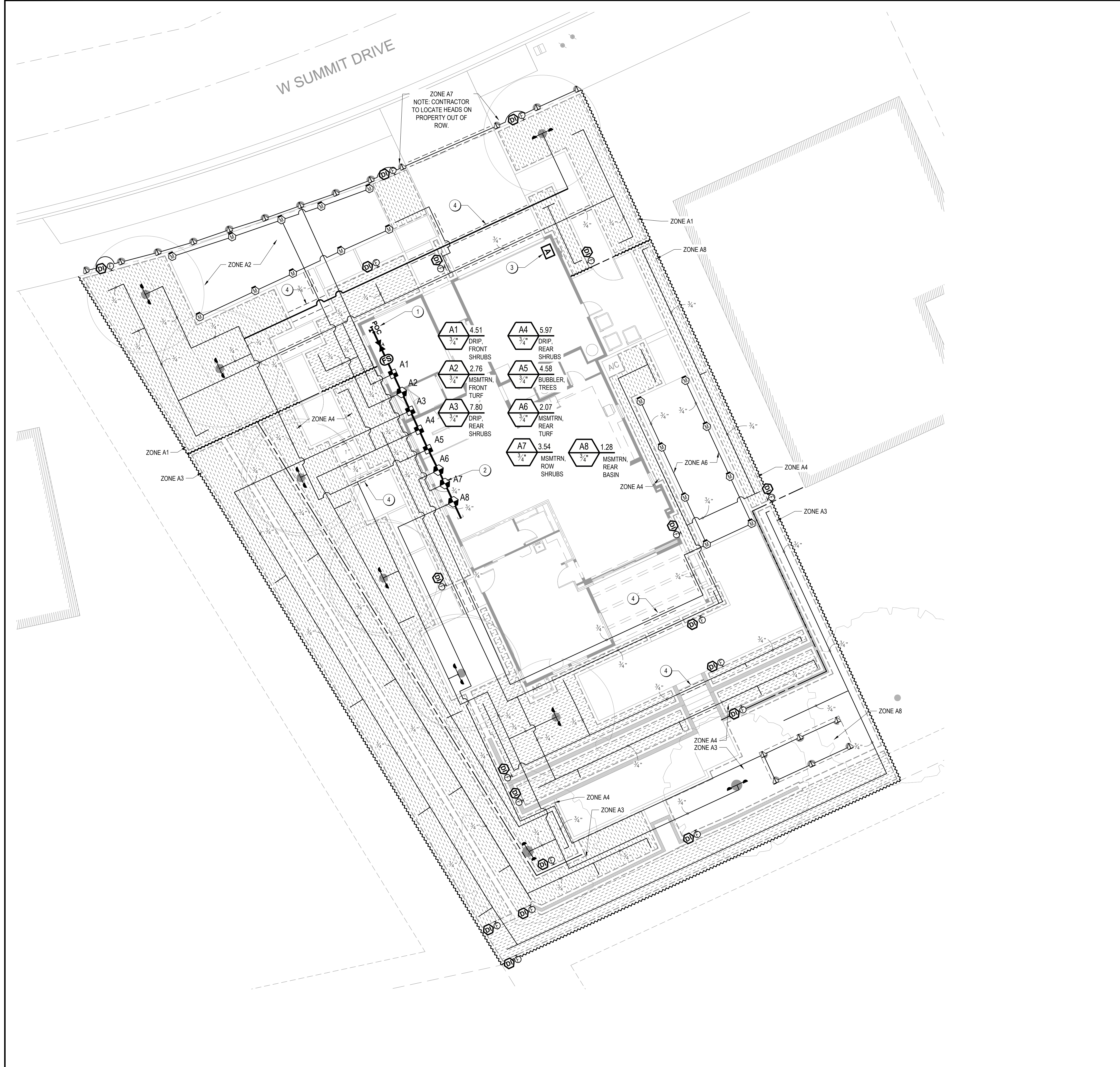
**CONSTRUCTION DETAILS**

DRAWN BY: STAFF  
CHECKED BY: DWL  
JOB NO: 20035  
DATE: 06/13/2022  
REVISIONS:



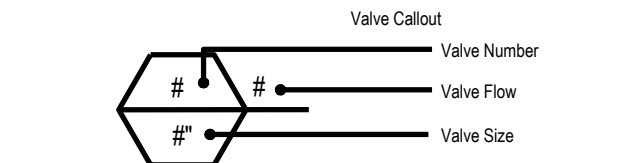
**L1.2**

DESIGN REVIEW - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).



**IRRIGATION LEGEND**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	HUNTER MP1000 PROS-04-PRS30-CV TURF ROTATOR, 4" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	18	30
	HUNTER MP800SR PROS-12-PRS30-CV SHRUB ROTATOR, 12" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. ADJ=ORANGE AND GRAY (ARC 90-210), 360=LIME GREEN AND GRAY (ARC 360)	19	30
	DRIP ZONE VALVE KIT- LOW FLOW IRRITROL 2711APROK-LF ELECTRIC DRIP ZONE VALVE KIT: 3/4" 2711APR VALVE, AVB, FILTER, LOW FLOW REGULATOR & FITTINGS. (.25 GPM- 8.0 GPM).	4	
	TORO T-FCH-H-FHT FLUSH VALVE, PLUMBED TO FLUSH MANIFOLD AT LOW POINT. VERIFY QUANTITY & LOCATIONS IN FIELD.	19	
	RAIN BIRD OPERIND DRIP SYSTEM OPERATION INDICATOR, STEM RISES 6" FOR CLEAR VISIBILITY WHEN DRIP SYSTEM IS CHARGED TO A MINIMUM OF 20PSI. INCLUDES 16" OF 1/4" DISTRIBUTION TUBING WITH CONNECTION FITTING PRE-INSTALLED.	19	
	TORO TREE DRIP DRIP BUBBLER TORO DB-15-PC DRIP BUBBLER (LOW FLOW), 25 DRIP BUBBLER ON TORO FUNNY PIPE RISER WITH ASSORTED BARBED FITTINGS, 1/2" FIPT THREADS. NOTE: PRODUCT INCLUDES SCREEN & CHECK VALVE.	18	
	AREA TO RECEIVE DRIPLINE TORO PCB-218 AT GRADE INSTALLATION PRESSURE COMPENSATING LANDSCAPE DRIPLINE, 0.53 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. SECURE WITH 6" ROUNDED GALVANIZED STAPLES AT 4'-0" O.C.	2,814 L.F.	
	ANTI-SIPHON REMOTE CONTROL VALVE IRRITROL 2711APR ELECTRIC REMOTE CONTROL VALVE, 3/4" FLOW CONTROL, STAINLESS SCREW BONNET. INSTALL TORO Y-FILTER MODEL TALFS75150-S IF MP-800 OR MP-1000 NOZZLES ARE USED.	4	
	SHUT-OFF VALVE NIBCO T-113, CLASS 125 BRONZE GATE SHUT OFF VALVE WITH WHEEL HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3". INSTALL ABOVE GRADE ON COPPER RISER FROM EXTERIOR HOSE BIB, UPSTREAM OF VALVE MANIFOLD.	1	
	HUNTER HPC-400 W (1) PCM 900 MODULE 4 STATION WITH (1) PCM 900 MODULE OUTDOOR WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN, PLASTIC CABINET	1	
	HUNTER HC-100-FLOW 1" FLOW METER FOR USE WITH HYDRAWISE ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS. ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB.	1	
	POINT OF CONNECTION 1" INSTALL 1" TEE OFF DOMESTIC WATERLINE AFTER PRIMARY METER. INSTALL SHUTOFF VALVE AND HUNTER HC-100-FLOW FLOW METER AS INDICATED.	1	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40, SOLVENT WELD MIN. DIAMETER 3/4" U.N.O.	1,964 L.F.	
	IRRIGATION MAINLINE: PVC SCHEDULE 40, SOLVENT WELD MIN. DIAMETER 1.5" U.N.O.	35.5 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40	137.8 L.F.	



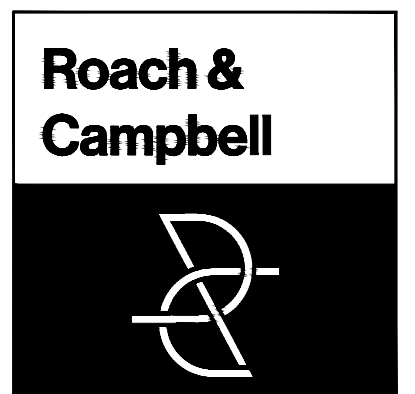
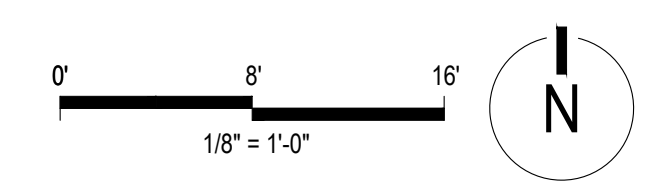
**IRRIGATION KEYNOTES**

- LOCATE POINT-OF-CONNECTION IN FIELD. EQUIPMENT SHOWN IN HOUSE FOR PLAN CLARITY ONLY.
- STUB MAINLINE.
- LOCATE CONTROLLER AS DIRECTED BY BUILDER. CONTROLLER SHOWN AT APPROXIMATE LOCATION ONLY. COORDINATE WITH BUILDER FOR ALL REQUIRED PENETRATIONS AND 120V POWER.
- COORDINATE WITH OTHER TRADES FOR ALL SLEEVING, ETC. IRRIGATION CONTROL WIRING SHALL BE SLEEVED (SEPARATELY FROM IRRIGATION PIPING) WHEN UNDER PAVING.

**SEE SHEET L2.2 FOR IRRIGATION NOTES AND SCHEDULE, SEE SHEET 2.3 IRRIGATION DETAILS**

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

SIGNED \_\_\_\_\_ DATE 08/09/22



111 Scripps Drive  
Sacramento,  
California 95825  
916.945.8003 | 916.342.7119  
4409 CRLA 5044

**LANDSCAPE IMPROVEMENT PLANS FOR**

**29 W SUMMIT DRIVE, EMERALD HILLS, CA**

**BY THOMAS JAMES HOMES**

KEYMAP:

**IRRIGATION PLAN AND LEGEND**

DRAWN BY: \_\_\_\_\_  
STAFF \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DWC \_\_\_\_\_  
JOB NO. \_\_\_\_\_  
20035 \_\_\_\_\_  
DATE \_\_\_\_\_  
06/13/2022 \_\_\_\_\_  
REVISIONS: \_\_\_\_\_



**L2.1**

DESIGN REVIEW - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).

**GENERAL IRRIGATION NOTES PERFORMANCE APPROACH (> 2500 SF REDWOOD CITY, SAN MATEO CNTY)**

- SITE ACCEPTANCE: THE CONTRACTOR SHALL OBSERVE THE SITE AND VERIFY THAT ROUGH GRADING AND ALL OTHER WORK HAS BEEN COMPLETED TO THE CONTRACTOR'S SATISFACTION. ANY PREVIOUS WORK THAT IS NOT COMPLETE SHALL BE BROUGHT TO THE OWNER'S OR LANDSCAPE ARCHITECT'S ATTENTION IN WRITING. BEGINNING WORK CONSTITUTES ACCEPTANCE OF THE SITE.
- UNDERGROUND UTILITIES: THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. CALL C.G.A. (811) TO LOCATE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITIES, TO THE SATISFACTORY OF THE OWNER AND GOVERNING AGENCY AT NO COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- QUANTITIES: (IF SHOWN) FOR CONTRACTOR'S CONVENIENCE ONLY, AND SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO INSTALL A COMPLETE AND FUNCTIONAL IRRIGATION SYSTEM, WITH EVEN AND HEAD-TO-HEAD COVERAGE OF ALL IRRIGATED AREAS, UNLESS SPECIFICALLY NOTED OTHERWISE. AREAS SHOWN ARE REPRESENTATIVE OF FINAL LOTS. CONTRACTOR SHALL VERIFY ALL LOT SIZES PRIOR TO SUBMITTING A BID.
- DIAGRAMMATIC PLANS: THESE PLANS ARE DIAGRAMMATIC IN NATURE, AND ARE NOT INTENDED TO SHOW EVERY FITTING OR EXACT PIPING LAYOUT. IN MANY CASES, THE MAINLINE AND LATERALS ARE SHOWN IN WALKWAYS OR PAVED AREAS. IRRIGATION EQUIPMENT AND PIPING SHALL BE INSTALLED IN PLANTED AREAS ONLY, UNLESS SPECIFICALLY NOTED OTHERWISE. MAINLINE SHALL BE INSTALLED AS CLOSELY AS POSSIBLE TO BACK OF WALK OR CURB, BUT IN NO CASE GREATER THAN 18" AWAY.
- FIELD CONDITIONS: THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN WHEN EXISTING WORK, OBSTRUCTIONS, SITE CONDITIONS, GRADE DIFFERENCES, OR OTHER ASPECTS ARE APPARENT IN THE FIELD THAT AFFECT INSTALLATION OF THE IRRIGATION SYSTEM. IN THE EVENT THAT DISCREPANCIES ARE FOUND, INFORM THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT IN WRITING. IF WRITTEN NOTICE IS NOT RECEIVED, THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE IRRIGATION SYSTEM, INCLUDING ANY RE-DESIGN OR RE-WORK THAT MAY BE REQUIRED.
- FIELD ADJUSTMENTS: ARE REQUIRED TO OBTAIN OPTIMUM EFFICIENCY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ADJUSTMENTS AS REQUIRED TO MINIMIZE OR ELIMINATE OVERSPRAY AND RUNOFF, AND TO MAXIMIZE DISTRIBUTION UNIFORMITY. ADJUSTMENTS INCLUDE BUT ARE NOT LIMITED TO: NOZZLE SELECTION, INSTALLATION OF IN-LINE OR IN-HEAD CHECK VALVES TO ELIMINATE LOW-HEAD DRAINAGE AND PONDING, AND ADJUSTMENT OF HEAD SPACING OR HEAD LAYOUT TO ACCOMMODATE IN-FIELD OBSTRUCTIONS OR CONDITIONS.
- POINT OF CONNECTION: LOCATE AND COORDINATE IN FIELD. 1" TEE FROM INDIVIDUAL LOT DOMESTIC LINE. THE CONTRACTOR SHALL VERIFY A MINIMUM OF 40 PSI (STATIC) AND A MINIMUM FLOW OF 12 GPM IS AVAILABLE AT THE POINT OF CONNECTION. IN THE EVENT THIS PRESSURE IS NOT AVAILABLE, IMMEDIATELY INFORM THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT IN WRITING. IF WRITTEN NOTICE IS NOT RECEIVED, THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE IRRIGATION SYSTEM DESIGN, INCLUDING ANY RE-DESIGN OR RE-WORK THAT MAY BE REQUIRED.
- NEW MATERIALS: ALL EQUIPMENT AND PIPING SHALL BE NEW. CONFORM TO ALL MANUFACTURER'S HANDLING AND INSTALLATION REQUIREMENTS.
- PIPE SIZING: PIPE SIZES AS SHOWN ON PLAN INCLUDE THE LARGEST PIPE DIAMETER IN EACH ZONE, AND THEN PIPE DIAMETER AT REDUCTIONS ONLY. IF NO PIPE SIZE IS SHOWN, PIPE SHALL BE THE SAME DIAMETER AS THE NEXT UPSTREAM SIZE LABELED. IN NO CASE SHALL THE VELOCITY OF WATER THROUGH IRRIGATION LATERALS EXCEED 5 FPS UNLESS SPECIFICALLY NOTED OTHERWISE.
- IRRIGATION SCHEDULE: IS PROVIDED AS A GUIDELINE ONLY. THE CONTRACTOR SHALL OBSERVE EXISTING AND INSTALLED CONDITIONS, AND SHALL ADJUST THE CONTROLLER SCHEDULE ACCORDING TO ACTUAL FIELD CONDITIONS, USING THE PROVIDED SCHEDULE AS A BASELINE. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL PLANTED AREAS RECEIVE ADEQUATE MOISTURE, WITHOUT OVER WATERING. THIS INCLUDES MANUAL WATERING AS REQUIRED.
- CONTROL WIRING (SINGLE FAMILY RESIDENTIAL ONLY): CONTROL WIRING SHALL BE MINIMUM 18 AWG FOR MULTI-STRAND JACKETED DIRECT BURIAL WIRE. COMMON WIRE INSULATION SHALL BE WHITE. BUNDLED WIRE SHALL BE SIZED TO INCLUDE INCLUDE TWO SPARE CONDUCTORS.
- WARRANTY: ALL WORK SHALL BE WARRANTED FROM ONE YEAR OF THE DATE OF SUBSTANTIAL COMPLETION. PRIOR TO ACCEPTANCE, PROVIDE A GUARANTEE STATING THE PROJECT NAME, PROJECT LOCATION, DATE OF SUBSTANTIAL COMPLETION, INSTALLING CONTRACTOR'S NAME, CONTACT INFORMATION (PHONE, ADDRESS, EMAIL) AND LICENSE NUMBER ON COMPANY LETTERHEAD.
- THREADED CONNECTIONS: ALL PLASTIC THREADED CONNECTIONS EXCEPT MARLEX SHALL RECEIVE THREE WRAPS "EXTRA HEAVY" OR "FULL DENSITY" TEFLON OR PTFE TAPE PRIOR TO ASSEMBLY. PLASTIC MALE THREADS SHALL NOT BE USED AND WILL BE REJECTED, EXCEPT WHEN MAKING CONNECTION TO METAL: ALL THREADED CONNECTIONS TO METAL PIPE SHALL USE PLASTIC MALE THREADS TO FEMALE METAL THREADS.
- SLEEVES: ALL PIPING UNDER PAVED AREAS TO BE RUN IN PVC SCH. 40 SLEEVES AT LEAST TWICE THE DIAMETER OF THE PIPE BEING SLEEVED. ALL CONTROL WIRING UNDER PAVED AREAS TO BE RUN IN A SEPARATE SLEEVE, SIZED TO FACILITATE PULLING WIRE BUNDLE. SLEEVES TO EXTEND A MINIMUM OF 18" BEYOND PAVEMENT.
- JURISDICTIONAL REQUIREMENTS AND STATEMENTS:
  - A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
  - PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
  - CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
  - A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
  - AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

**IRRIGATION SCHEDULE**

Recommended Irrigation Schedule  
29 West Summit Drive

Project: 20035  
Date: 8/8/2022

Reference data

Nearest data location: Redwood City

Reference Eto (in./mo.)  
Historical average precipitation  
Effective precip (hist. ave. - 0.2" \* 75%)  
Base required irrigation (in./mo.)

Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
1.50	1.80	2.90	3.80	5.20	5.30	6.20	5.60	4.80	3.10	1.70	1.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
1.50	1.80	2.90	3.80	5.20	5.30	6.20	5.60	4.80	3.10	1.70	1.00

Hydrozone Information Table

Hydrozone data summary													Model Ord. Area Calculations				
Zone	Description	Ks	Kd	Kmc	KL	Irr Type	IE	PR	Soil Type	BIR	AW	RZ	PAW	MAD	AD	HA (sqft)	% of landscape area
A1	Shrub and groundcover, front (Low & Medium)	0.4	1.0	1.0	0.40	DripLine	0.88	0.43	Clay Loam	0.2	0.18	18	3.24	50%	1.62	1332	20%
A2	Turf, front (High)	0.9	1.0	1.0	0.90	MultiStm	0.71	0.43	Clay Loam	0.2	0.18	4	0.72	50%	0.36	394	6%
A3	Shrub and groundcover, rear (Low & Medium)	0.4	1.0	1.0	0.40	DripLine	0.88	0.96	Clay Loam	0.2	0.18	18	3.24	50%	1.62	2343	35%
A4	Shrub and groundcover, rear (Low)	0.3	1.0	1.0	0.30	DripLine	0.88	0.52	Clay Loam	0.2	0.18	18	3.24	50%	1.62	1720	26%
A5	Trees, (Medium)	0.5	1.0	1.0	0.50	Bubbler	0.85	0.40	Clay Loam	0.2	0.18	36	6.48	50%	3.24	0	0%
A6	Turf, rear (High)	0.3	1.0	1.0	0.30	DripLine	0.88	0.40	Clay Loam	0.2	0.18	4	0.72	50%	0.36	278	4%
A7	Groundcover, ROW (Low)	0.2	1.0	1.0	0.20	DripLine	0.88	0.43	Clay Loam	0.2	0.18	18	3.24	50%	1.62	494	7%
A8	Depressed basin rear, (Low)	0.5	1.0	1.0	0.50	DripLine	0.88	0.43	Clay Loam	0.2	0.18	12	2.16	50%	1.08	100	2%
<b>Total:</b>															6661	100%	

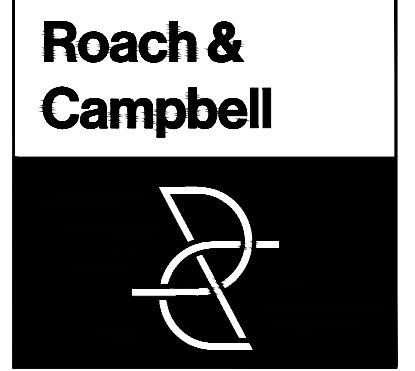
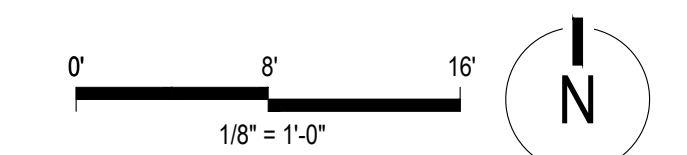
Controller Schedule by Zone

Zone	Description	Temp?	Irr. Days / Wk	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
A1	Shrub and groundcover, front (Low & Medium)	N	Irr. Days / Wk	1	1	1	1	1	1	1	1	1	1	1	1
		Cycles / Day	1	2	2	3	3	3	3	4	3	3	2	1	1
	Max. Minutes / Cycle	28	22	15	21	19	25	27	23	27	24	23	26	15	
A2	Turf, front (High)	N	Irr. Days / Wk	1	2	2	3	3	3	4	3	2	3	2	1
		Cycles / Day	3	2	3	2	3	3	3	2	3	3	3	2	
	Max. Minutes / Cycle	28	20	20	20	27	24	25	21	28	23	21	24	20	
A3	Shrub and groundcover, rear (Low & Medium)	N	Irr. Days / Wk	1	1	1	1	1	1	1	1	1	1	1	1
		Cycles / Day	1	1	2	2	3	3	4	3	3	2	2	1	
	Max. Minutes / Cycle	13	10	13	10	13	12	12	10	12	11	10	12	7	
A4	Shrub and groundcover, rear (Low)	N	Irr. Days / Wk	1	1	1	1	1	1	1	1	1	1	1	1
		Cycles / Day	1	1	2	2	3	3	3	3	2	2	2	1	
	Max. Minutes / Cycle	23	14	18	13	18	16	17	19	17	23	14	16	9	
A5	Trees, (Medium)	N	Irr. Days / Wk	1	1	1	1	1	1	1	1	1	1	1	1
		Cycles / Day	1	2	2	3	4	4	5	4	4	3	2	1	
	Max. Minutes / Cycle	30	30	20	29	27	26	28	25	28	25	21	18	20	
A6	Turf, rear (High)	N	Irr. Days / Wk	1	1	1	1	1	1	2	2	2	1	1	1
		Cycles / Day	1	1	2	2	3	3	2	2	2	2	2	1	
	Max. Minutes / Cycle	30	18	24	17	23	21	22	18	17	29	18	21	12	
A7	Groundcover, ROW (Low)	N	Irr. Days / Wk	1	1	1	1	1	1	1	1	1	1	1	1
		Cycles / Day	1	1	1	2	2	2	2	2	2	1	1	1	
	Max. Minutes / Cycle	28	11	15	21	15	19	20	23	21	18	23	13	8	
A8	Depressed basin rear, (Low)	N	Irr. Days / Wk	1	1	1	1	1	1	1	1	1	1	1	1
		Cycles / Day	1	2	2	3	4	4	4	4	4	2	2	1	
	Max. Minutes / Cycle	28	27	18	26	24	24	25	28	26	23	28	16	18	

**SEE SHEET L2.1 FOR IRRIGATION PLAN AND LEGEND, SEE SHEET 2.3 IRRIGATION DETAILS**

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

SIGNED \_\_\_\_\_ DATE 08/09/22



111 Scripps Drive  
Sacramento,  
California 95825  
916.945.8003 | 916.342.7119  
4409 CRLA 5044

**LANDSCAPE IMPROVEMENT PLANS FOR**

**29 W SUMMIT DRIVE, EMERALD HILLS, CA**

**BY THOMAS JAMES HOMES**

KEYMAP:

**IRRIGATION NOTES AND SCHEDULE**

DRAWN BY:

STAFF

CHECKED BY:

DWC

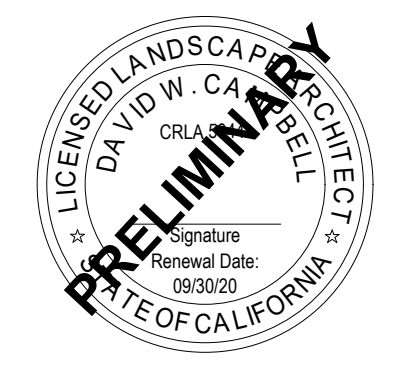
JOB NO.

20035

DATE

06/13/2022

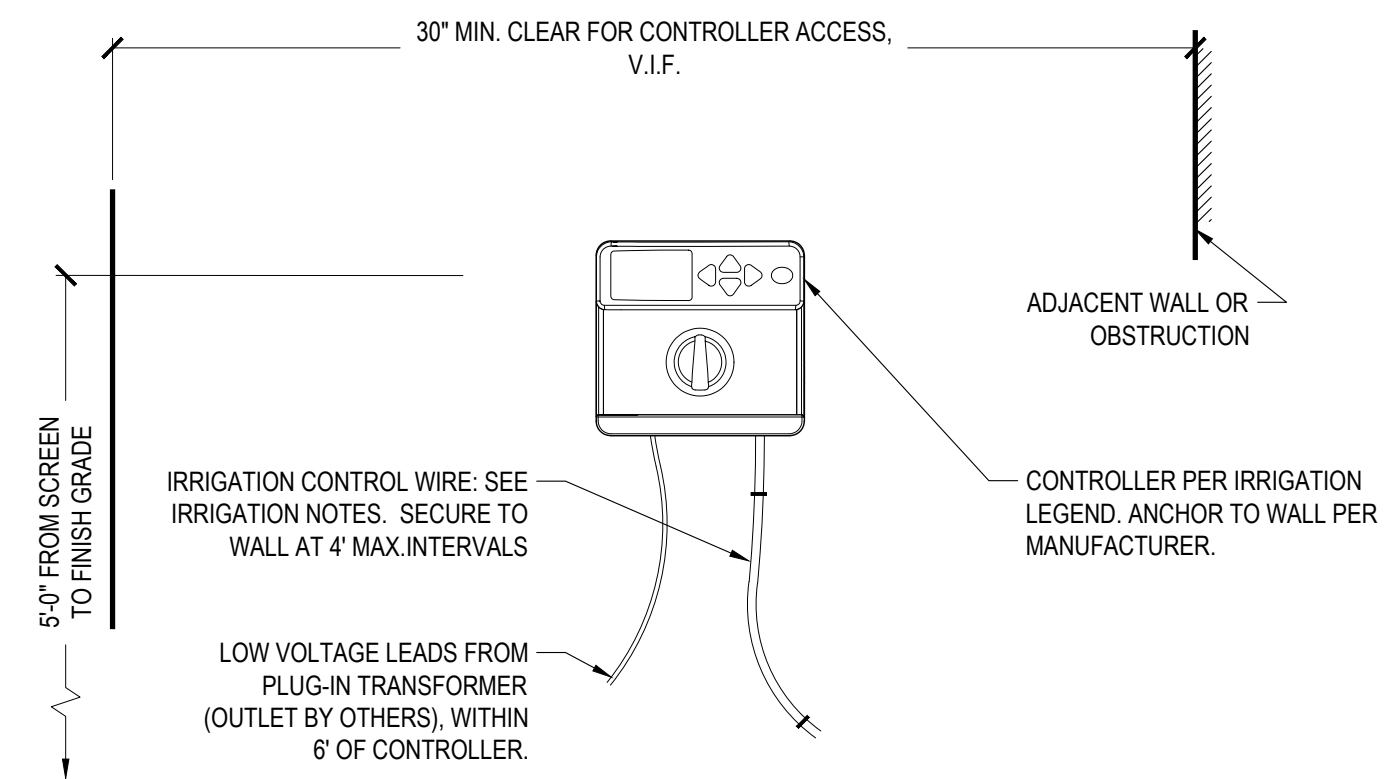
REVISIONS:



**L2.2**

DRAWINGS IN SET:

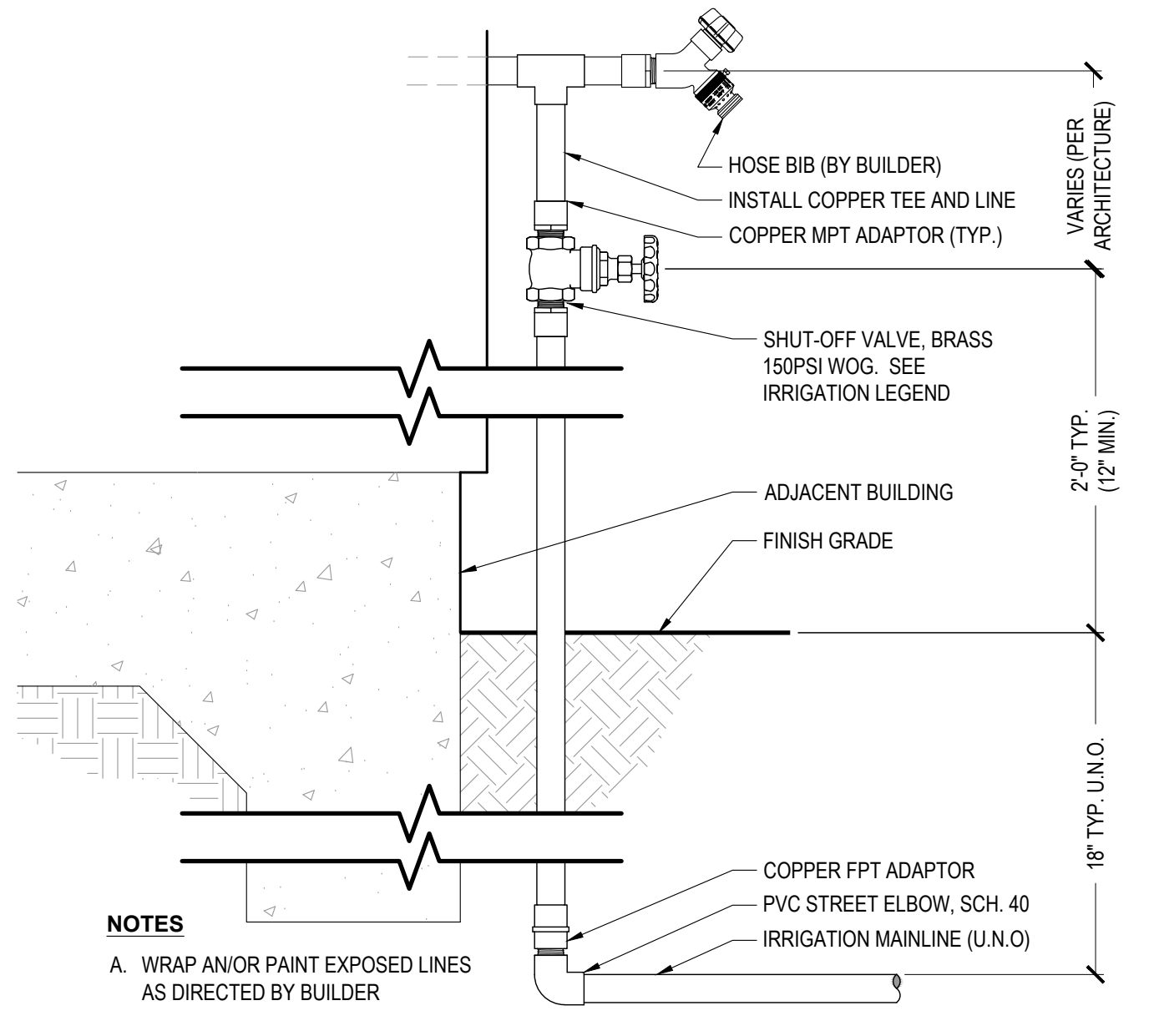
DESIGN REVIEW - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).



**NOTES**

- VERIFY CONTROLLER LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE POWER AND ROUTING OF IRRIGATION CONTROL WIRES WITH SUPERINTENDENT AND LOCAL INSPECTOR.
- ALL WIRING AND ATTACHMENT PER NEC AND APPLICABLE LOCAL REQUIREMENTS.
- TYPE OR NEATLY HAND-WRITE CONTROLLER STATION ASSIGNMENTS AND SCHEDULE ON MANUFACTURER-PROVIDED INFORMATION CARD OR ON SEPARATE SHEET ATTACHED TO CONTROLLER MANUAL. LEAVE ALL PRODUCT LITERATURE WITH CONTROLLER OR AS DIRECTED BY BUILDER.

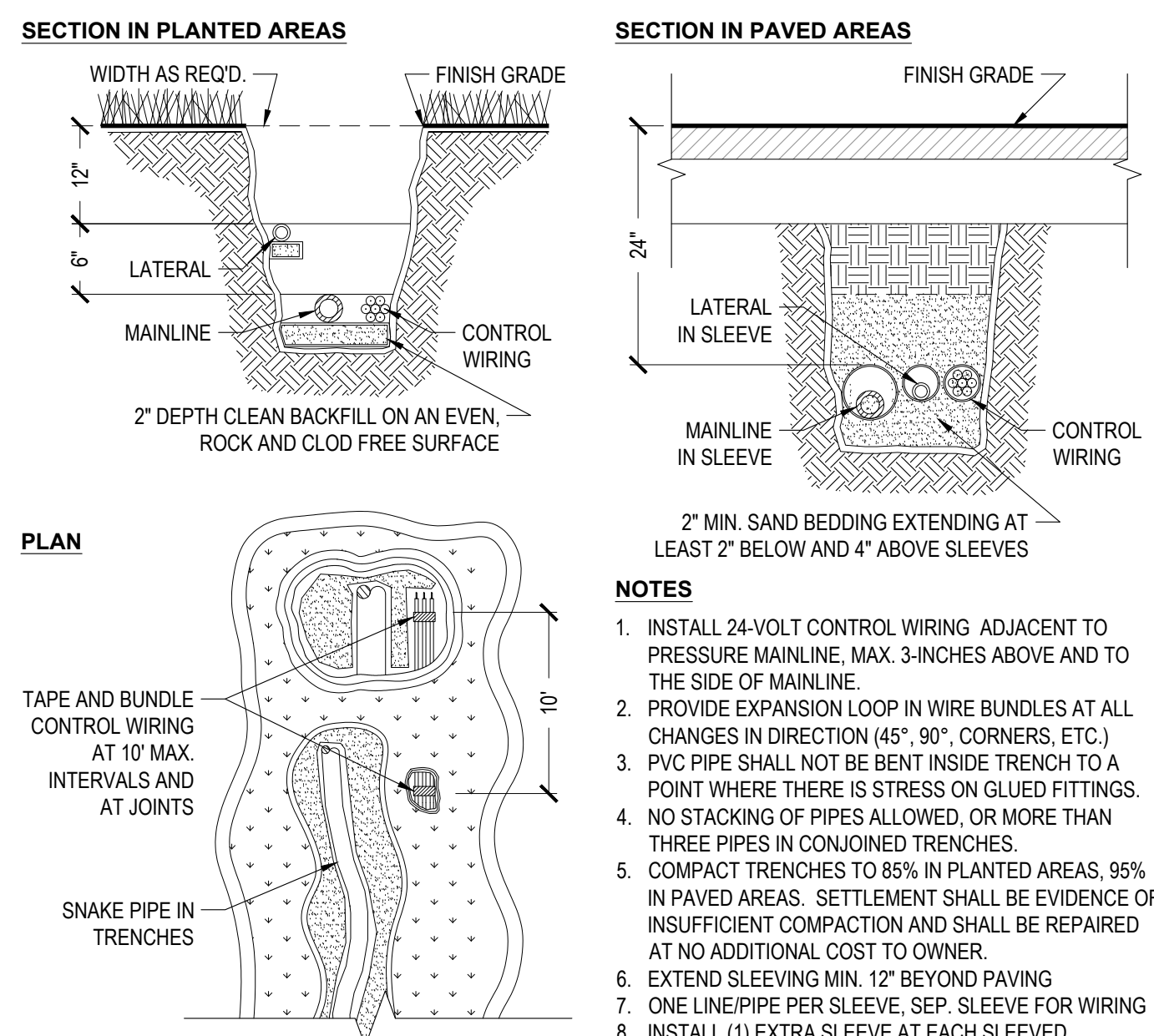
**1 IRRIGATION CONTROLLER: INTERIOR WALL MOUNT**  
NO SCALE



**NOTES**

- WRAP AND/OR PAINT EXPOSED LINES AS DIRECTED BY BUILDER.

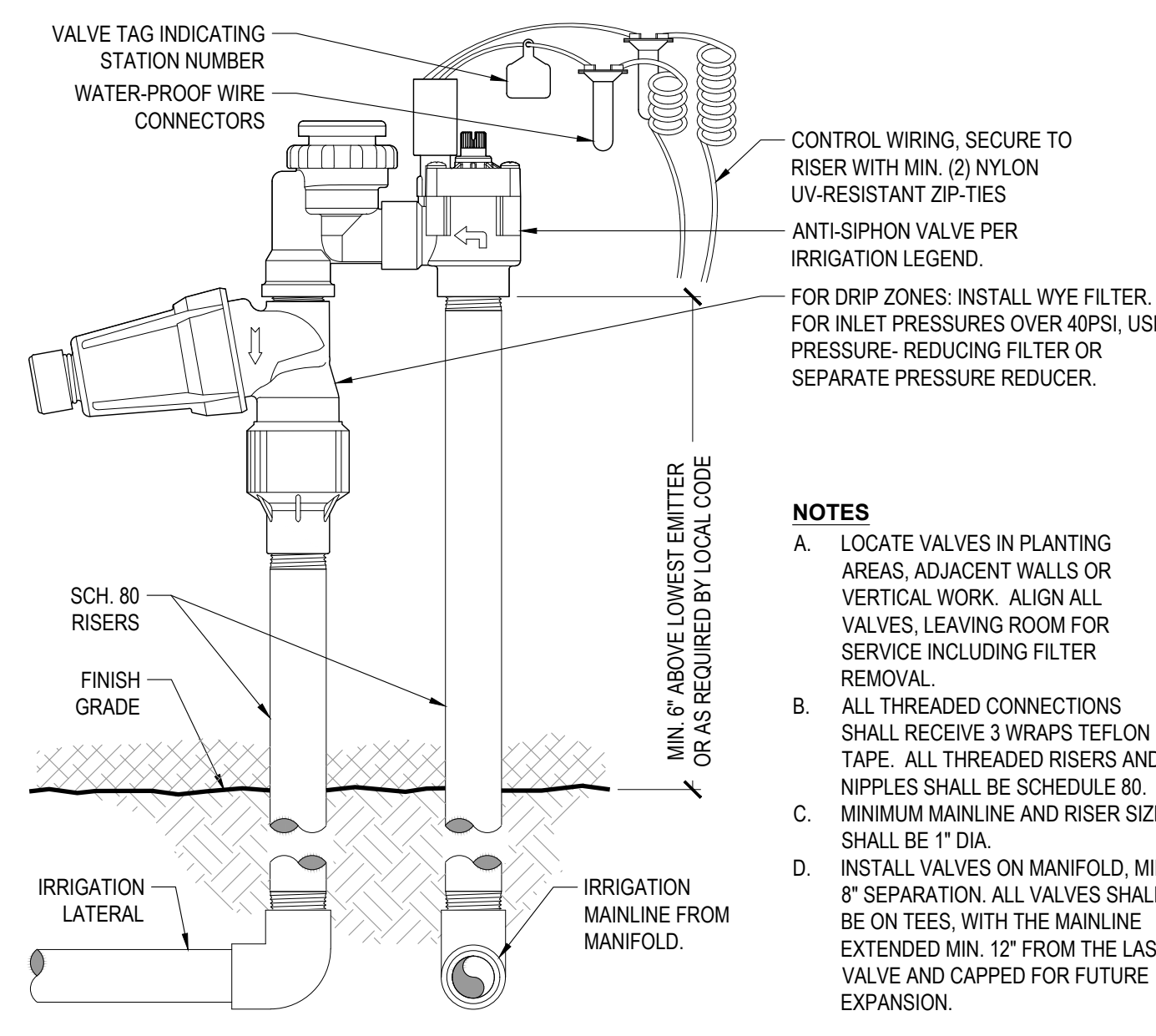
**2 SHUTOFF VALVE (RESIDENTIAL)**  
NO SCALE



**NOTES**

- INSTALL 24-VOLT CONTROL WIRING ADJACENT TO PRESSURE MAINLINE, MAX. 3-INCHES ABOVE AND TO THE SIDE OF MAINLINE.
- PROVIDE EXPANSION LOOP IN WIRE BUNDLES AT ALL CHANGES IN DIRECTION (45°, 90° CORNERS, ETC.)
- PVC PIPE SHALL NOT BE BENT INSIDE TRENCH TO A POINT WHERE THERE IS STRESS ON GLUED FITTINGS.
- NO STACKING OF PIPES ALLOWED, OR MORE THAN THREE PIPES IN CONJOINED TRENCHES.
- COMPACT TRENCHES TO 85% IN PLANTED AREAS, 95% IN PAVED AREAS. SETTLEMENT SHALL BE EVIDENCE OF INSUFFICIENT COMPACTION AND SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.
- EXTEND SLEEVING MIN. 12" BEYOND PAVING.
- ONE LINEPIPE PER SLEEVE. SEP. SLEEVE FOR WIRING.
- INSTALL (1) EXTRA SLEEVE AT EACH SLEEVED LOCATION, SAME DIAMETER AS LARGEST SLEEVE.

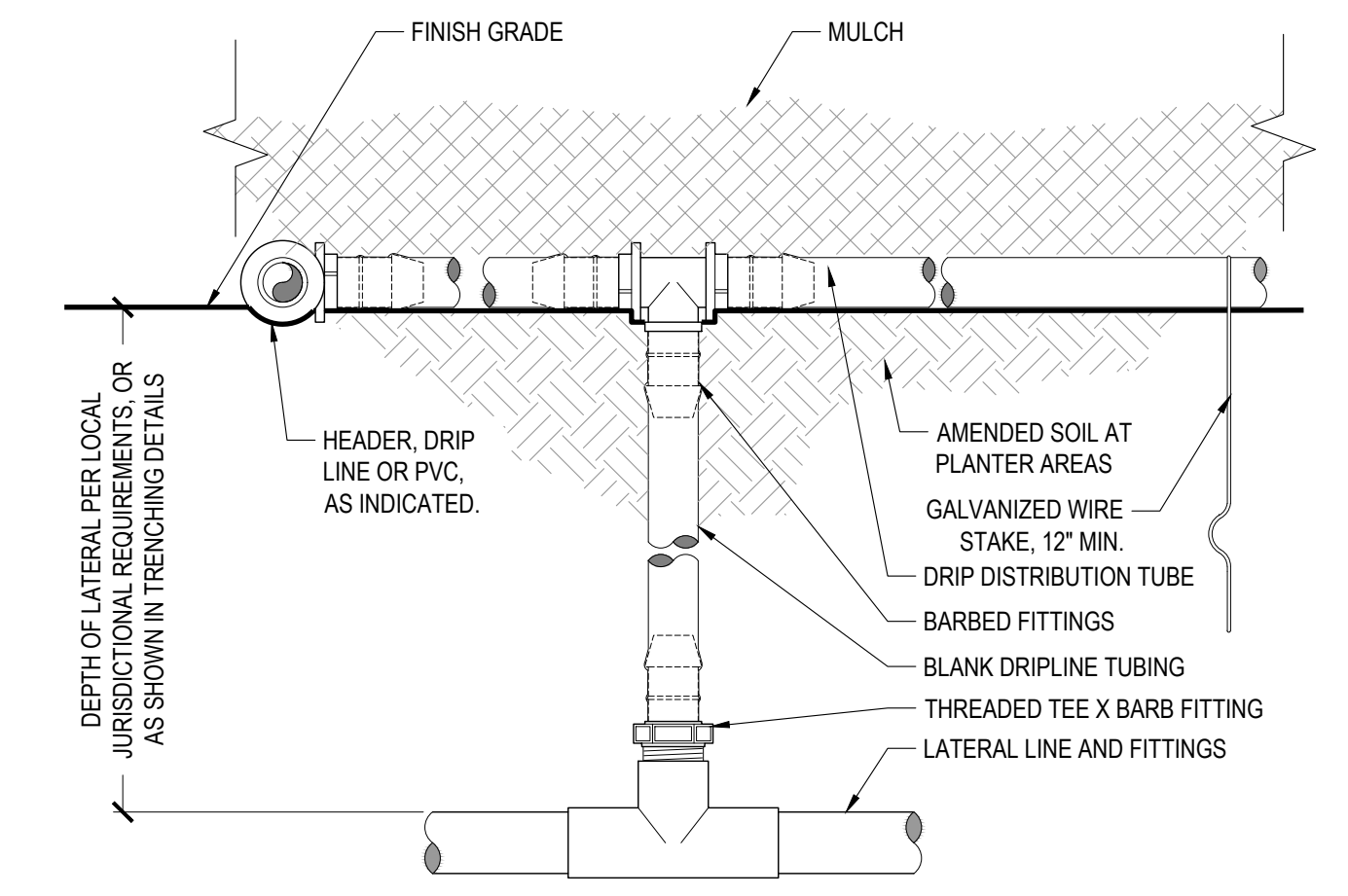
**3 IRRIGATION TRENCHING**  
NO SCALE



**NOTES**

- LOCATE VALVES IN PLANTING AREAS, ADJACENT WALLS OR VERTICAL WORK. ALIGN ALL VALVES, LEAVING ROOM FOR SERVICE INCLUDING FILTER REMOVAL.
- ALL THREADED CONNECTIONS SHALL RECEIVE 3 WRAPS TEFLON TAPE. ALL THREADED RISERS AND NIPPLES SHALL BE SCHEDULE 80.
- MINIMUM MAINLINE AND RISER SIZE SHALL BE 1" DIA.
- INSTALL VALVES ON MANIFOLD, MIN. 8" SEPARATION. ALL VALVES SHALL BE ON TEES, WITH THE MAINLINE EXTENDED MIN. 12" FROM THE LAST VALVE AND CAPPED FOR FUTURE EXPANSION.

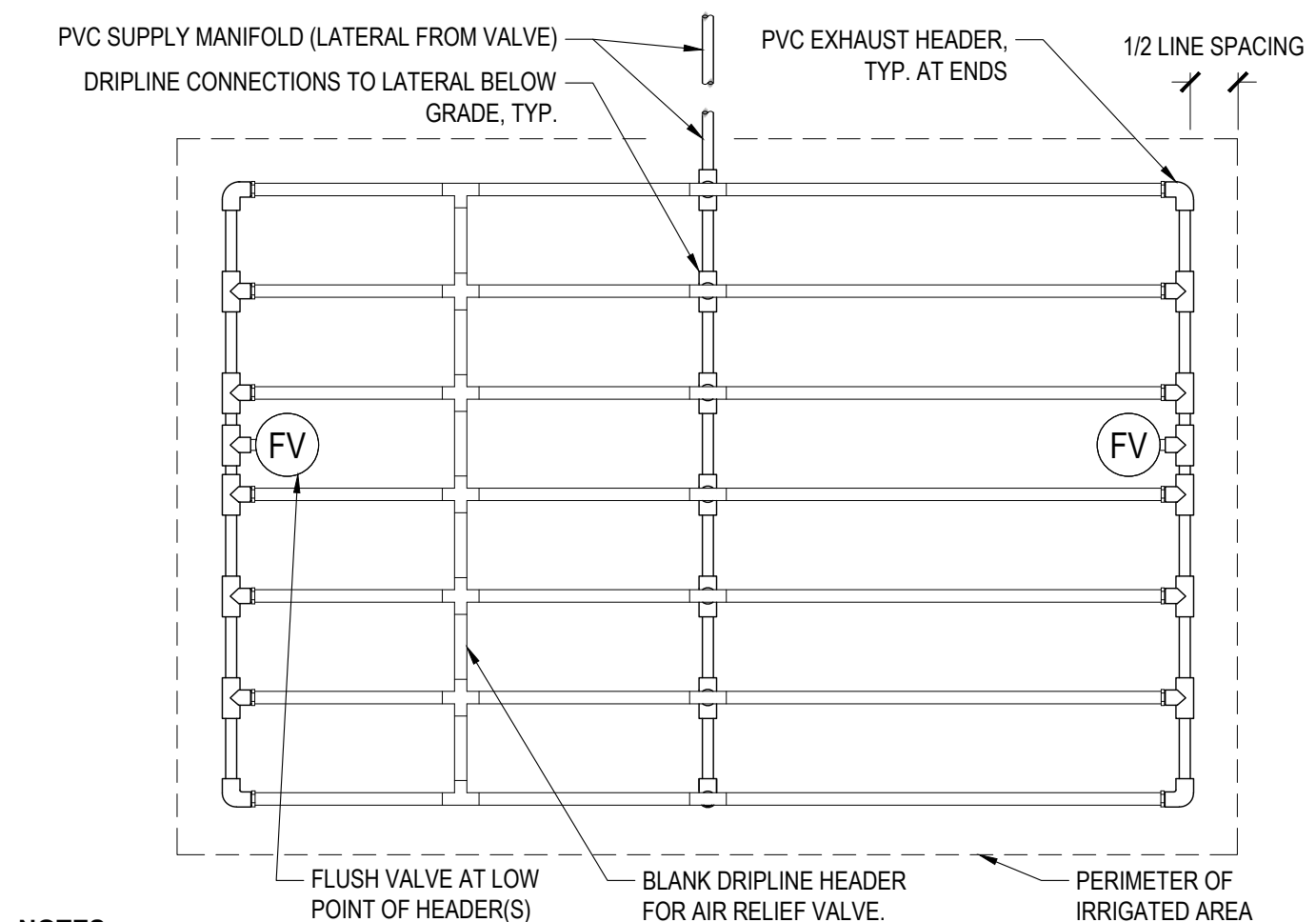
**4 REMOTE CONTROL VALVE: RESIDENTIAL**  
NO SCALE



**NOTES**

- INSTALL PER MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- PLACE STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
- AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

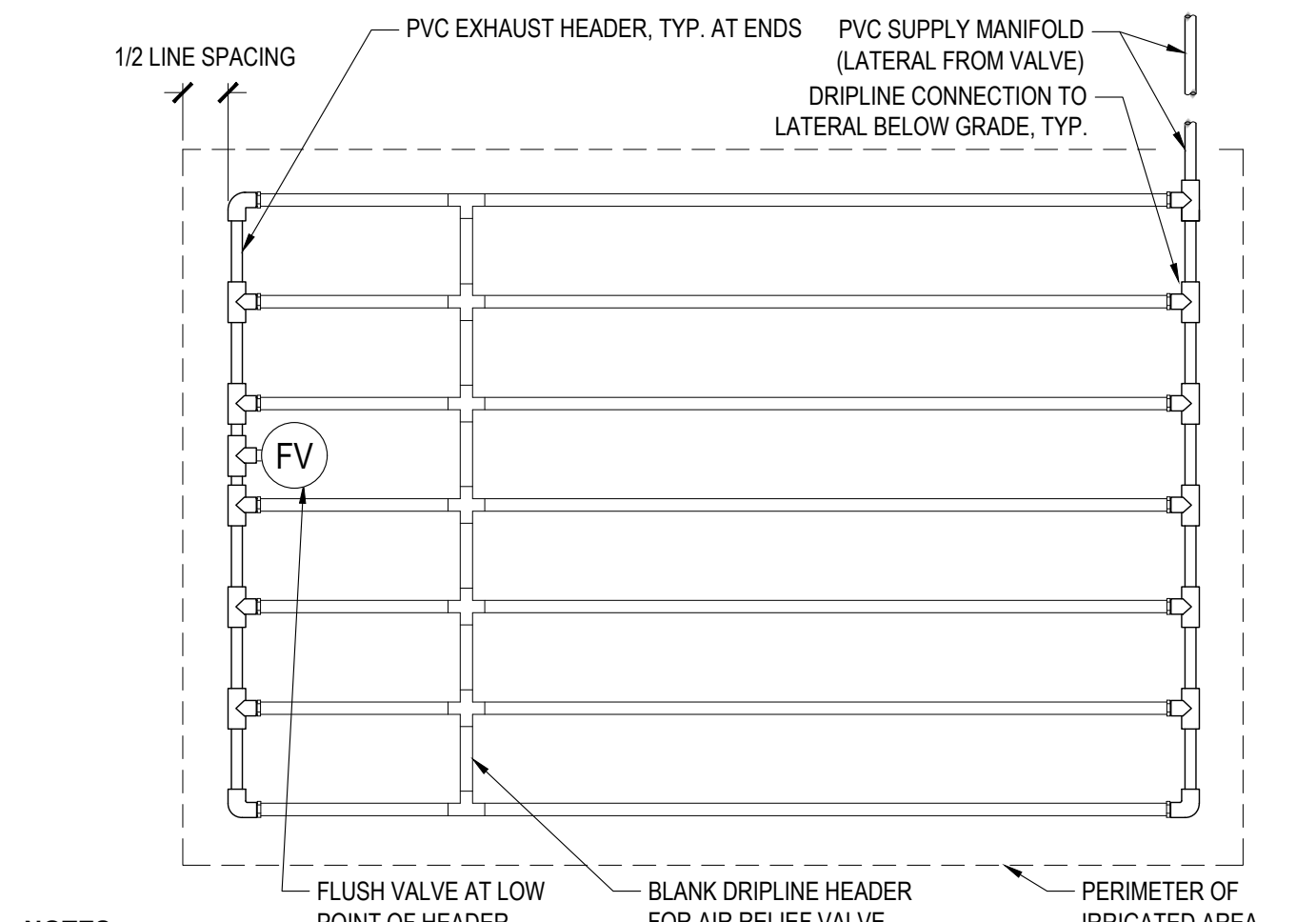
**5 AT-GRADE DRIP: LATERAL CONNECTION**  
NO SCALE



**NOTES**

- DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING PER IRRIGATION LEGEND OR SCHEDULE.
- LENGTH OF LONGEST DRIPLINE LATERAL SHALL NOT EXCEED THE MANUFACTURER'S RECOMMENDED MAXIMUM.
- FLUSH VALVE TO BE INSTALLED AT EACH LOCALIZED LOW POINT. VERIFY LOCATIONS IN FIELD AND INSTALL ADDITIONAL VALVES AS REQUIRED.
- DO NOT ALLOW THE INLET PRESSURE TO EXCEED 50 PSI. INSTALL PRESSURE REDUCERS AT THE CONTROL VALVE IF REQUIRED.

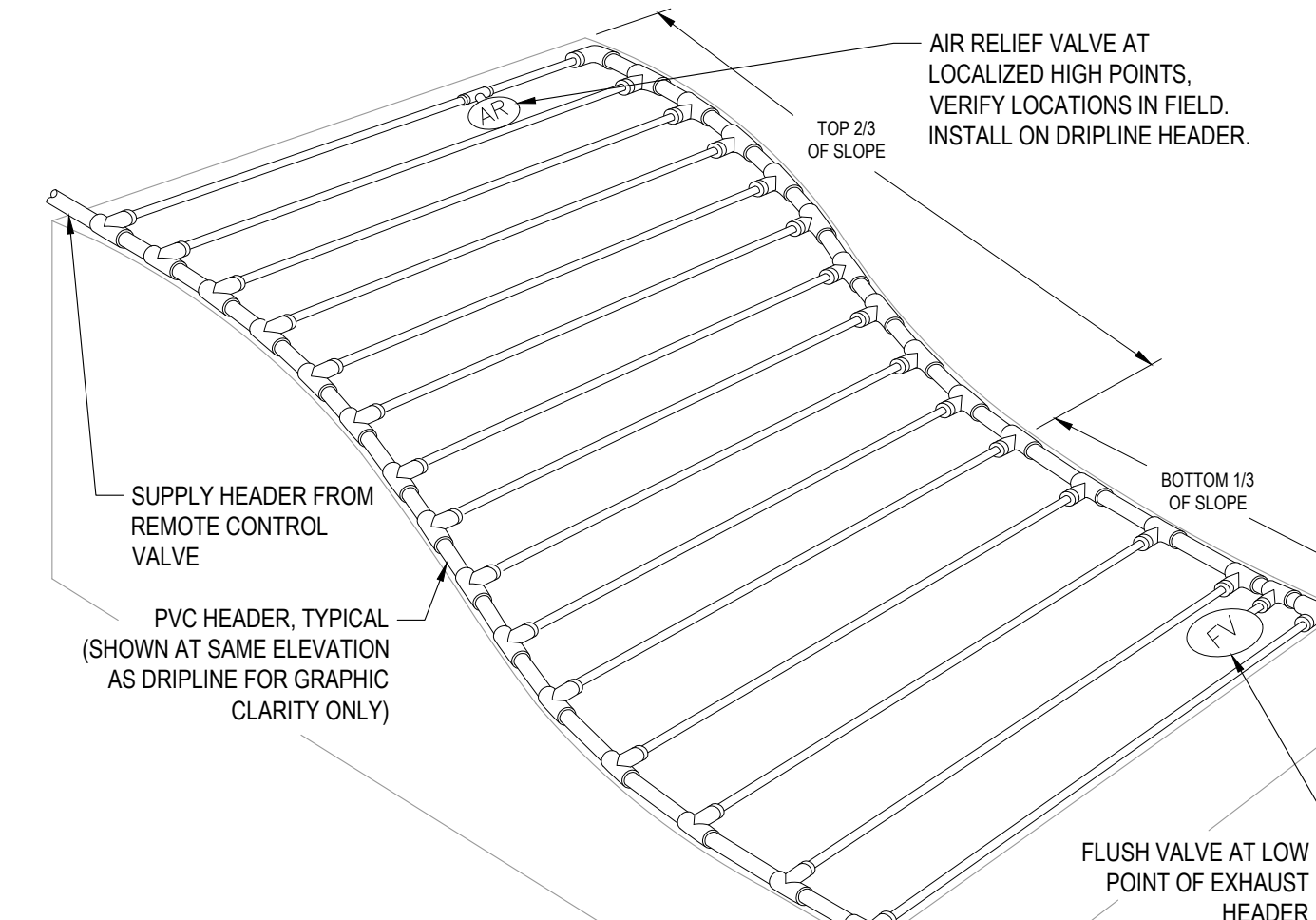
**6 AT-GRADE DRIPLINE: CENTER FEED**  
NO SCALE



**NOTES**

- DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING PER IRRIGATION LEGEND OR SCHEDULE.
- LENGTH OF LONGEST DRIPLINE SHALL NOT EXCEED THE MANUFACTURER'S MAXIMUM RECOMMENDED LENGTH.
- FLUSH VALVE TO BE INSTALLED AT EACH LOCALIZED LOW POINT(S). VERIFY LOCATIONS IN FIELD AND INSTALL ADDITIONAL VALVES AS REQUIRED.
- DO NOT ALLOW THE INLET PRESSURE TO EXCEED 50 PSI. INSTALL PRESSURE REDUCERS AT THE CONTROL VALVE IF REQUIRED.

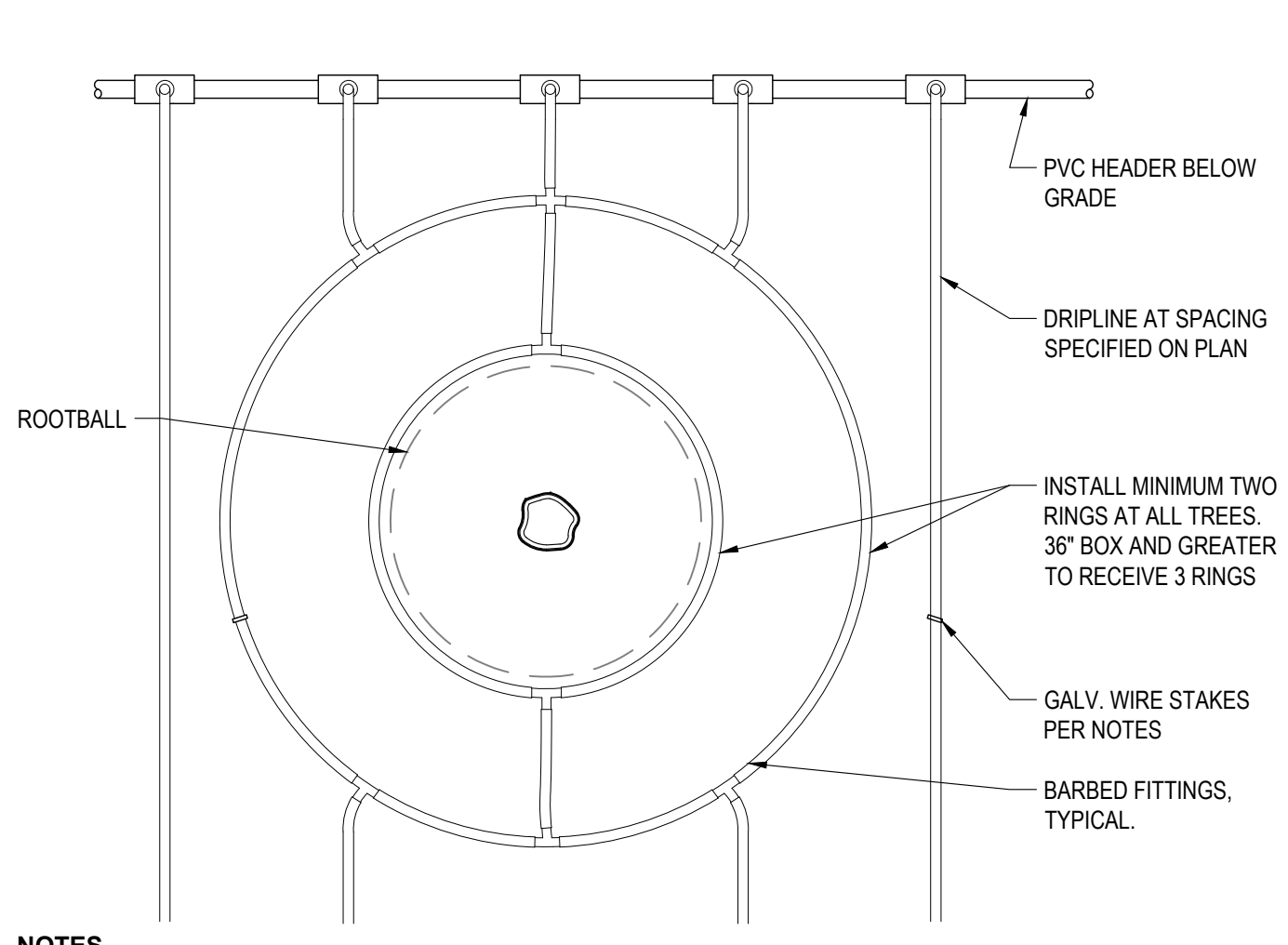
**7 AT-GRADE DRIPLINE: END FEED**  
NO SCALE



**NOTES**

- DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING PER IRRIGATION LEGEND OR SCHEDULE. DISTANCE BETWEEN LATERAL ROWS FOR BOTTOM 1/3 OF SLOPE TO BE SPACED 1.5X GREATER THAN REGULAR SPACING.
- LENGTH OF LONGEST DRIPLINE SHALL NOT EXCEED THE MANUFACTURER'S MAXIMUM RECOMMENDED LENGTH. AIR RELIEF VALVE TO BE INSTALLED AT EACH LOCALIZED HIGH POINT. VERIFY LOCATIONS IN FIELD AND INSTALL ADDITIONAL AIR RELIEF VALVES AS REQUIRED TO AVOID TRAPPED AIR POCKETS.
- DO NOT ALLOW THE INLET PRESSURE TO EXCEED 50 PSI. INSTALL PRESSURE REDUCER(S) AT THE REMOTE CONTROL VALVE IF REQUIRED.

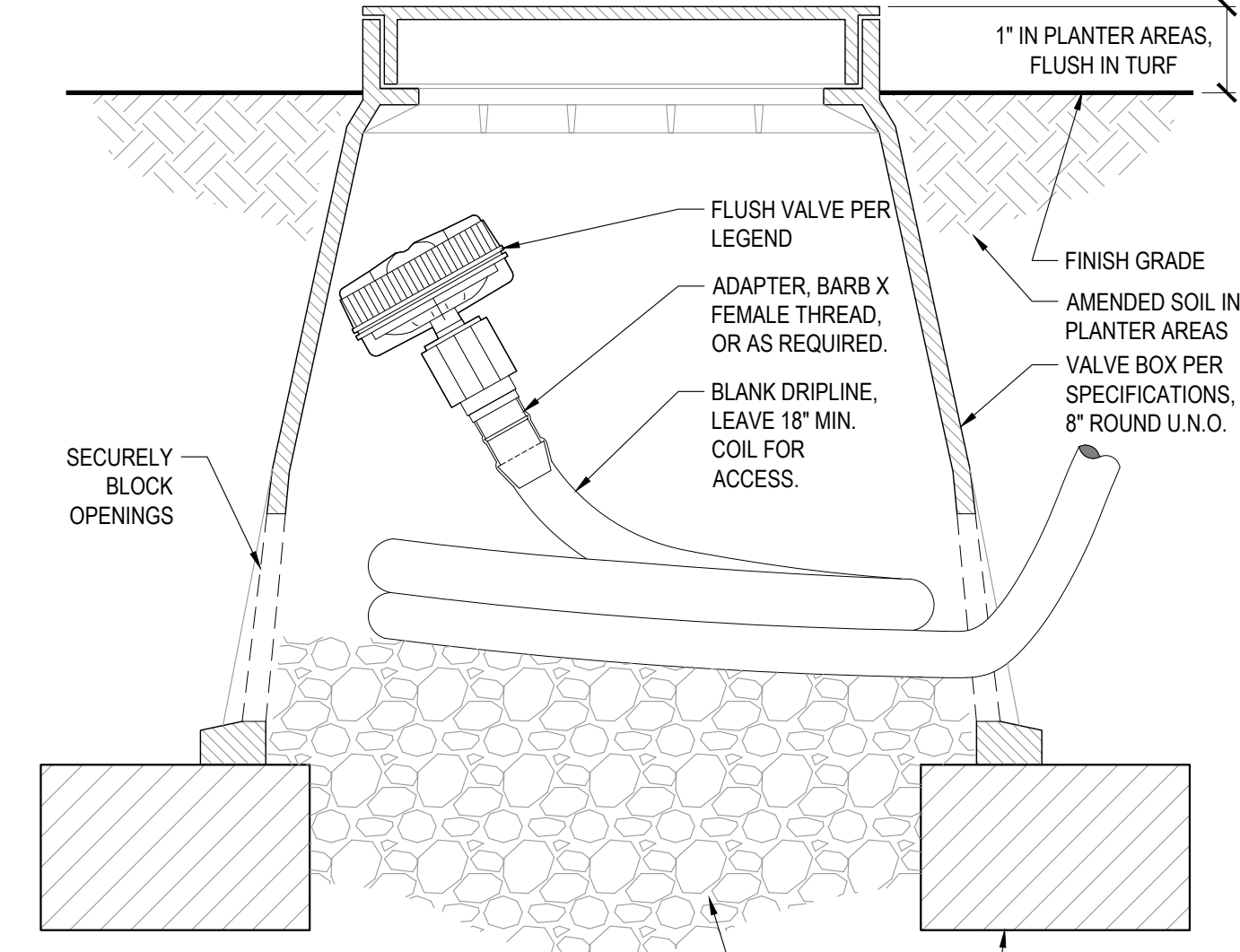
**8 SUBSURFACE DRIPLINE: SLOPED LAYOUT**  
NO SCALE



**NOTES**

- DISTANCE BETWEEN LATERAL ROWS AND RINGS AT TREE SHALL BE EQUAL, AND PER IRRIGATION LEGEND.
- LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH RECOMMENDED BY THE MANUFACTURER.
- PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.

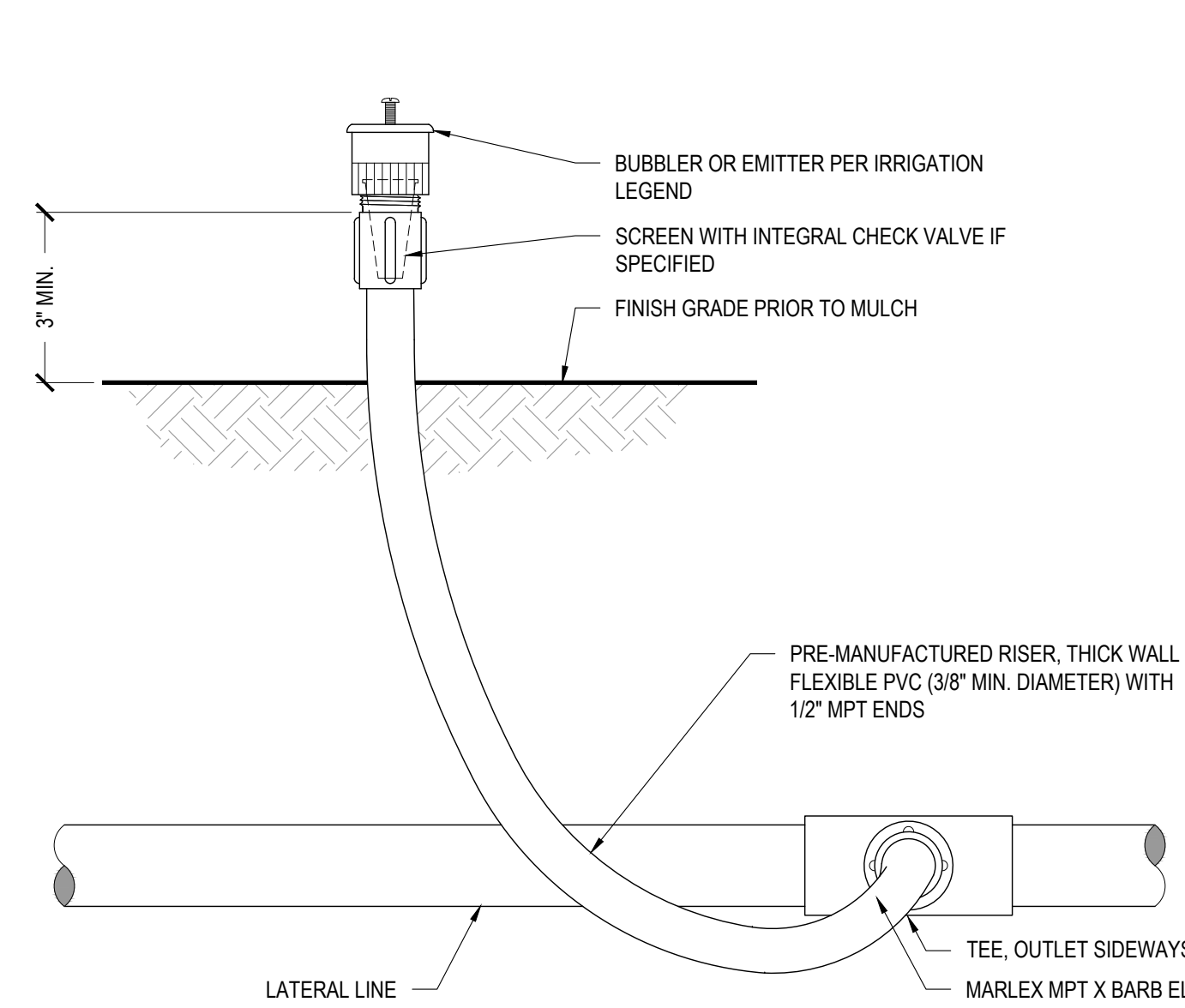
**9 AT-GRADE DRIPLINE: LAYOUT AT TREES**  
NO SCALE



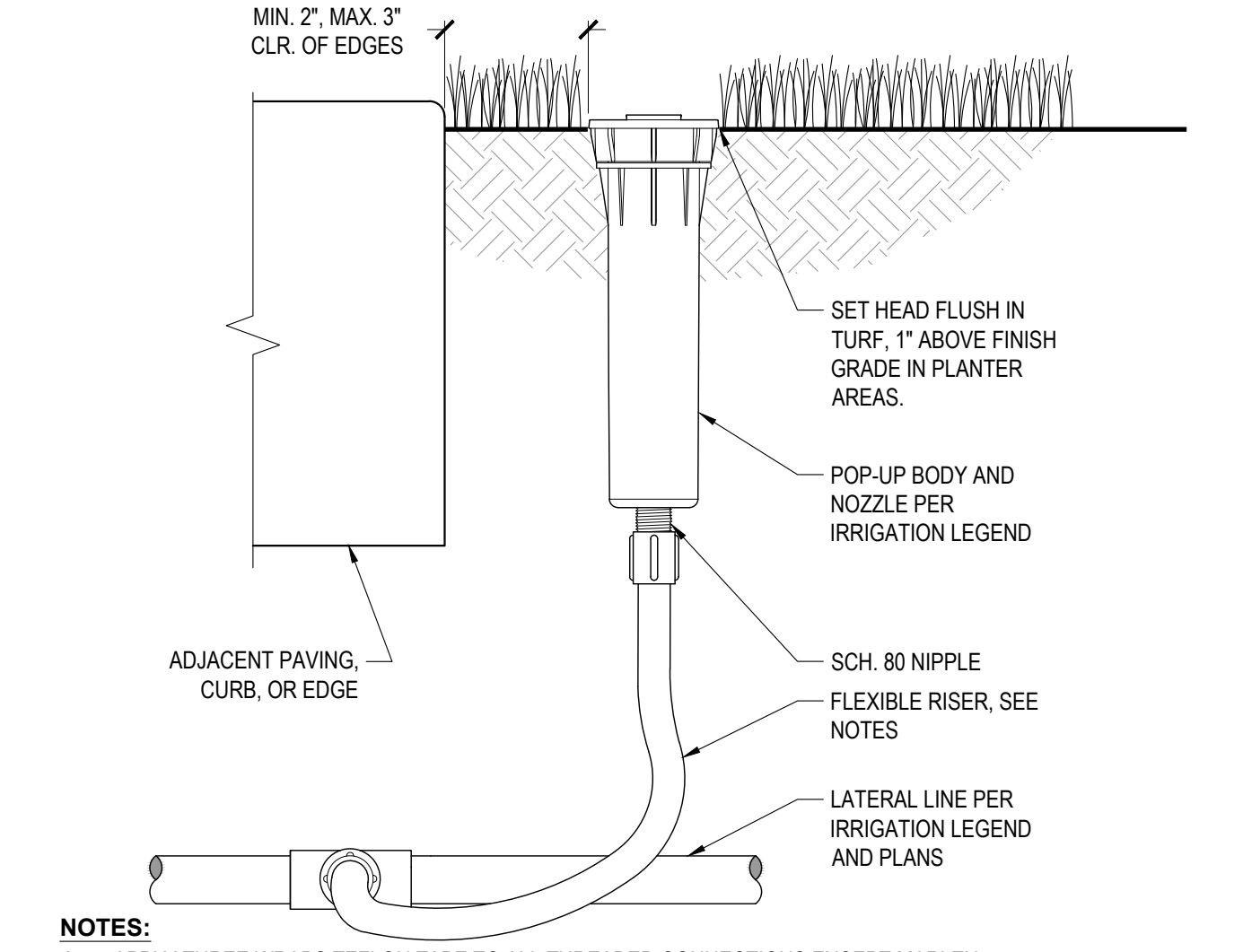
**NOTES**

- LOCATE FLUSH VALVE AT END OF EACH DISTRIBUTION TUBING RUN, WHETHER SHOWN ON PLAN OR NOT.

**10 DRIPLINE: FLUSH VALVE**  
NO SCALE



**11 FLEX-RISER EMITTER/BUBBLER**  
NO SCALE



**NOTES:**

- APPLY THREE WRAPS TEFLON TAPE TO ALL THREADED CONNECTIONS EXCEPT MARLEX.
- FLEXIBLE RISER SHALL BE PRE-MANUFACTURED THICK-WALL HDPE WITH MPT ADAPTERS, LENGTH AS REQUIRED TO ALLOW MOVEMENT IN THREE DIRECTIONS.

**12 POP-UP HEAD**  
NO SCALE



Roach & Campbell  
111 Scripps Drive  
Sacramento, California 95825  
916.945.8003 | 916.342.7119  
4409 CRA 5044

**LANDSCAPE IMPROVEMENT PLANS FOR**

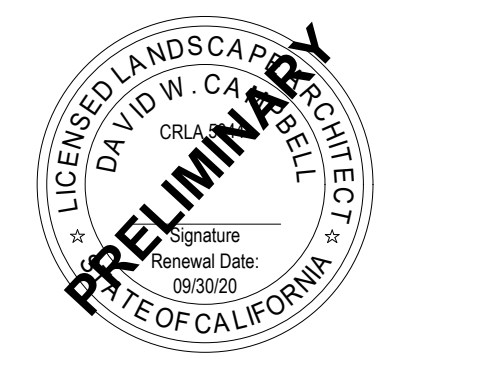
**29 W SUMMIT DRIVE, EMERALD HILLS, CA**

BY **THOMAS JAMES HOMES**

KEYMAP:

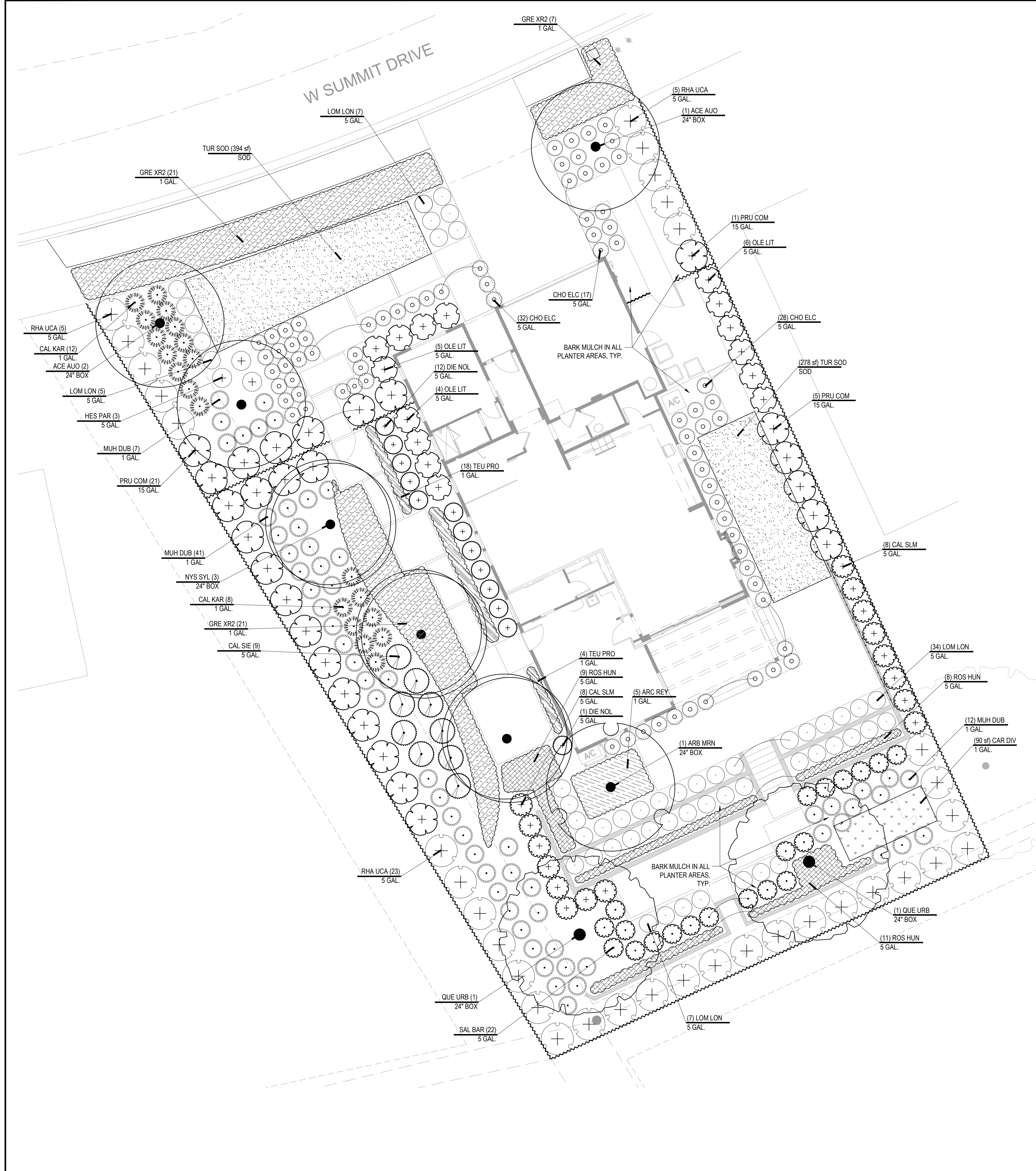
**IRRIGATION DETAILS**

DRAWN BY:  
STAFF  
CHECKED BY:  
DWC  
JOB NO.  
20035  
DATE  
06/13/2022  
REVISIONS:



**L2.3**

DESIGN REVIEW - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).



**PLANTING LEGEND**

NOTE: PLANT FACTORS ARE AS FOLLOWS: 3 FOR LOW WATER USE PLANTS, 5 FOR MEDIUM WATER USE PLANTS, AND 9 FOR HIGH WATER USE PLANTS.

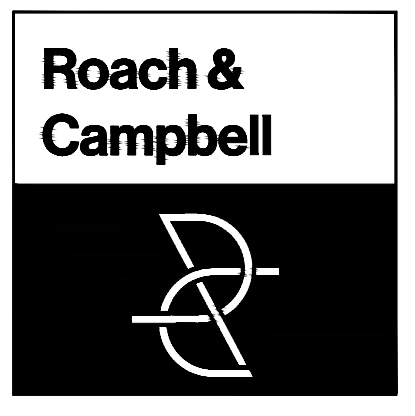
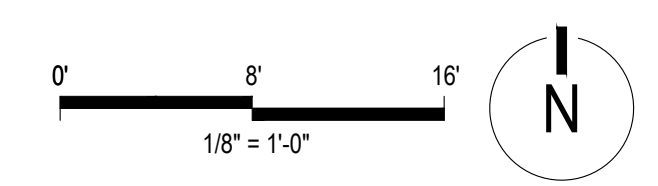
TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ACE AYO	ACER RUBRUM 'OCTOBER GLORY' / RED MAPLE WUCOLS (M)	24" BOX		3
	ARB MRN	ARBUTUS X 'MARINA' / MARINA STRAWBERRY TREE STANDARD WUCOLS (L), 40' (H), MINIMUM PLANTING HEIGHT 8', MAX SPACING 15'	24" BOX		1
	NYS SYL	NYSSA SYLVATICA / SOUR GUM WUCOLS (M)	24" BOX	10' HEIGHT MIN.	3
	QUE URB	QUERCUS MACROCARPA 'URBAN PINNACLE' / URBAN PINNACLE OAK WUCOLS (M)	24" BOX		2
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT		
	CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS WUCOLS (M), (HW) 2-3'	1 GAL.		20
	CAL SIE	CALLIANDRA X 'LIANCA' TM / SIERRA STARR FAIRY DUSTER WUCOLS (UNKOWN), (HW) 4-5'	5 GAL.		9
	CAL SLM	CALLISTEMON VIMINALIS 'CV01' TM / SLIM WEEPING BOTTLEBRUSH WUCOLS (L), (H) 8-10' X (W) 3-4'	5 GAL.		16
	CHO ELC	CHONDRPETALUM TECTORUM 'EL CAMPO' / EL CAMPO SMALL CAPE RUSH WUCOLS (L), (HW) 2-3'	5 GAL.		77
	DIE NOL	DIETES X 'NOLA ALBA' TM / KATRINA AFRICAN IRIS WUCOLS (L), (HW) 3'	5 GAL.		13
	HES PAR	HESPERALOE PARVIFLORA 'DESERT FLAMENCO' / RED YUCCA WUCOLS (L), (HW) 3-4'	5 GAL.		3
	LOM LON	LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH WUCOLS (L), (HW) 3'	5 GAL.		53
	MUH DUB	MUHLENBERGIA DUBIA / PINE MUHLY WUCOLS (L), (HW) 3'	1 GAL.		60
	OLE LIT	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE WUCOLS (VL), (H) 4' X (W) 6'	5 GAL.		15
	PRU COM	PRUNUS CAROLINIANA 'COMPACTA' / COMPACT CAROLINA LAUREL CHERRY WUCOLS (L), (H) 8-10' X (W) 6-8'	15 GAL.		27
	RHA UCA	RHAPHIOLEPIS INDICA 'MAJESTIC BEAUTY' / RHAPHIOLEPIS MAJESTIC BEAUTY WUCOLS (L), (H) 12-20' X (W) 8-10'	5 GAL.		33
	SAL BAR	SALVIA LEUCANTHA 'SANTA BARBARA' / MEXICAN BUSH SAGE WUCOLS (L), 3'-4' (HW)	5 GAL.		20
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT		
	ARC REY	ARCTOSTAPHYLOS UVA-URSI 'POINT REYES' / POINT REYES KINKINNICK WUCOLS (L)	1 GAL.	54" o.c.	5
	CAR DIV	CAREX DIVULSA / EUROPEAN GREY SEDGE WUCOLS (L)	1 GAL.		90 SF
	GRE XR2	GREVILLEA X 'POORINDA ROYAL MANTLE' / POORINDA ROYAL MANTLE GREVILLEA WUCOLS (L)	1 GAL.	48" o.c.	49
	ROS HUN	ROSMARINUS OFF. 'HUNTINGTON CARPET' / PROSTRATE ROSEMARY WUCOLS (L), (H) 1'-2' X (W) 4'-8'	5 GAL.	36" o.c.	28
	TEU PRO	TEUCRIUM CHAMAEDRYS 'PROSTRATUM' / PROSTRATE GERMANDER WUCOLS (L), (H) 1-2' X (W) 2-3'	1 GAL.	24" o.c.	22
	TUR SOD	TURF / 90% DWARF FESCUE / 10% KENTUCKY BLUE. WUCOLS (H)	SOD		672 SF

TAG#3099 CALOCEDRUS DECURRENS  
 (3) ACER RUBRUM 'OCTOBER GLORY' - 24" BOX  
 TAG #3100 PYRUS  
 (3) NYSSA SYLVATICA - 24" BOX

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

SIGNED \_\_\_\_\_ DATE 08/09/22

**SEE SHEET L3.2 FOR NOTES AND WATER CALCS, L3.3 FOR PLANTING DETAILS, AND L3.4 FOR TREE PROTECTION PLAN**



111 Scripps Drive  
 Sacramento,  
 California 95825  
 916.945.8003 | 916.342.7119  
 4409 CRLA 5044

**LANDSCAPE IMPROVEMENT PLANS FOR**

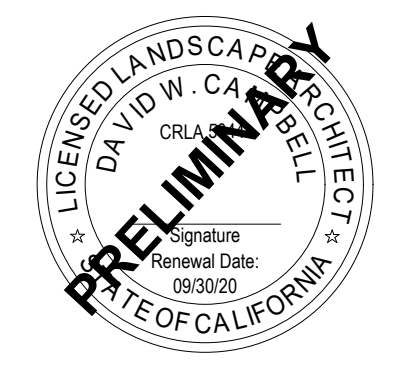
**29 W SUMMIT DRIVE, EMERALD HILLS, CA**

BY **THOMAS JAMES HOMES**

KEYMAP:

**PLANTING PLAN AND LEGEND**

DRAWN BY: \_\_\_\_\_  
 STAFF \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DWK \_\_\_\_\_  
 JOB NO. \_\_\_\_\_  
 20035 \_\_\_\_\_  
 DATE \_\_\_\_\_  
 06/13/2022 \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_



**L3.1**

DRAWINGS IN SET: 9

DESIGN REVIEW - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).

**PLANTING NOTES**

- SITE ACCEPTANCE:** THE CONTRACTOR SHALL OBSERVE THE SITE AND VERIFY THAT ROUGH GRADING AND ALL OTHER WORK HAS BEEN COMPLETED TO THE CONTRACTOR'S SATISFACTION. ANY PREVIOUS WORK THAT IS NOT COMPLETE SHALL BE BROUGHT TO THE OWNER'S OR LANDSCAPE ARCHITECT'S ATTENTION IN WRITING. BEGINNING WORK CONSTITUTES ACCEPTANCE OF THE SITE.
- SITE PREPARATION:** ALL EXISTING VEGETATION SHALL BE REMOVED (CLEAR AND GRUB). PRIOR TO ROUGH GRADING OPERATIONS, PRESERVE ALL TOPSOIL BY STOCKPILING ON SITE. TOPSOIL SHALL BE REPLACED IN PLANTING AREAS TO ACHIEVE FINAL FINISH GRADES. FOR PLANTERS IN LIME-TREATED AREAS, REMOVE AND DISPOSE OF EXISTING SOIL TO A DEPTH OF 24" THROUGHOUT THE ENTIRE PLANTER, AND REPLACE WITH CLEAN TOPSOIL.
- POSITIVE DRAINAGE:** ENSURE POSITIVE DRAINAGE IN ALL LANDSCAPE AREAS, AND SHALL ADJUST ELEVATIONS AS REQUIRED. MINIMUM SLOPE IN TURF AREAS SHALL BE 0.5% TO OUTLET, MINIMUM SLOPE IN PLANTED AREAS SHALL BE 1.0%.
- EXPLANATION OF DRAWINGS:** PLANTING INTENT IS TO COMPLETELY FILL ALL PLANTING AREAS, UNLESS SPECIFICALLY NOTED OTHERWISE. QUANTITIES, (IF SHOWN) ARE FOR CONTRACTOR'S CONVENIENCE ONLY, AND SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO INSTALL PLANTS TO MEET THIS INTENT. PLANTING DETAILS ARE CONSIDERED TYPICAL AND ALL WORK SHALL CONFORM TO THESE DETAILS.
- SUBSTITUTIONS:** IN THE EVENT ANY PLANT MATERIAL SPECIFIED IS NOT AVAILABLE, CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTION IMMEDIATELY TO LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO DETERMINE THE SUITABILITY OF ANY PROPOSED SUBSTITUTION. SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING PIT DRAINAGE:** EXCAVATED PLANTING PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN 2 HOURS OF FILLING. IF PLANTING PITS DO NOT DRAIN, OTHER MEASURES, INCLUDING A 1" DIAMETER X 8' DEEP AUGURED HOLE BACKFILLED WITH CRUSHED DRAIN ROCK, WILL BE REQUIRED.
- PLANT MATERIAL:** ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z60.1 "STANDARD FOR NURSERY STOCK." NOTES AND DETAILS ON THE DRAWINGS, UNLESS OTHERWISE NOTED MINIMUM PLANT SIZES SHALL BE AS FOLLOWS. EVERGREEN SHRUBS (EXCEPT DWARF VARIETIES): 9" H. X 8" W. FOR 1-GALLON (#1); 15" H. X 12" W. FOR 5-GALLON (#5); AND 30" H. X 24" W. FOR 15-GALLON (#15). SINGLE TRUNK TREES: 5" H. W/ 1" CALIPER FOR 15-GALLON (#15); 8" H. W/ 2" CALIPER FOR 24" BOX (#25). CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES 36" AND ABOVE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PURCHASE OR DELIVERY. APPROVAL OF PHOTOS DOES NOT PRECLUDE ON-SITE REJECTION OF UNSUITABLE PLANT MATERIAL.
- SITE CLEANLINESS:** THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN, FOR SOIL EROSION CONTROL MEASURES, AND FOR ANY OTHER GENERAL REQUIREMENTS. SHOULD EXISTING CONDITIONS REQUIRE MITIGATION, THE CONTRACTOR SHALL ALERT THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO PERFORMING WORK.
- UNDERGROUND UTILITIES:** THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. CALL C.G.A. (811) TO LOCATE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITIES, TO THE SATISFACTORY OF THE OWNER AND GOVERNING AGENCY AT NO COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- BARK MULCH:** A 3" LAYER OF "WALK-ON" BARK MULCH SHALL BE INSTALLED IN ALL PLANTING BEDS. CONTRACTOR SHALL SUBMIT A MULCH SAMPLE PRIOR TO ORDER. APPLY PRE-EMERGENT PRIOR TO PLACING MULCH. IF MAINTENANCE PERIOD EXTENDS PAST 60 CALENDAR DAYS FROM APPLICATION, APPLY AGAIN PER MANUFACTURER'S INSTRUCTIONS.
- SOIL FERTILITY ANALYSIS AND AMENDMENT:** THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL SAMPLE AND LABORATORY SOIL FERTILITY ANALYSIS FOR EACH 10,000SF OF PLANTED AREA, AND FOR ALL SOURCES OF IMPORT (IF APPLICABLE). SUBMIT ANALYSIS TO LANDSCAPE ARCHITECT FOR REVIEW, AND DOCUMENTATION OF AMENDMENT FOR COMPLIANCE WITH WATER EFFICIENT LANDSCAPE ORDINANCE. ALL PLANTING AREAS, INCLUDING PLANTING PITS, SHALL BE AMENDED PER THE SOILS REPORT, AND PER LOCAL ORDINANCE, INCLUDING INCORPORATING COMPOST AT THE RATE OF A MINIMUM OF 4 CU YD PER 1,000 SF OF LANDSCAPE AREA TO A DEPTH OF SIX INCHES. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP SIX INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING. BACKFILL FOR ALL SUCCULENTS SHALL BE 50% CLEAN WASHED SAND.
- CERTIFICATE OF COMPLETION:** A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT AT THE COMPLETION OF THE PROJECT AND SUBMITTED WITH THE SOIL ANALYSIS REPORT TO THE AUTHORITY HAVING JURISDICTION.
- MAINTENANCE PERIOD:** SHALL BE A MINIMUM OF 60 CALENDAR DAYS. ANY PLANT THAT HAS BEEN REPLACED DURING THE MAINTENANCE PERIOD SHALL BE SUBJECT TO AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT. ANY DAY OF IMPROPER MAINTENANCE, AS DETERMINED BY THE LANDSCAPE ARCHITECT OR LOCAL JURISDICTION, SHALL NOT COUNT TOWARD THE MAINTENANCE PERIOD.
- ROOT CONTROL BARRIERS:** WHERE STREET TREES ARE WITHIN 3 FEET OF THE SIDEWALK OR CURB, PROVIDE A ROOT CONTROL BARRIER PANEL ALONG THE FACE OF SIDEWALK/CURB. PANELS SHALL BE 12" DEEP ALONG SIDEWALKS, AND 18" DEEP ALONG CURBS. CENTER PANELS AT EACH TREE AND EXTEND 10' IN EACH DIRECTION.
- UTILITY CLEARANCE:** NO TREES SHALL BE PLANTED WITHIN 5' OF WATER AND SANITARY SEWER LINES. NO TREES SHALL BE PLANTED UNDER EXISTING OR FUTURE OVERHEAD POWERLINES, AND ALL REQUIRED CLEARANCES SHALL BE MAINTAINED. ALL PLANTING EXCEPT LOW-GROWING GROUND COVER SHALL BE 3' CLEAR OF ALL FIRE APPURTENANCES PER NFPA 18.5.7
- WORK IN RIGHT-OF-WAY:** ALL WORK WITHIN THE RIGHT OF WAY OR TO BE MAINTAINED BY THE LOCAL AGENCY SHALL BE INSTALLED PER THE LATEST EDITION OF THE AGENCY CONSTRUCTION STANDARDS, AND ALL OTHER AGENCY REQUIREMENTS.
- TURF INSTALLATION:** CONTRACTOR SHALL PLACE AND ESTABLISH SOD IN ALL AREAS AS DELINEATED ON THE PLANS AS FOLLOWS.
  - REMOVE ALL ROCKS AND OTHER DELETERIOUS MATERIAL GREATER THAN 3/4" IN DIAMETER. ESTABLISH SMOOTH GRADES, WITH NO PONDING. ENSURE ADEQUATE SOIL COMPACTION TO AVOID SETTLEMENT, WITHOUT EXCEEDING 85% RELATIVE DENSITY. SUBSEQUENT SETTLEMENT SHALL BE CLEAR EVIDENCE OF INADEQUATE COMPACTION.
  - WITHIN 24 TO 48 HOUR OF SODDING, MOISTEN AREA TO BE SODDED TO A DEPTH OF AT LEAST 6", AND MAINTAIN MOISTURE UNTIL SODDING. DO NOT ALLOW SOIL TO BE COME SATURATED.
  - APPLY A STARTER FERTILIZER PRIOR TO LAYING SOD.
  - INSTALL SOD WITHIN 12 HOURS OF DELIVERY. DO NOT ALLOW SOD TO SIT IN DIRECT SUNLIGHT OR TO DRY OUT.
  - STARTING AT A STRAIGHT EDGE, LAY SOD IN STAGGERED ROWS, OFFSETTING JOINTS A MINIMUM OF 2 FEET.
  - AFTER LAYING, ROLL SOD WITH A LIGHT-WEIGHT WATER-DRUM ROLLER (APPROXIMATELY 50 LBS), AND ENSURE FULL CONTACT WITH SOIL. WATER AS SOON AS POSSIBLE, AND IN ALL CASES, WITHIN 1 HOUR AFTER LAYING.

**WATER USE CALCULATIONS**

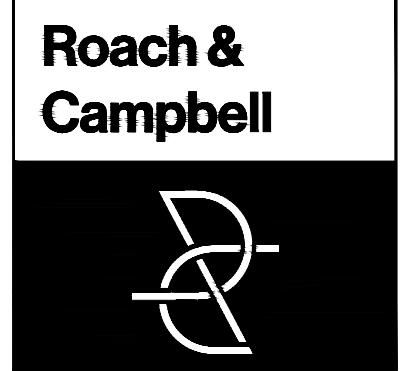
Water Efficient Landscape Worksheet							Project:	20035
29 West Summit Drive							Date:	8/9/2022
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use	
<b>Regular Landscape Areas</b>								
Shrub and groundcover, front (Low & Medium) A1	0.4	DripLine	0.81	0.49	1,332	658	20,696	
Turf, front (High) A2	0.9	MultiStrm	0.75	1.20	394	473	14,876	
Shrub and groundcover, rear (Low & Medium) A3	0.35	DripLine	0.81	0.43	2,343	1,012	31,853	
Shrub and groundcover, rear (Low) A4	0.3	DripLine	0.81	0.37	1,720	637	20,043	
Trees, (Medium) A5	0.4	Bubbler	0.81	0.49	-	-	-	
Turf, rear (High) A6	0.9	DripLine	0.81	1.11	278	309	9,719	
Groundcover, ROW (Low) A7	0.3	MultiStrm	0.75	0.40	494	198	6,217	
Depressed water basin, rear (Low) A8	0.3	MultiStrm	0.75	0.40	100	40	1,259	
					<b>Totals</b>	<b>6,661</b>	<b>3,327</b>	
Nearest Data Location: Redwood City						Estimated Total Water Use (ETWU) <sup>1</sup>		
Reference Eto: 50.1						104,661		
Reference ETAF: 0.55						Maximum Allowed Water Allowance (MAWA) <sup>2</sup>		
						113,797		

ETAF Calculations/Regular Landscape		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.	
Total ETAF x Area	3,327		
Total Area (sf)	6,661		
Average ETAF	0.50		

ETAF Calculations/All Landscape		Average ETAF for All Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.	
Total ETAF x Area	3,327	<sup>1</sup> ETWU= Eto x 0.62 x ETAF x Area	
Total Area (sf)	6,661	<sup>2</sup> MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]	
Average ETAF	0.50	<sup>3</sup> ETWU must be less than or equal to MAWA	

\* PER THE SAN MATEO COUNTY PERFORMANCE MWELO SUBMITTAL CHECKLIST, PLANT FACTORS OF MIXED HYDROZONES CAN, AND HAVE BEEN, CALCULATED "BASED ON THE PROPORTIONS OF THE RESPECTIVE PLANT WATER USES." CALCULATIONS FOR LOW WATER USE PLANTS IN MIXED HYDROZONES WILL USE 0.3 AND MODERATE USE PLANTS WILL USE 0.5.



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**LANDSCAPE IMPROVEMENT PLANS FOR**

**29 W SUMMIT DRIVE, EMERALD HILLS, CA**

**BY THOMAS JAMES HOMES**

KEYMAP:

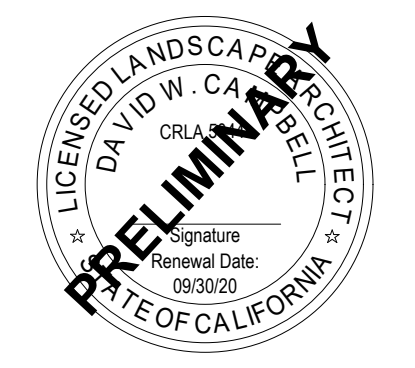
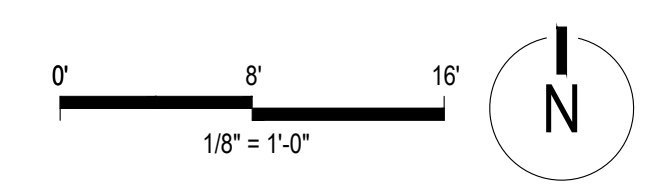
**PLANTING NOTES AND WATER USE CALCULATIONS**

DRAWN BY: \_\_\_\_\_  
 STAFF \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DWC \_\_\_\_\_  
 JOB NO. \_\_\_\_\_  
 20035 \_\_\_\_\_  
 DATE \_\_\_\_\_  
 06/13/2022 \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 \_\_\_\_\_  
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 \_\_\_\_\_

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

SIGNED \_\_\_\_\_ DATE 08/09/22

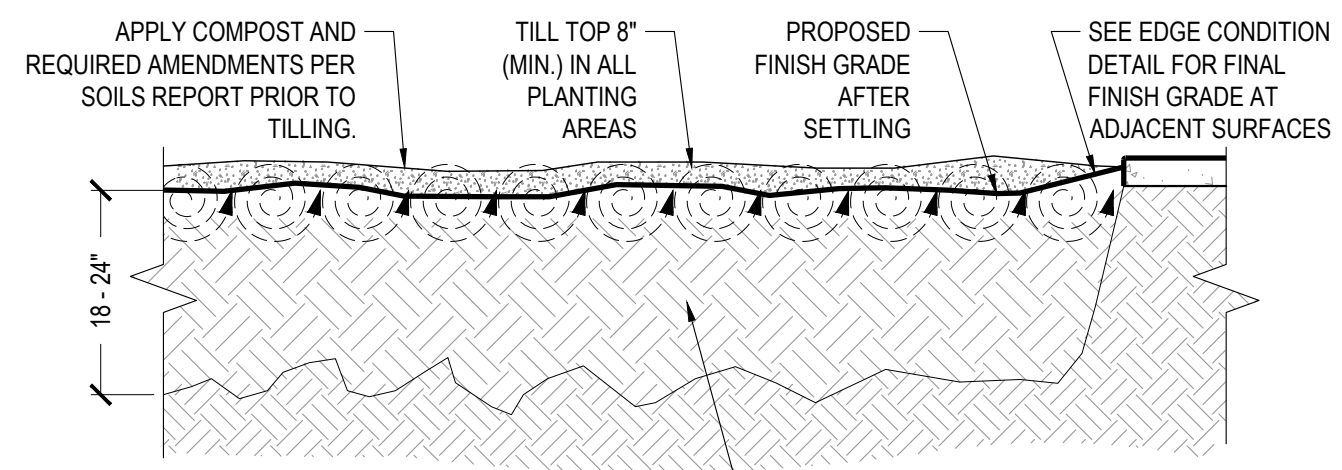
**SEE SHEET L3.1 FOR PLANTING PLAN, L3.3 FOR PLANTING DETAILS AND L3.4 FOR TREE PROTECTION PLAN**



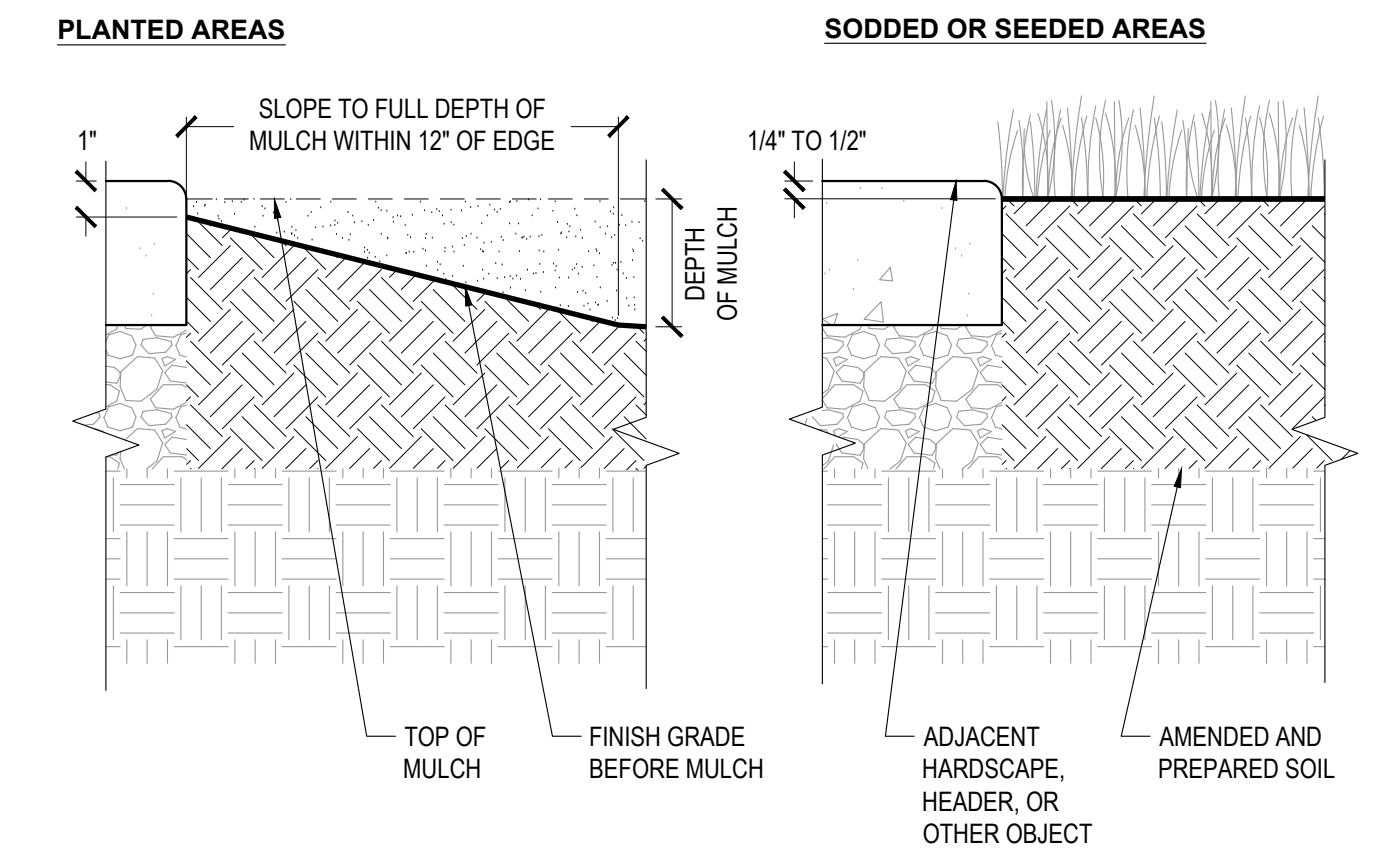
**L3.2**

DESIGN REVIEW - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).

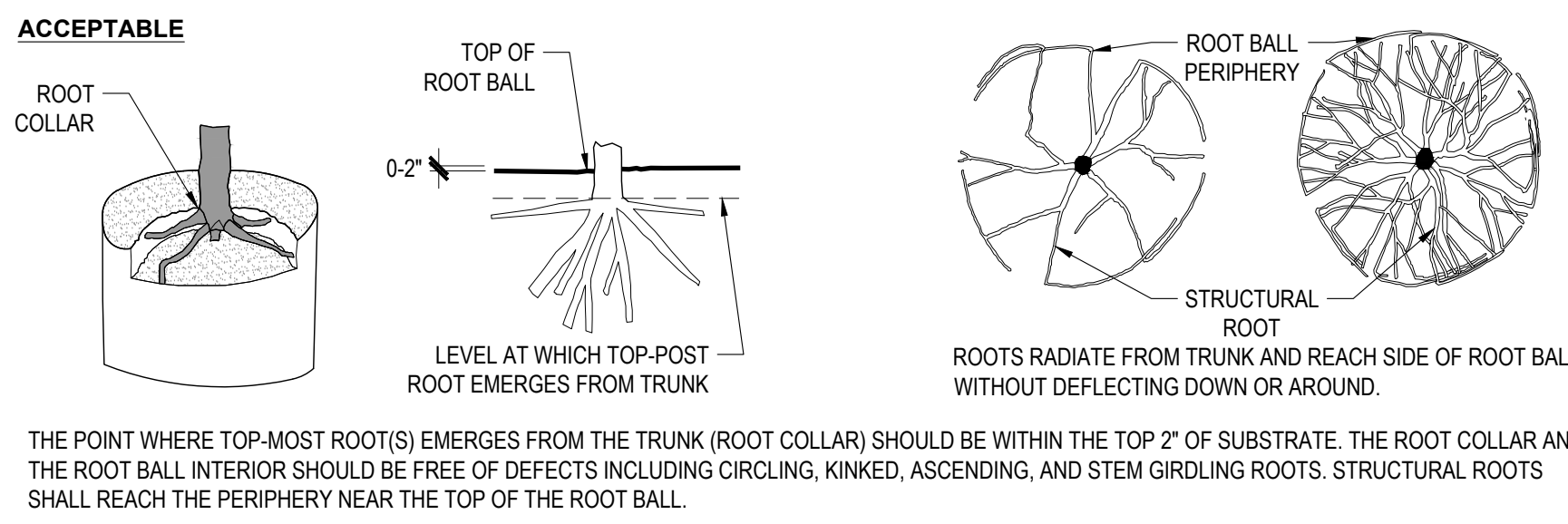




**1 | PLANTING AREA SOIL PREPARATION**  
NO SCALE SECTION



**2 | PLANTED AREA EDGE CONDITION AT HARDSCAPE**  
NO SCALE SECTION



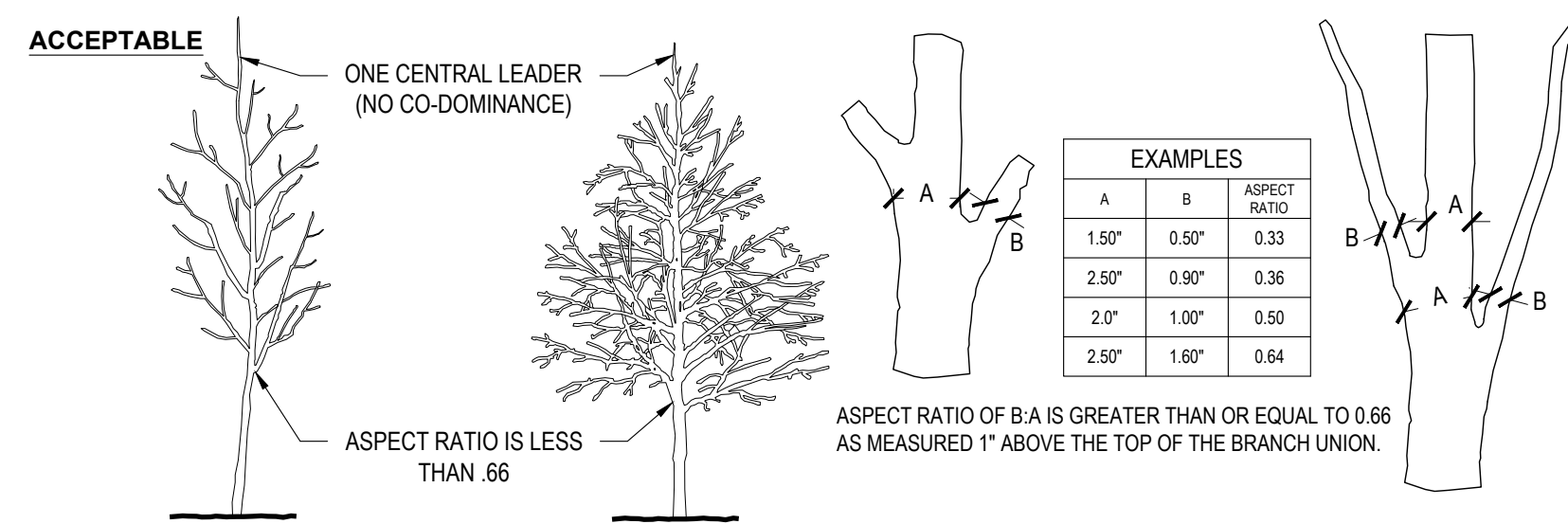
**NOTES**

A. OBSERVATIONS OF ROOTS SHALL OCCUR PRIOR TO ACCEPTANCE. ROOTS AND SUBSTRATE MAY BE REMOVED DURING THE OBSERVATION PROCESS. SUBSTRATE/SOIL SHALL BE REPLACED AFTER OBSERVATION HAS BEEN COMPLETED.

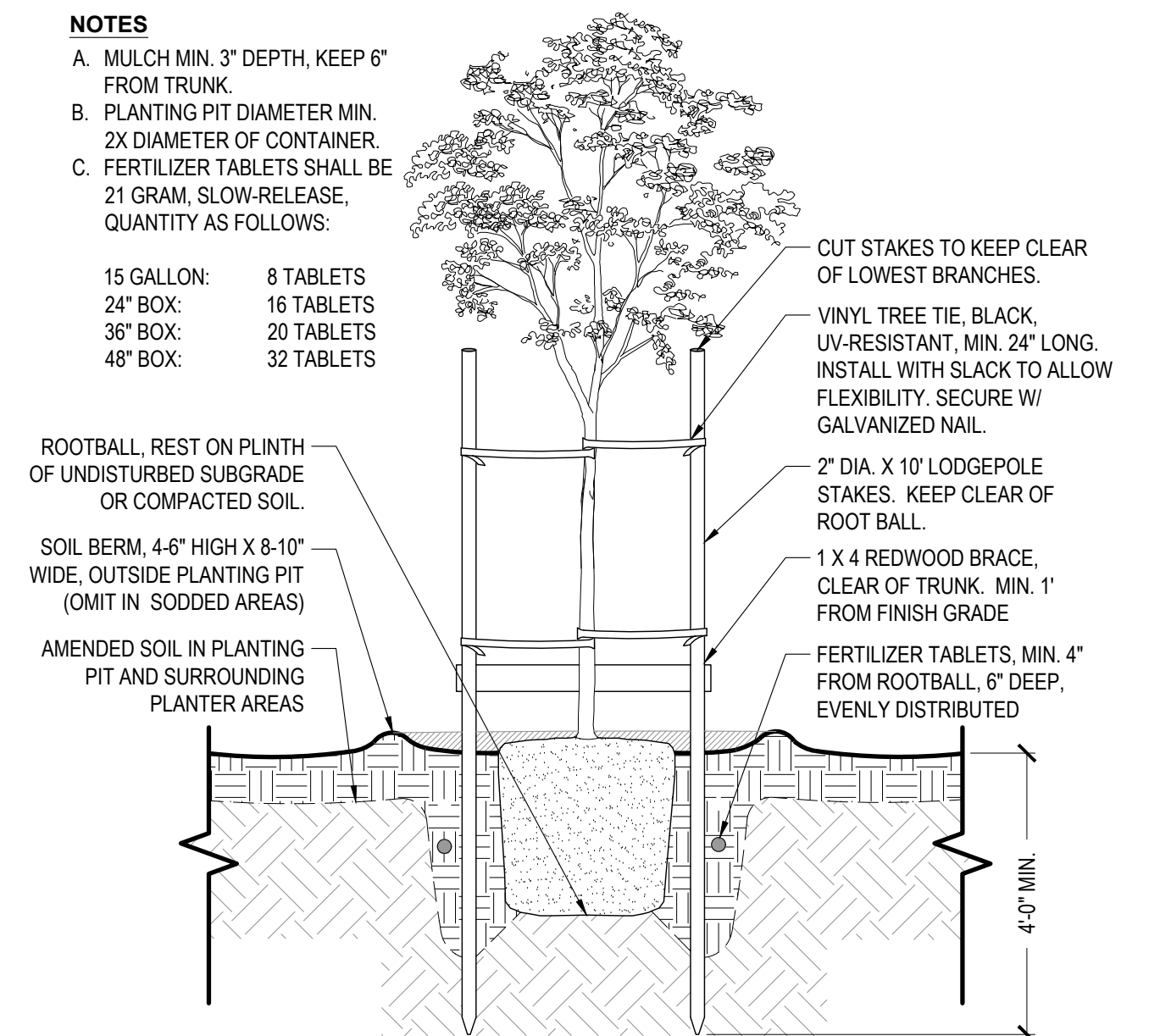
B. SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY MAY BE REMOVED AT THE TIME OF PLANTING.

C. SEE SPECIFICATIONS FOR OBSERVATION PROCESS AND REQUIREMENTS.

**3 | ROOT STRUCTURE: CONTAINERIZED PLANTS**  
NO SCALE AS NOTED



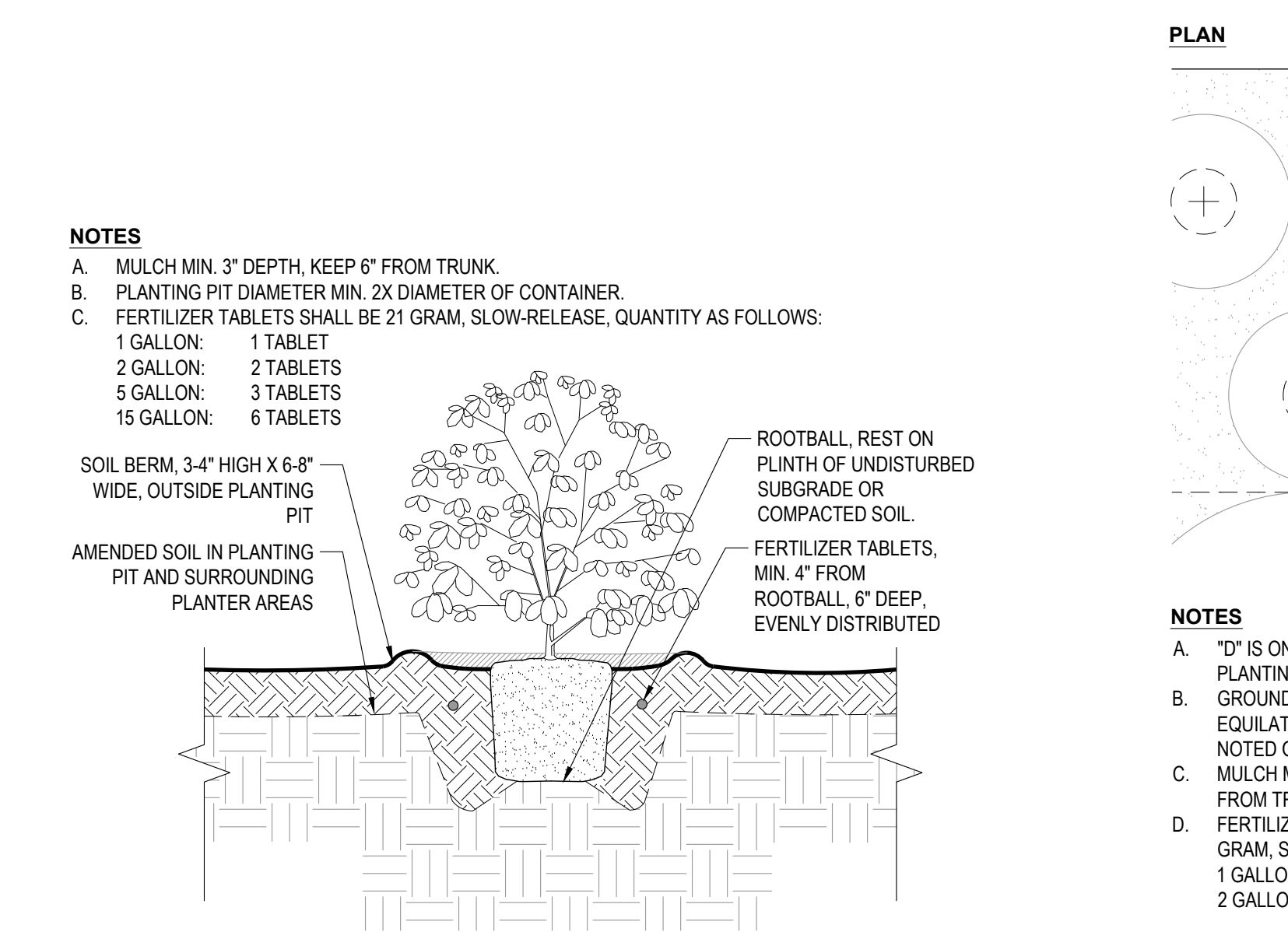
**4 | TREE BRANCHING STRUCTURE**  
NO SCALE AS NOTED



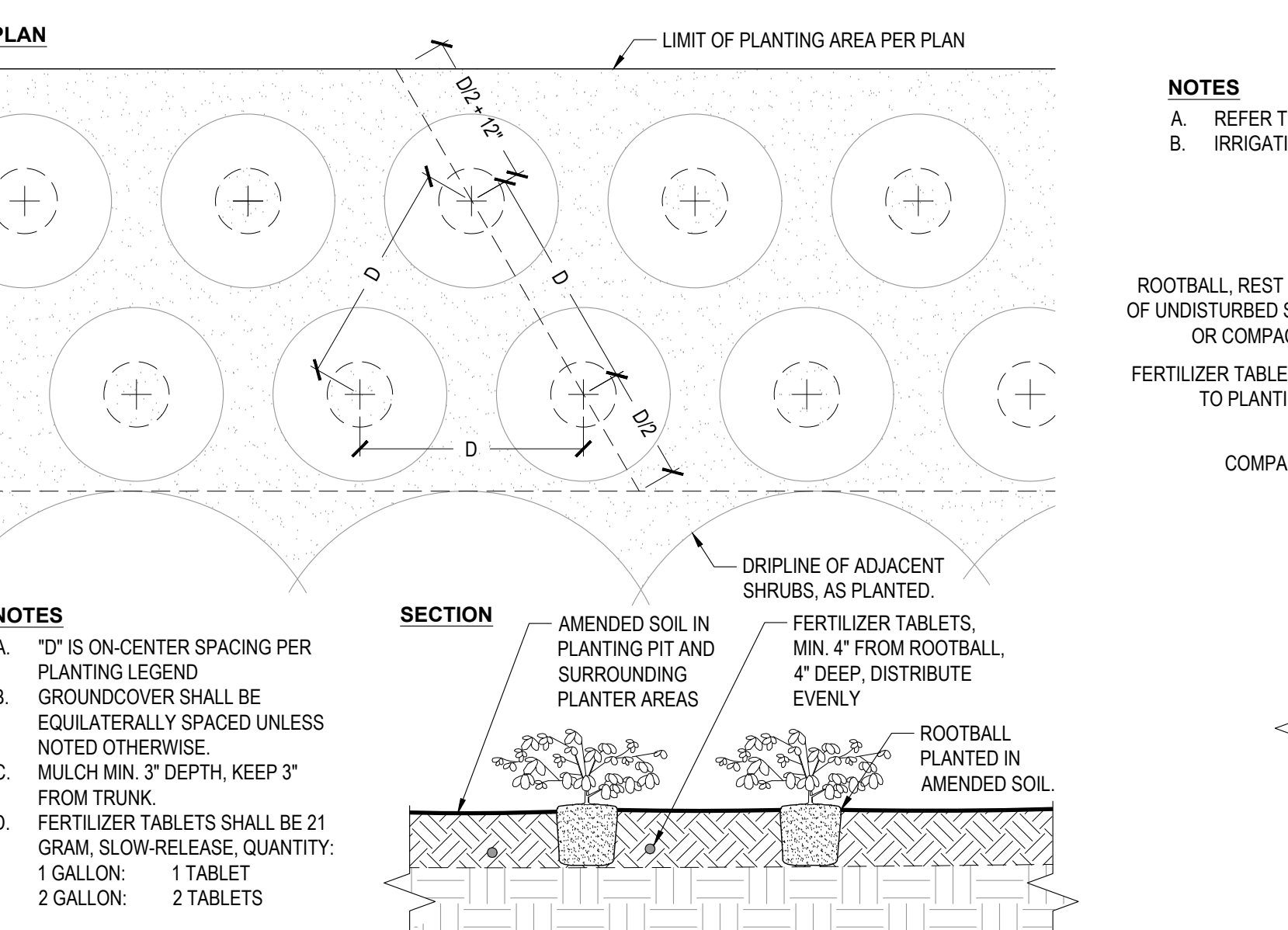
**5 | TREE PLANTING: STANDARD UP TO 36" BOX**  
NO SCALE SECTION

**SOIL FERTILITY ANALYSIS: NOTE: SEE PLANTING NOTE #11.**

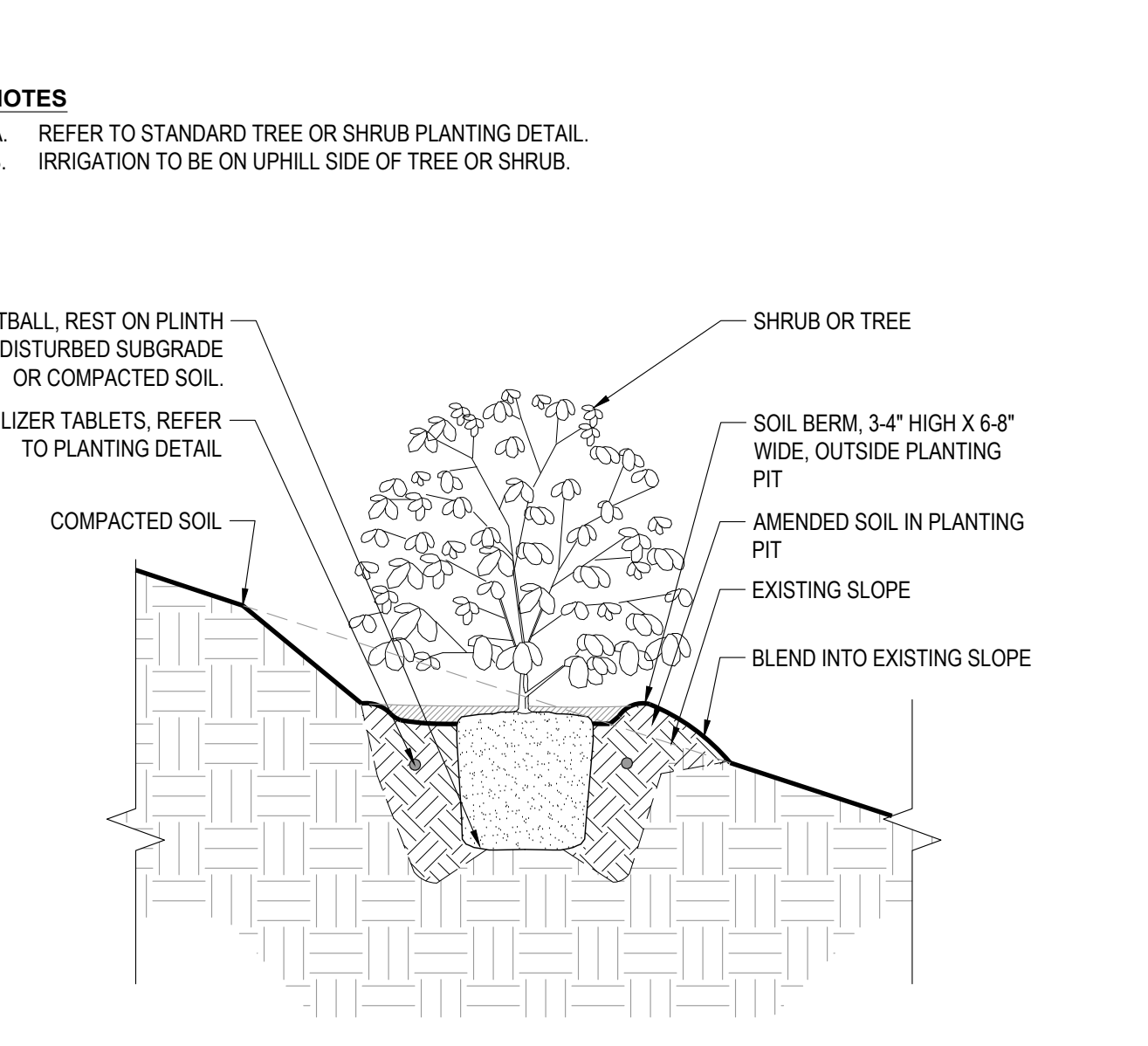
**CERTIFICATE OF COMPLETION: NOTE: SEE PLANTING NOTE #12.**



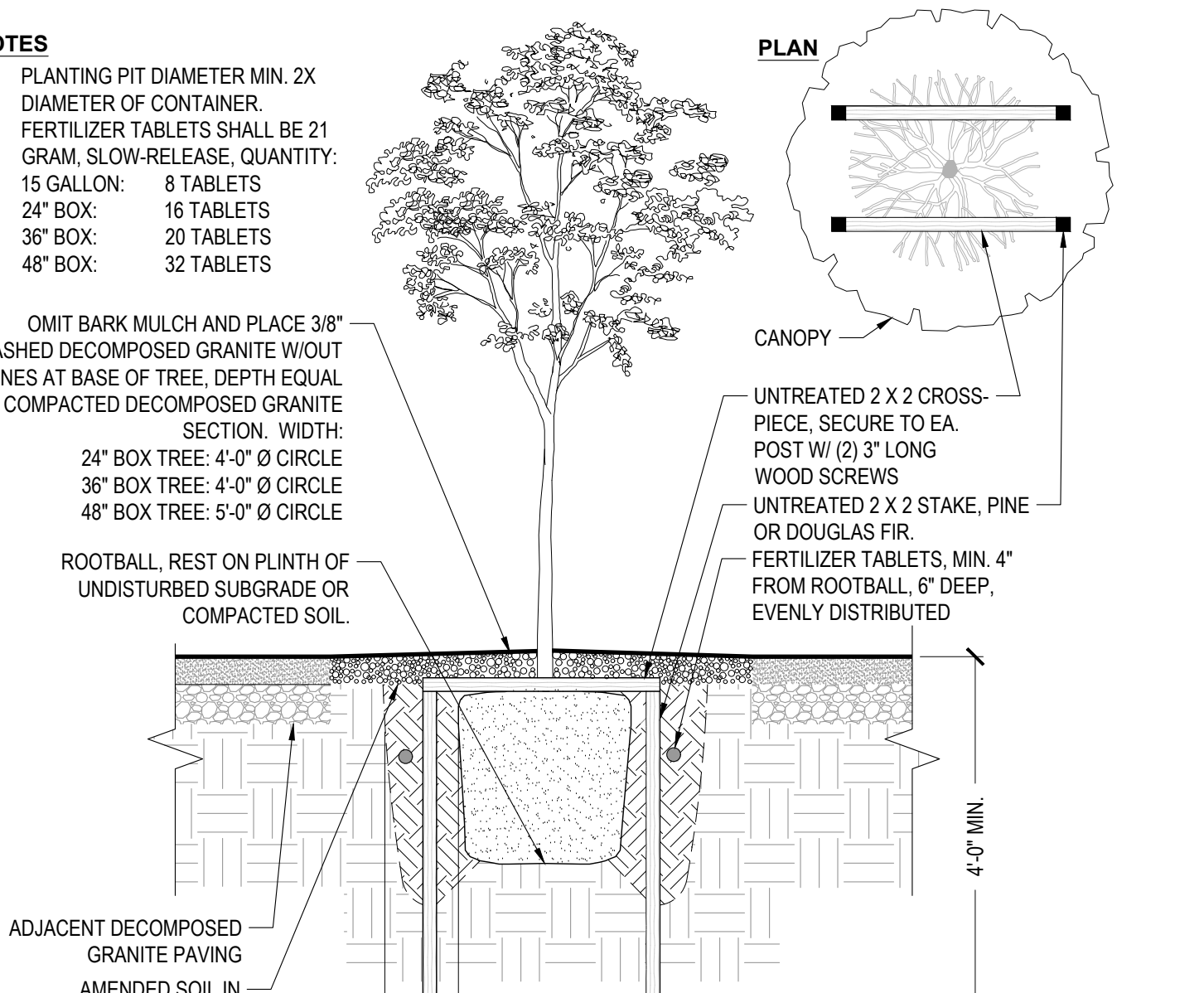
**6 | SHRUB PLANTING**  
NO SCALE SECTION



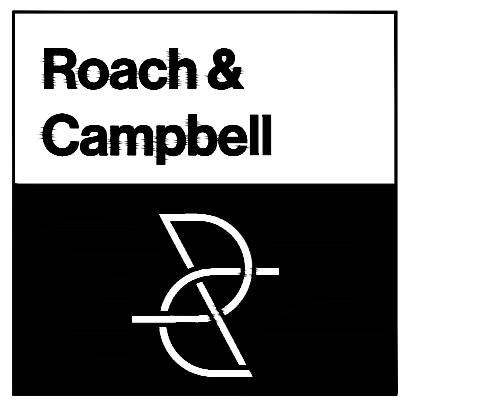
**7 | GROUNDCOVER PLANTING**  
NO SCALE SECTION



**8 | PLANTING ON SLOPE (SHRUB OR TREE)**  
NO SCALE SECTION



**9 | TREE PLANTING IN DECOMPOSED GRANITE**  
NO SCALE SECTION



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California 95825  
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4409 CRLA 5044

**LANDSCAPE IMPROVEMENT PLANS FOR**

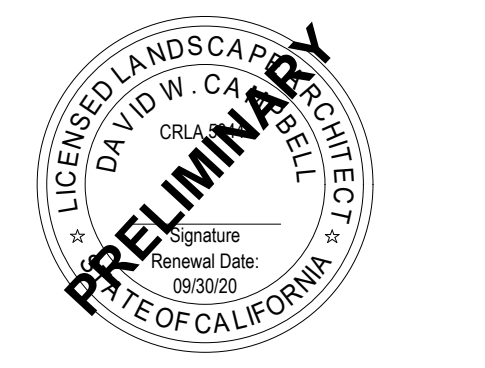
**29 W SUMMIT DRIVE, EMERALD HILLS, CA**

BY **THOMAS JAMES HOMES**

KEYMAP:

**PLANTING DETAILS**

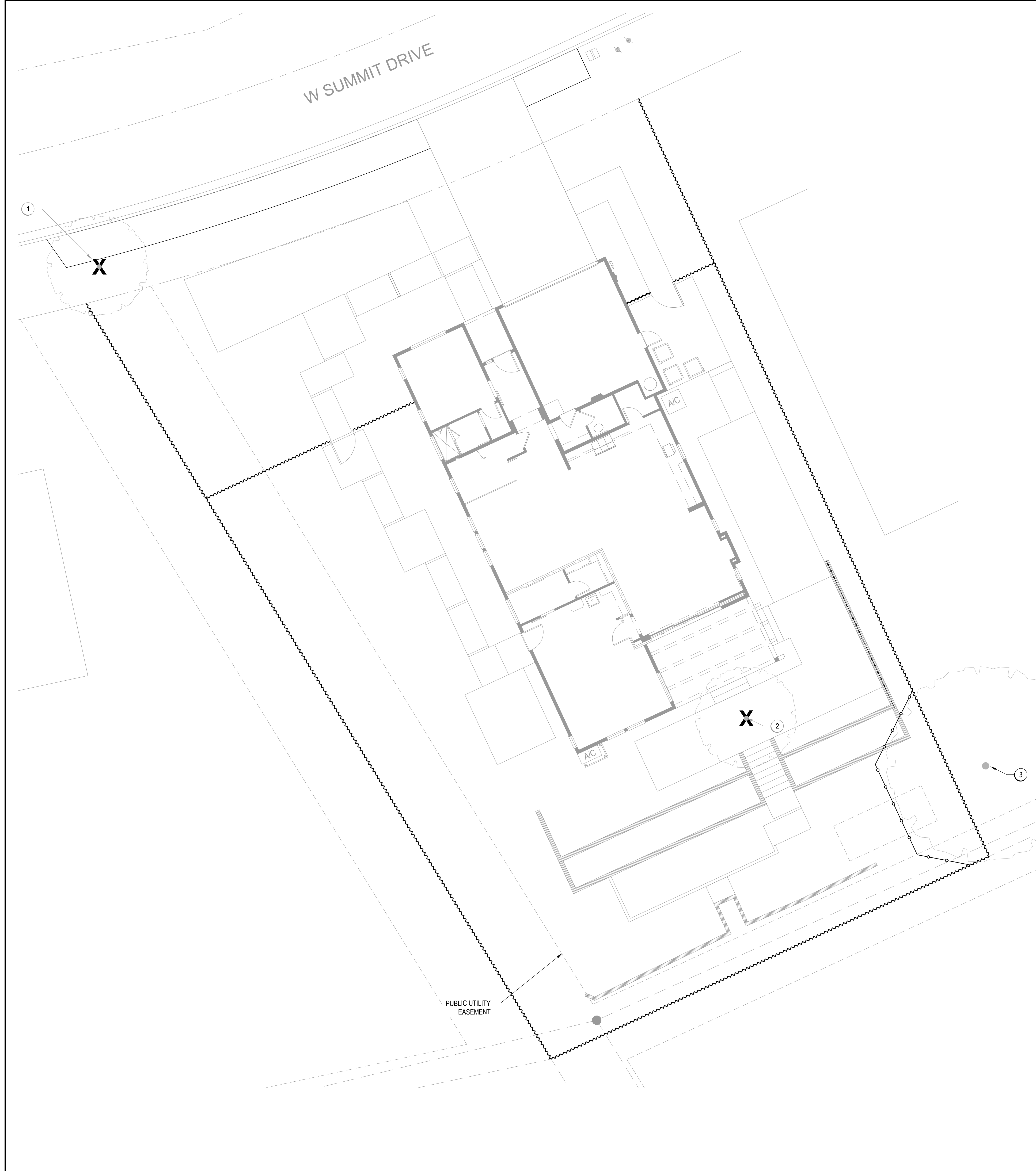
DRAWN BY: \_\_\_\_\_  
STAFF \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DWC \_\_\_\_\_  
JOB NO. \_\_\_\_\_  
20035 \_\_\_\_\_  
DATE \_\_\_\_\_  
06/13/2022 \_\_\_\_\_  
REVISIONS: \_\_\_\_\_



**L3.3**

DRAWINGS IN SET: 9

DESIGN REVIEW - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).



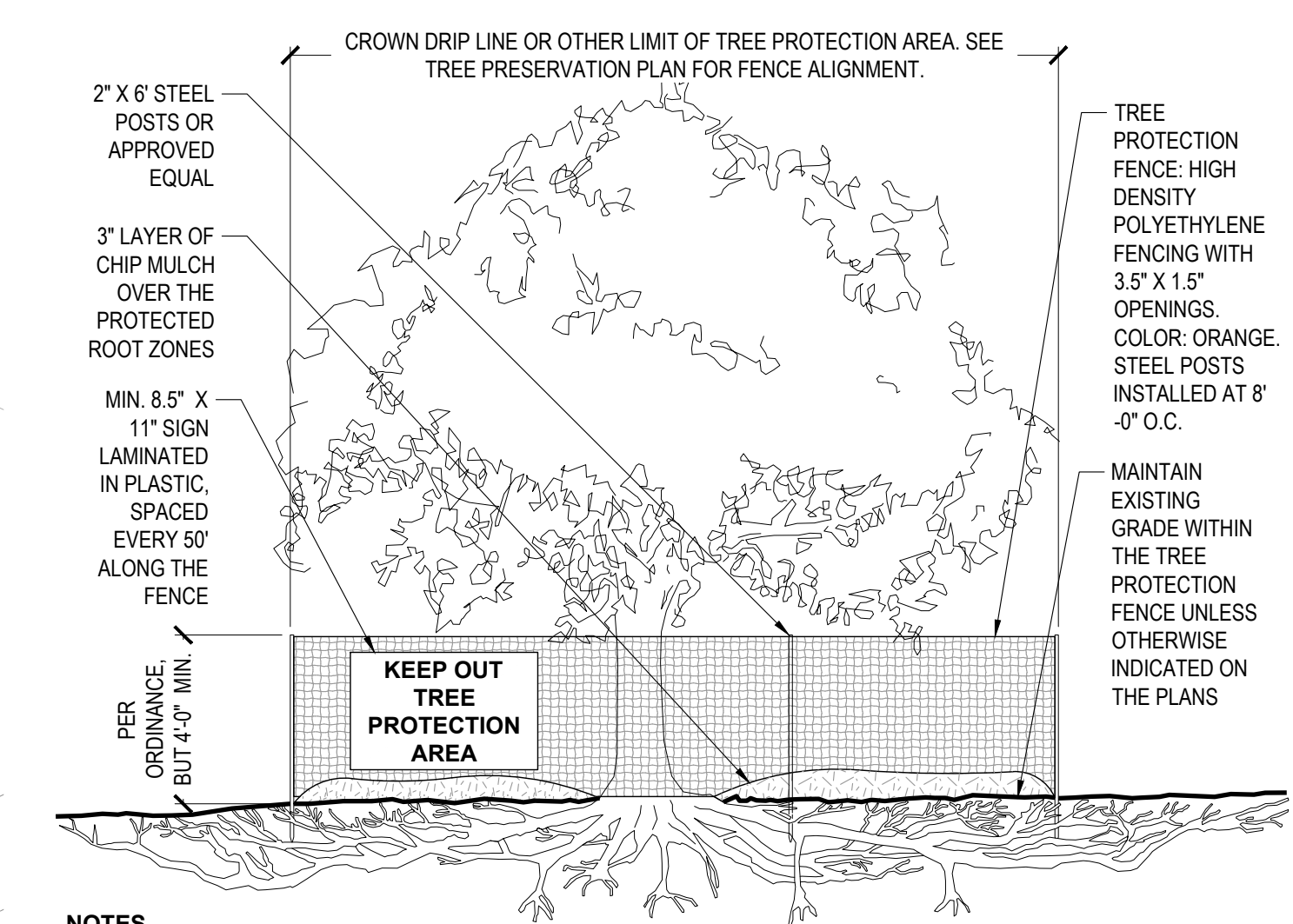
**TREE PROTECTION CHART**

KEYNOTE	TAG#	STATUS	LOCATION	SCIENTIFIC NAME	COMMON NAME	DBH (in)	ACTION
1	3099	Protected	On-Site	<i>Calocedrus decurrens</i>	Incense Cedar	9	Remove
2	3100	Protected	On-Site	<i>Pyrus</i>	Pear	13	Remove
3	9600	Non-Protected	Off-Site	<i>Sequoia sempervirens</i>	Coast Redwood	45	Retain and Protect

- NOTES:
- REFER TO THE ARBORIST REPORT "TREE INVENTORY, CONSTRUCTION IMPACT ASSESSMENT AND TREE PROTECTION PLAN 29 W SUMMIT, EMERALD HILLS, CALIFORNIA" PREPARED BY CALIFORNIA TREE AND LANDSCAPE CONSULTING, INC. DATED JUNE 13, 2022 FOR FULL DETAILS.
  - TREES AND SHRUBS NOT IDENTIFIED WITHIN THE REPORT, BUT AS PART OF THE TOPOGRAPHICAL SURVEY, ARE INCLUDED FOR REFERENCE ONLY.
  - PROTECT ALL EXISTING ITEMS NOTED TO REMAIN OR OTHERWISE UN-LABELED.
  - EXISTING TREES TO REMAIN UNLESS NOTED OTHERWISE. DO NOT STOCKPILE, DRIVE OVER, OR OTHERWISE DISTURB SOIL UNDER DRIPLINES OF EXISTING TREES, EXCEPT AS REQUIRED FOR PLANTING OPERATIONS.
  - USE HAND TOOLS ONLY FOR SOIL CULTIVATION UNDER DRIPLINES OF EXISTING TREES TO REMAIN.
  - TREES NOTED TO BE REMOVED SHALL BE COMPLETELY REMOVED, INCLUDING STUMP AND ROOT MASS. REFER TO ARBORIST REPORT FOR INSTRUCTIONS ON REMOVING TREE STUMPS WITHIN PROTECTED TREE ROOT ZONES.
  - NO ROOTS OVER 2" IN DIAMETER SHALL BE CUT EXCEPT UNDER THE DIRECTION OF AN ARBORIST. ALL CUT ROOTS SHALL BE COVERED WITH BURLAP OR STRAW AND SHALL REMAIN MOIST UNTIL RE-BURIED IN SOIL.
  - CALL COMMON GROUND ALLIANCE (811) AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE TO PROTECT FOR ALL EXISTING UTILITIES. SEE GENERAL NOTES, SHEET L1.1, FOR MORE INFORMATION.

**LEGEND**

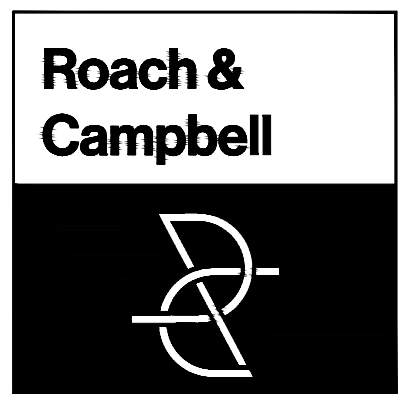
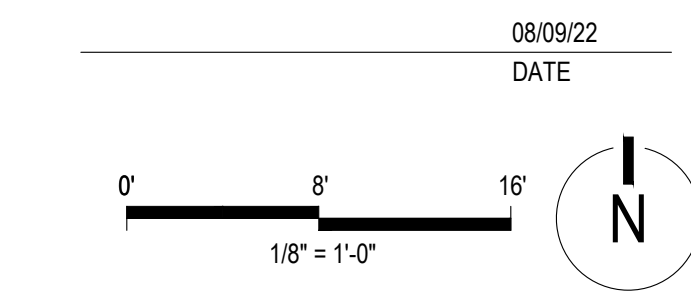
- EXISTING TREE CANOPY, TYPICAL
- TREES TO REMOVE, TYPICAL
- TREE PROTECTION FENCING; REFER TO ARBORIST REPORT



- NOTES
- SEE ARBORIST REPORT FOR ADDITIONAL PROTECTION REQUIREMENTS. COMPLY WITH ALL TREE PROTECTION REQUIREMENTS PER JURISDICTION.
  - IRRIGATE AS NEEDED TO MAINTAIN HEALTH OF TREE.
  - KEEP EXPOSED ROOTS MOIST.
  - NO PRUNING SHALL BE PERFORMED EXCEPT UNDER THE DIRECTION OF APPROVED ARBORIST.
  - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  - NO MATERIALS SHALL BE STORED INSIDE FENCE.

**1 TREE PROTECTION FENCING**  
NO SCALE SECTION

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE. I HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.



111 Scripps Drive  
Sacramento,  
California 95825  
916.945.8003 | 916.342.7119  
4409 CRLA 5044

**LANDSCAPE IMPROVEMENT PLANS FOR**

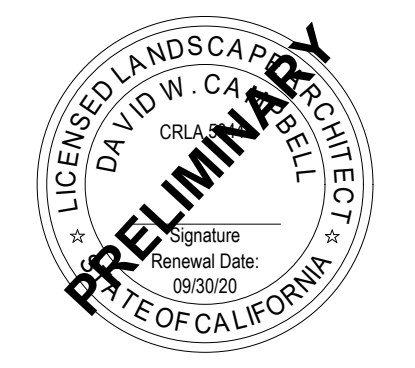
**29 W SUMMIT DRIVE, EMERALD HILLS, CA**

**BY THOMAS JAMES HOMES**

KEYMAP:

**TREE PROTECTION PLAN AND NOTES**

DRAWN BY: STAFF  
CHECKED BY: DWC  
JOB NO. 20035  
DATE 06/13/2022  
REVISIONS:



**L3.4**

DESIGN REVIEW - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (A.H.J.).