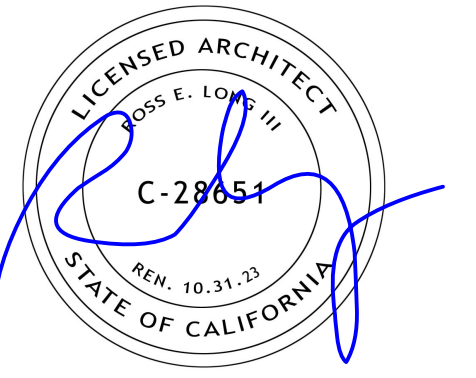


THE WONG RESIDENCE

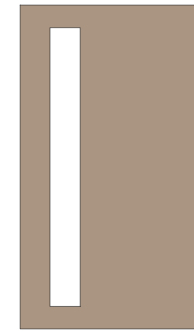
264 SYLVAN WAY EMERALD HILLS, CA



ISSUE	DATE
FA DRAWINGS v1	041222
PLANNING SUBMITTAL v1	053122
PLANNING SUBMITTAL v2	101422
PLANNING SUBMITTAL v3	010923

MATERIALS

FIBERGLASS ENTRY DOOR (T.B.D.)



FIBERGLASS WINDOWS ANDERSEN 200 SERIES (DARK GRAY COLOR)



WOOD DECKING AND EAVES



METAL PANEL



SMOOTH INTEGRAL COLOR STUCCO (NON-COMBUSTIBLE)



BROWN FIBER CEMENT SIDING (NON-COMBUSTIBLE)



WILDLAND URBAN INTERFACE CRC R337 COMPLIANCE

ROOFING: CLASS 'A' SINGLE PLY MEMBRANE

UNDER FLOOR PROTECTION, UNDERSIDE OF APPENDAGES, EXTERIOR PORCH CEILINGS, EXTERIOR COVERINGS, FLOOR PROTECTIONS: 2X WUI COMPLIANT FIR OR STANDARD WOOD O/ 5/5" GYP. BD.

EXTERIOR FINISH: WUI COMPLIANT STUCCO/FIBER CEMENT O/ LATH. WOOD SIDING O/ FIRE RATED SHEATHING.

EXTERIOR WINDOWS AND DOORS: CONSTRUCTED OF MULTI-PANE GLAZING WITH MINIMUM ONE TEMPERED PANE MEETING THE REQ'TS OF CRCR337

SOLID CORE WOOD DOORS, STILES AND RAILS NOT LESS THAN 1 3/8" THK.

VENTS: OSFM CBC CH7A COMPLIANCE #09-03 VULCAN SOFFIT VENT

WUI CRAWSPACE, VENT SCREEN: GALVANIZED METAL, 1/16" MIN. 1/8" MAX. OPENINGS

DECKING SURFACE: DECKING, SURFACES, STAIR TREADS, RISERS, & LANDINGS OF DECKS, WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE PRIMARY STRUCTURE SHALL BE APPROVED IGNITION RESISTANT OF NONCOMBUSTIBLE MATERIALS. STANDARD & PRESSURE TREATED 2X & GREATER DECK FRAMING MATERIAL IS ALLOWED.

ARCHITECT



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APN: 057-081-170, 180, 190

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sheet
A 0.0

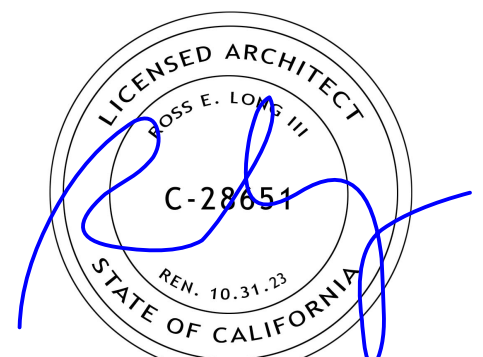
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single family home with ADU in emerald hills, ca

THE WONG RESIDENCE

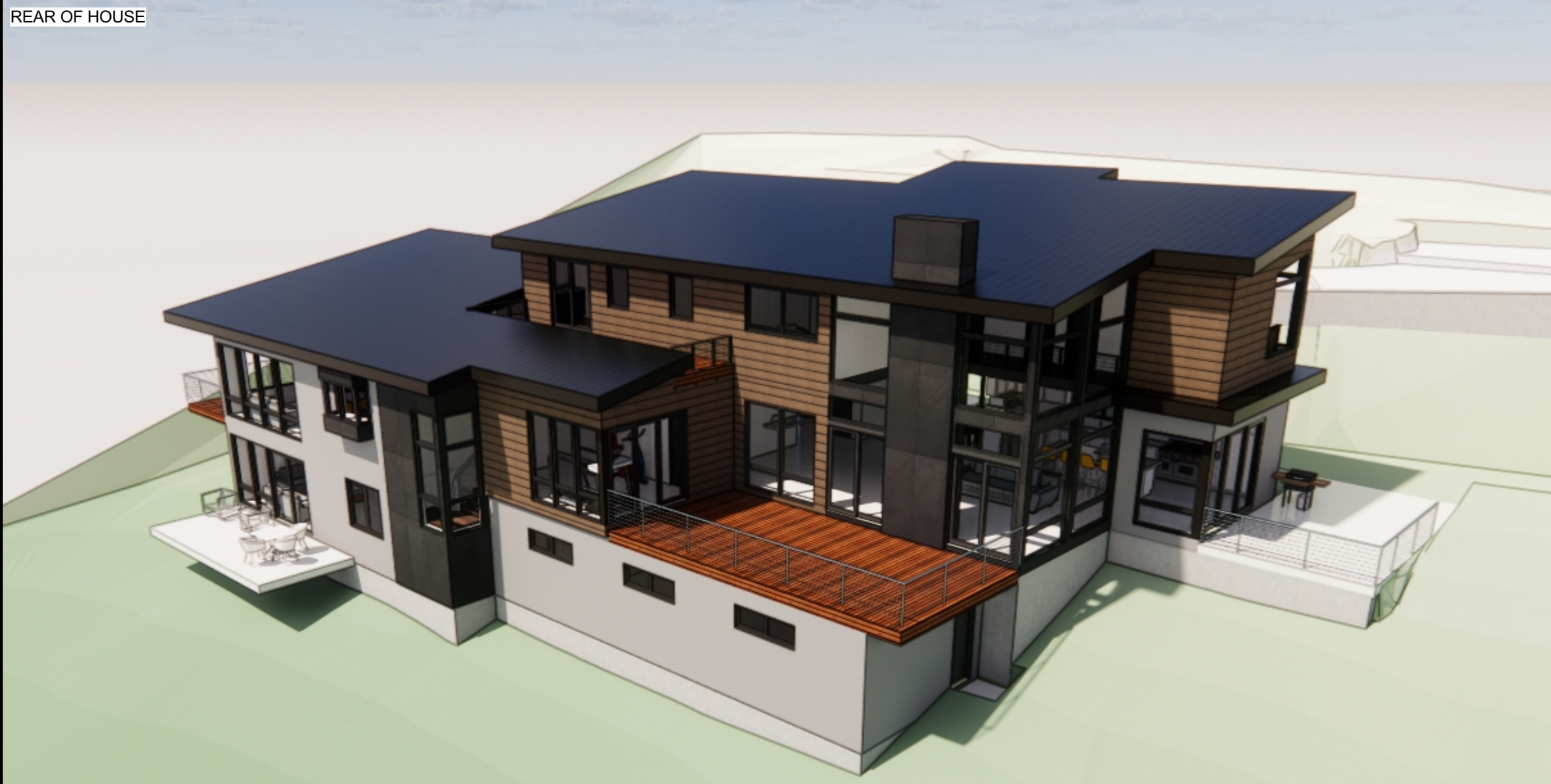
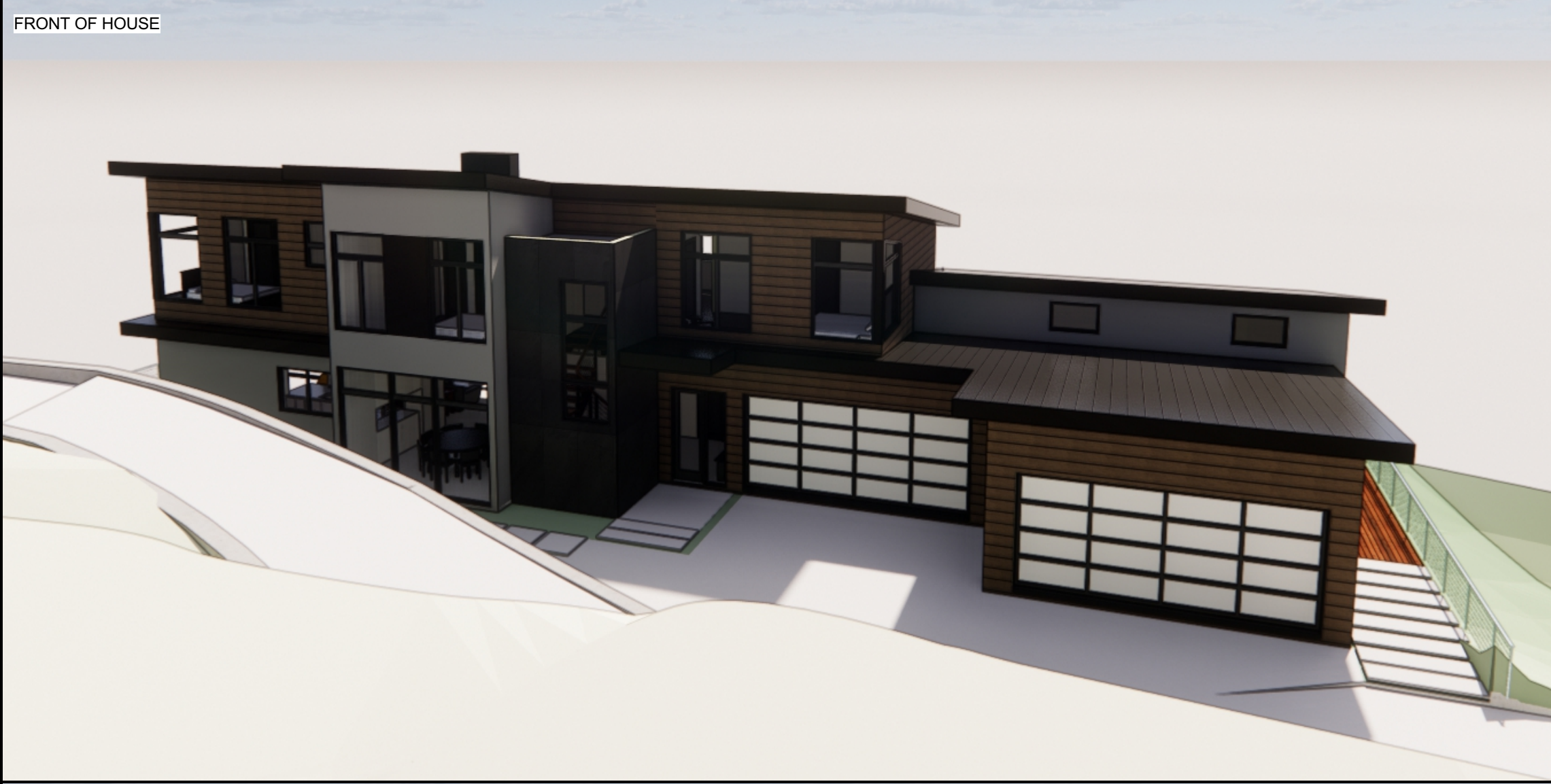
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CAL GREEN COMPLIANCE

A) WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.

B) SINGLE SHOWERHEAD. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.

C) MULTIPLE SHOWERHEADS SERVING ONE SHOWER. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

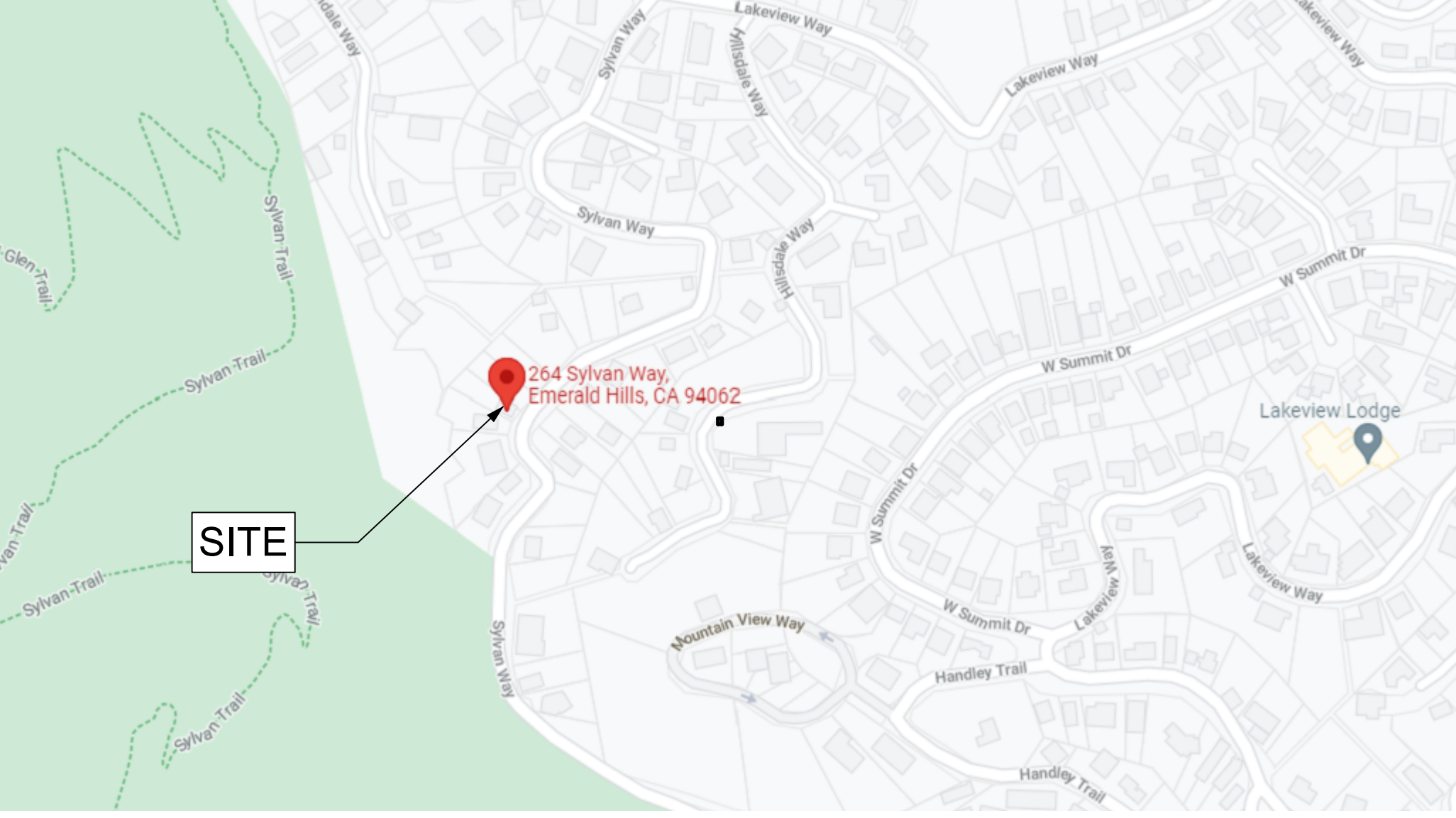
D) RESIDENTIAL LAVATORY FAUCETS. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

E) KITCHEN FAUCETS. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

F) STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS REQUIRED IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.

G) IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.

H) OPERATION AND MAINTENANCE MANUAL. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
 I) DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
 II) OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 (1) EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
 (2) ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
 (3) SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
 (4) LANDSCAPE IRRIGATION SYSTEMS.
 (5) WATER REUSE SYSTEMS.
 III) INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
 IV) PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
 V) EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
 VI) INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
 VII) INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
 VIII) INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
 IX) INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
 X) A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
I) INSTALLER TRAINING. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
J) SPECIAL INSPECTION. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
K) DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL COMPLIANCE.



1 CONCEPTUAL RENDERINGS

2 CAL-GREEN BUILDING CODE COMPLIANCE

3 VICINITY MAP / PARCEL MAP

ARCHITECTURAL	STRUCTURAL
X A-0.0 COVER AND MATERIALS	
X A-0.1 PROJECT INFO	
- A-0.2 NOTES	
- A-0.3 NOTES	
- A-0.4 TITLE 24	
X A-0.5 MASSING DIAGRAMS	
X A-0.6 AREA DIAGRAMS	
X A-0.8 FIRE ACCESS DIAGRAMS	
X A-0.9 RENDERING	
X A-1.1 SURVEY	
X A-1.2 SITE PLAN	
X A-1.3 LANDSCAPE PLAN	
- A-2.0 BASEMENT PLAN	
X A-2.1 LEVEL 1 PLAN	
X A-2.2 LEVEL 2 PLAN	
X A-2.3 LEVEL 3 PLAN	
X A-2.4 ROOF PLAN	
X A-2.5 LEVEL 1 RCP	
X A-2.6 LEVEL 2 RCP	
X A-2.7 LEVEL 3 RCP	
X A-3.0 BUILDING SECTIONS	
X A-3.1 BUILDING SECTIONS	
X A-3.2 BUILDING SECTIONS	
X A-4.0 EXTERIOR ELEVATIONS	
X A-4.1 EXTERIOR ELEVATIONS	
X A-5.0 INTERIOR ELEVATIONS	
X A-5.1 INTERIOR ELEVATIONS	
X A-5.2 INTERIOR ELEVATIONS	
X A-5.3 INTERIOR ELEVATIONS	
X A-5.4 INTERIOR ELEVATIONS	
X A-6.0 DETAILS - SECTION KEY	
X A-6.1 DETAILS - WALL ASSEMBLY	
X A-6.2 DETAILS - WATERPROOFING	
X A-6.3 DETAILS - TYPICAL EXTERIOR	
X A-6.4 DETAILS - TYPICAL EXTERIOR	
X A-6.5 DETAILS - TYPICAL EXTERIOR	
X A-7.0 SCHEDULES	
X A-7.1 SCHEDULES	
CIVIL	
X C-1 TITLE SHEET	
X C-2 GRADING AND DRAINAGE PLAN	
X C-3 DRIVEWAY PLAN & PROFILE	
X C-4 GRADING AND DRAINAGE PLAN	
X C-4.1 SAN MATEO COUNTY BMP PLAN	
X C-5 TREE PROTECTION PLAN	
X C-6 IMPERVIOUS SURFACE MAP	

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW SINGLE FAMILY HOME WITH ATTACHED ADU AND GARAGE.

6 PROJECT DESCRIPTION

2019 CA BUILDING CODE	2019 CA MECHANICAL CODE	2019 CA RESIDENTIAL CODE
2019 CA ENERGY CODE	2019 CA PLUMBING CODE	
2019 CA GREEN CODE	2019 CA ELECTRICAL CODE	

7 CODE REFERENCE

W-## WINDOW SCHEDULE REFERENCE	REVISION REFERENCE	FLR # FLOOR / CEILING ASSEMBLY REFERENCE	Elev. No. ELEVATION/SECTION REFERENCE
D-## DOOR SCHEDULE REFERENCE	ALIGN ALIGN FINISH SURFACES	ELEVATION REFERENCE	Sheet No.
# WALL ASSEMBLY REFERENCE		Plan No.	Detail No. DETAIL REFERENCE

4 TABLE OF CONTENTS

5 SITE AND BUILDING INFORMATION

8 SYMBOLS

9 CONTACT INFO

OWNER	ARCHITECT	STRUCTURAL	SURVEY	ARBORIST
BILL AND SOPHIA WONG 3471 LONGVIEW DRIVE SAN BRUNO, CA 94066 T: 415.314.7711 E: W2W.BILL@GMAIL.COM JEREMY AND CHERISE WONG 636 FAN TAIL WAY #915 REDWOOD CITY, CA 94063 T: 650.580.0803 E: JJWONG85@GMAIL.COM	TOBY LONG DESIGN 6114 LA SALLE AVE #552 OAKLAND, CA 94611 T: 415.905.9030 X1 C: 510.333.3447 CONTACT: TOBY LONG, AIA E: TOBY@TOBYLONGDESIGN.COM		L. WADE HAMMOND 36660 NEWARK BLVD. SUITE C NEWARK, CA 94560 T: 510.579.6112 C: 510.991.8054 CONTACT: WADE HAMMOND E: WADE@WADEHAMMONDPLS.COM	MONARCH CONSULTING ARBORISTS P.O. BOX 1010 FELTON, CA 95018 T: 831.331.8982 CONTACT: RICK GESSNER E: RICK@MONARCHARBORIST.COM

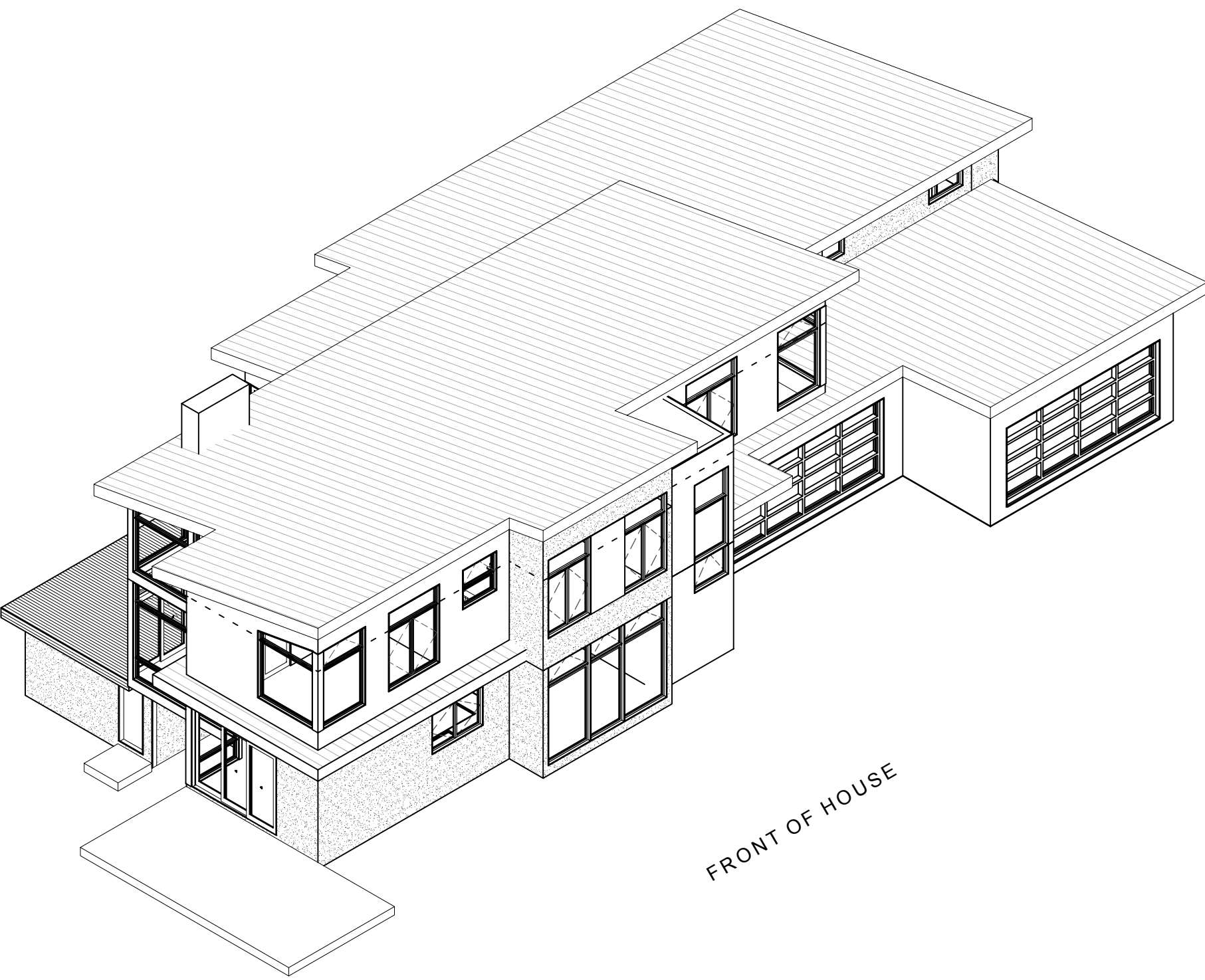
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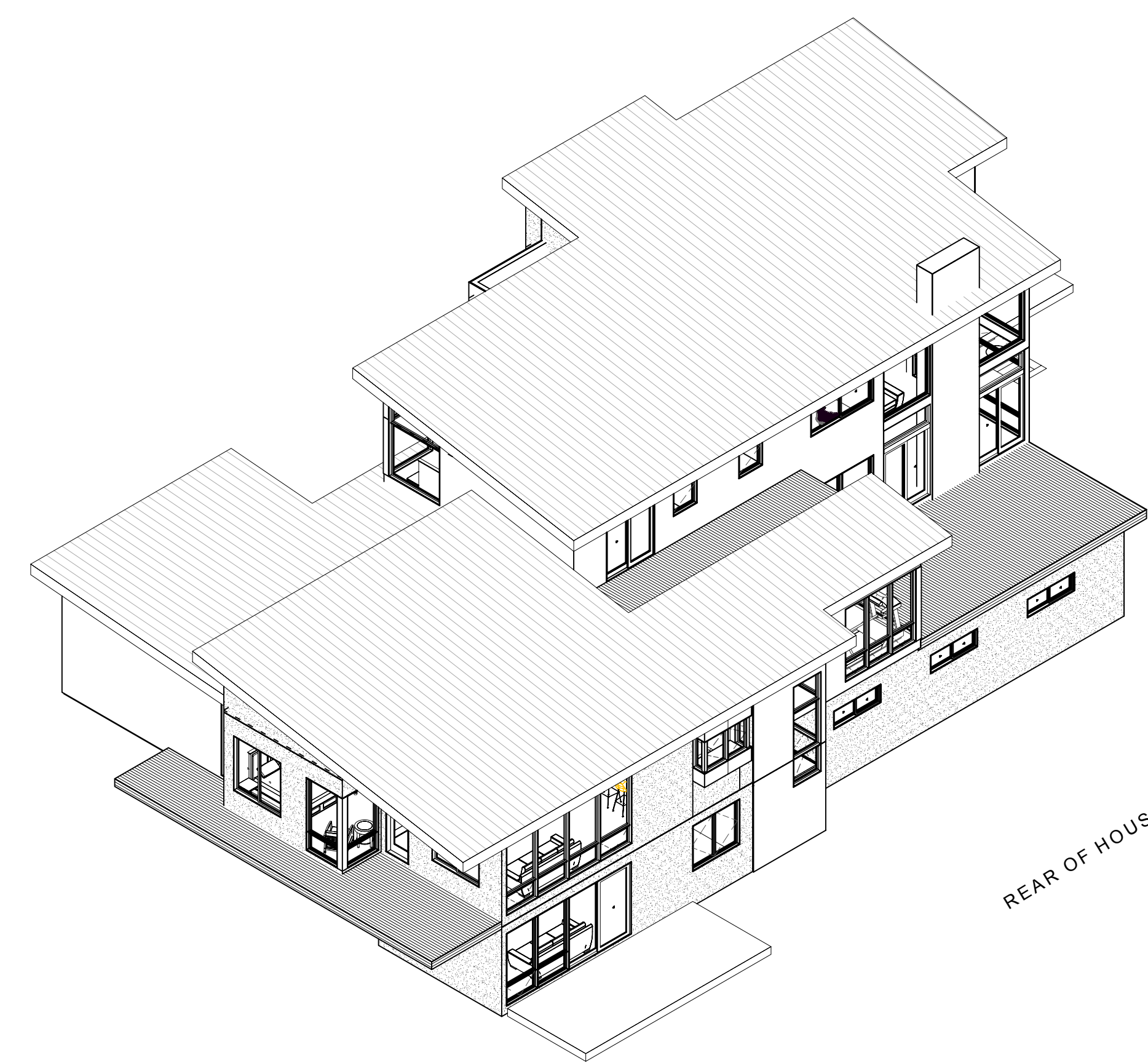
FRONT OF HOUSE

AXONOMETRIC VIEW FROM SOUTH



FRONT OF HOUSE

AXONOMETRIC VIEW FROM EAST



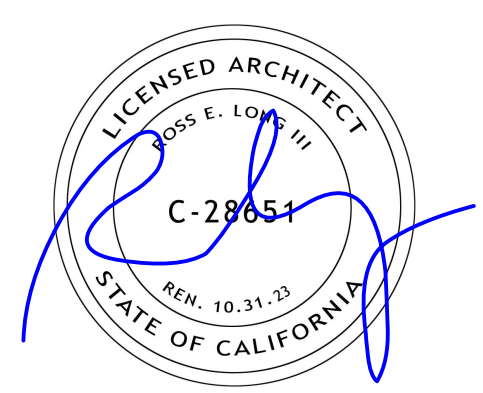
REAR OF HOUSE

AXONOMETRIC VIEW FROM NORTH



REAR OF HOUSE

AXONOMETRIC VIEW FROM NORTH



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ARCHITECT

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 APN: 057-081-170, 180, 190

**MASSING
 DIAGRAMS**

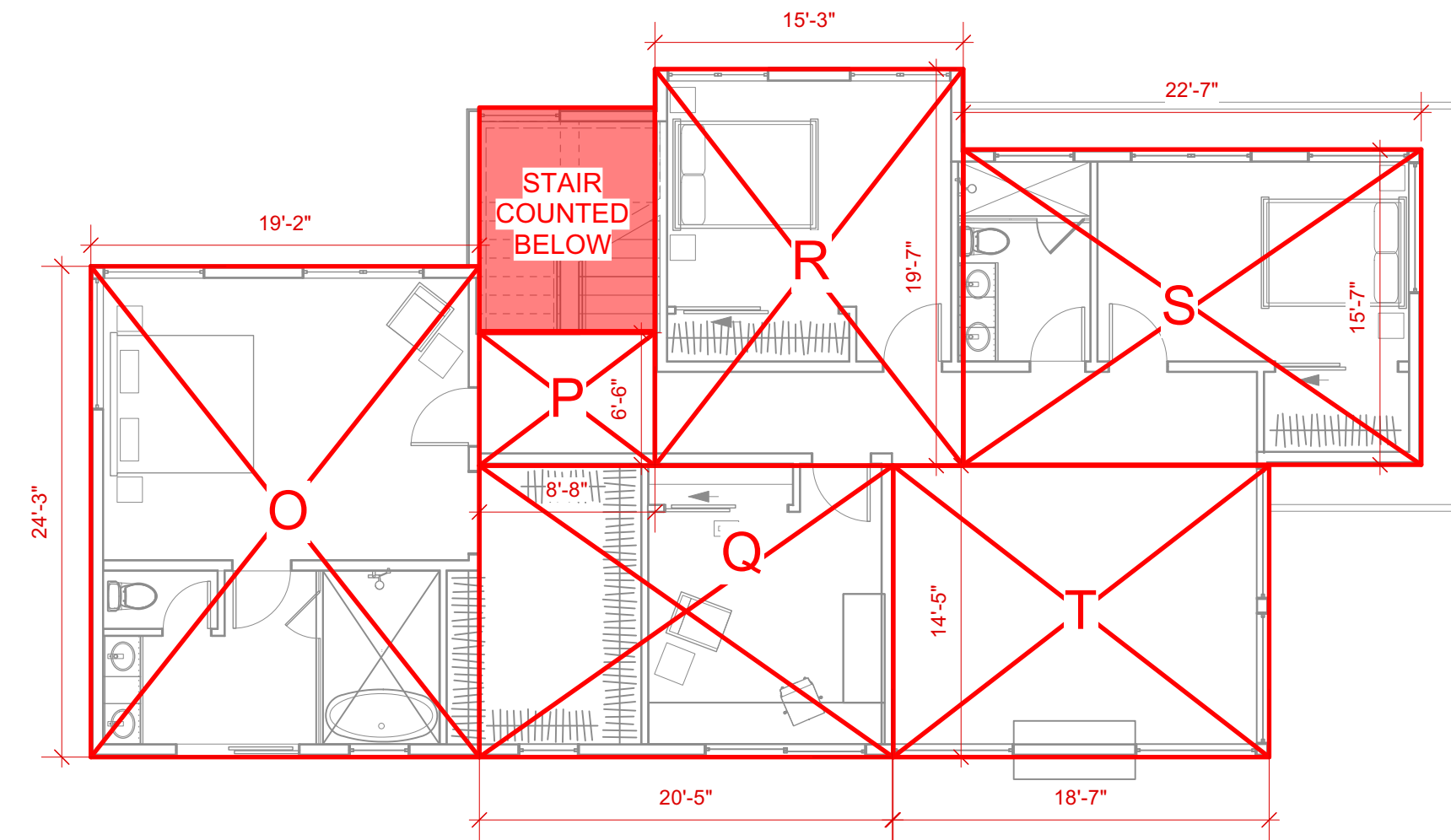
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 1/8"=1'-0"

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LEVEL 3



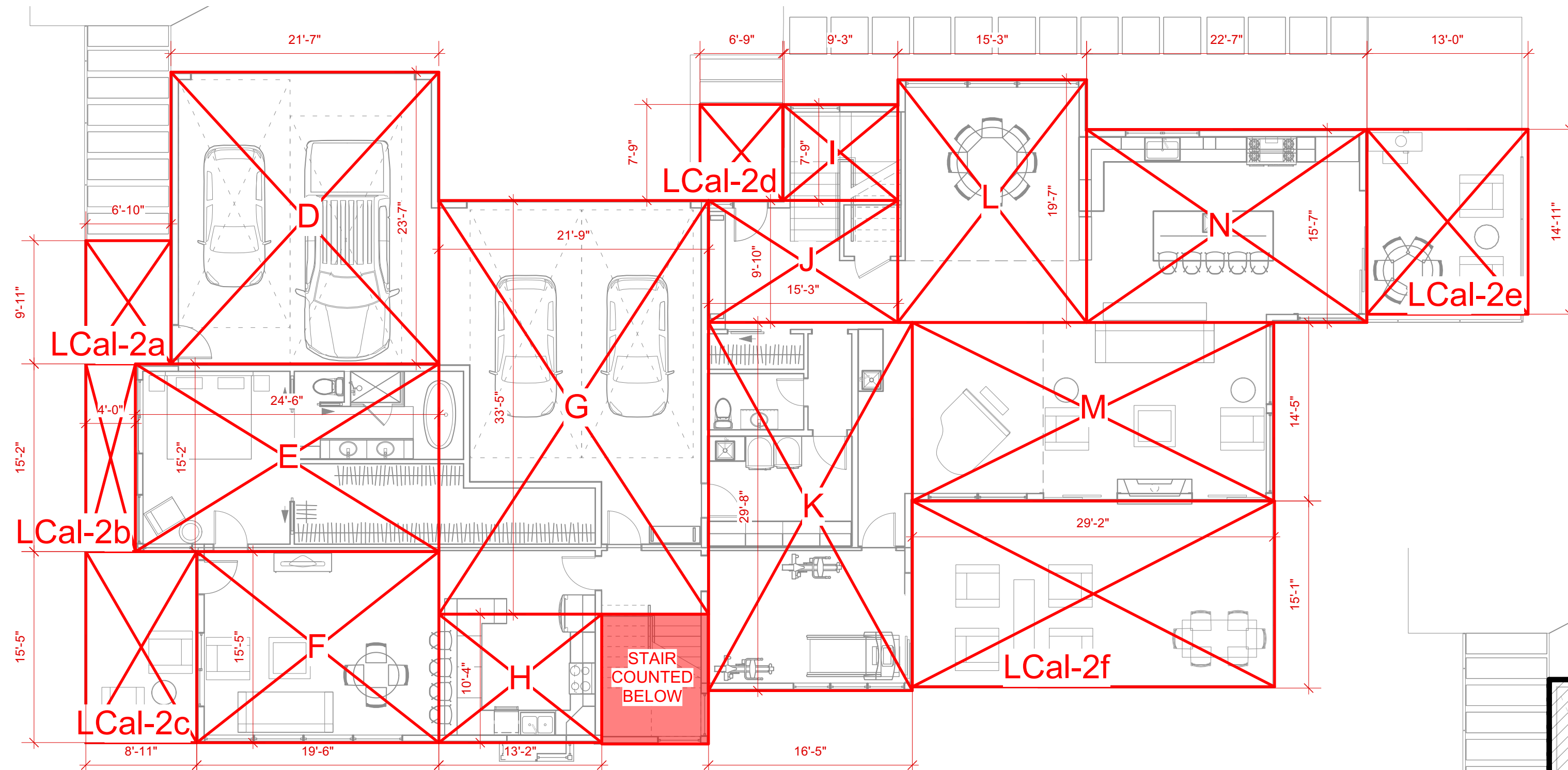
GROSS FLOOR AREA CALCULATION			
KEY	WIDTH	LENGTH	AREA (SQFT)
A	8.92	30.75	274.29
B	41.33	15.75	650.95
C	42.75	15.0	641.25
FIRST FLOOR SUBTOTAL			1566.49
D	21.58	23.58	508.86
E	24.50	15.17	371.67
F	19.50	15.42	300.69
G	21.75	33.42	726.89
H	13.17	10.33	136.05
I	9.25	7.75	71.69
J	15.25	9.83	149.91
K	16.42	29.67	487.17
L	15.25	19.58	298.60
M	29.17	14.42	420.63
N	22.58	15.58	351.80
SECOND FLOOR SUBTOTAL			3823.96
O	19.17	24.25	464.87
P	8.67	6.5	56.36
Q	20.42	14.42	294.46
R	15.25	19.58	298.60
S	22.58	15.58	351.80
T	18.58	14.42	267.92
THIRD FLOOR SUBTOTAL			1734.01
TOTAL			7,124.46 SQFT

BUILDING SITE COVERAGE CALCULATION			
KEY	WIDTH	LENGTH	AREA (SQFT)
L-Cal-1a	25.67	10.0	256.70
L-Cal-2a	6.83	9.92	67.75
L-Cal-2b	4.00	15.17	60.68
L-Cal-2c	8.92	15.42	137.55
L-Cal-2d	6.75	7.75	52.31
L-Cal-2e	13.0	14.92	193.96
L-Cal-2f	29.17	15.08	439.88
SUBTOTAL			1208.83
SECOND FLOOR SUBTOTAL			3823.96
TOTAL			5,032.79 SQFT

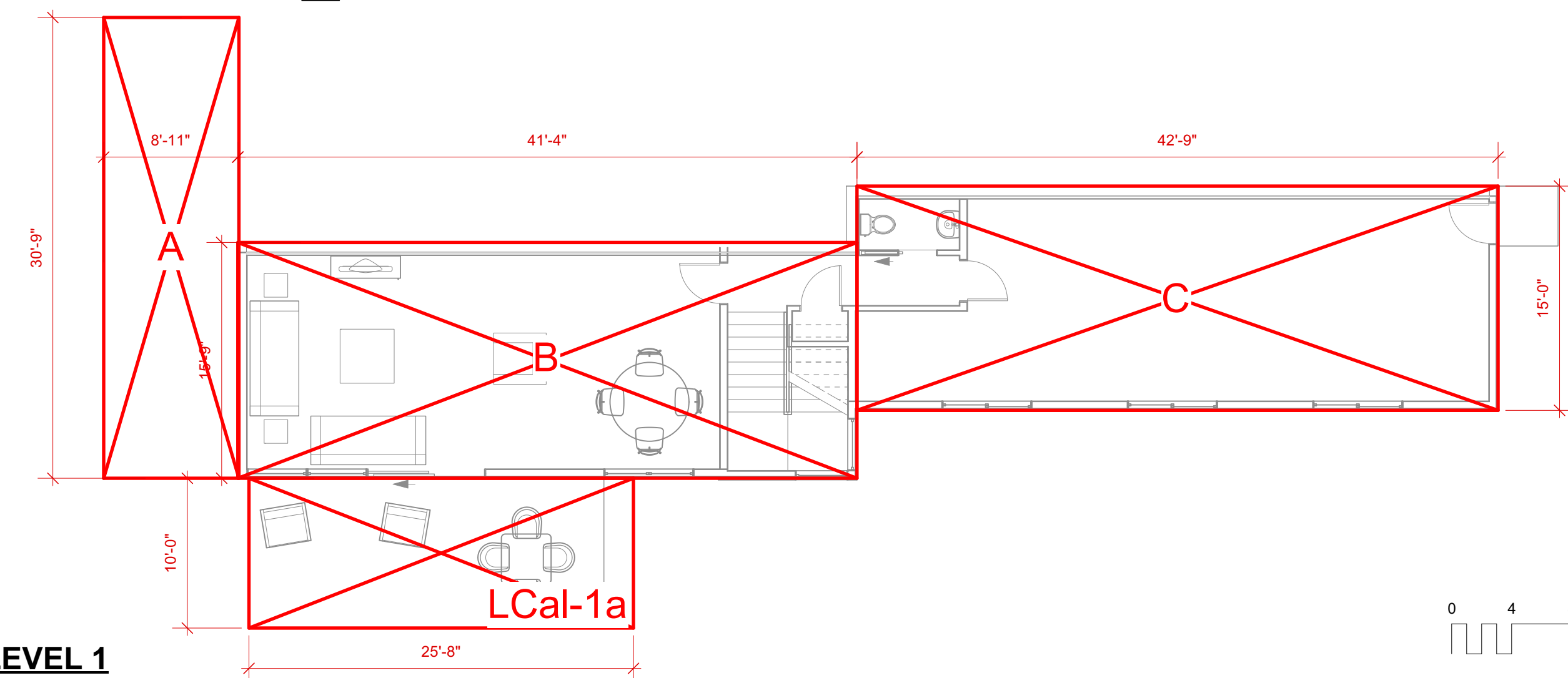
SITE COVERAGE MAXIMUM
= 25% (23,096) = 5,774 SQFT
PROJECT COMPLIES

FLOOR AREA MAXIMUM
0.3 (23,096) + 800 (ADU) =
7,729 SQFT
PROJECT COMPLIES

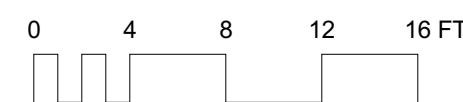
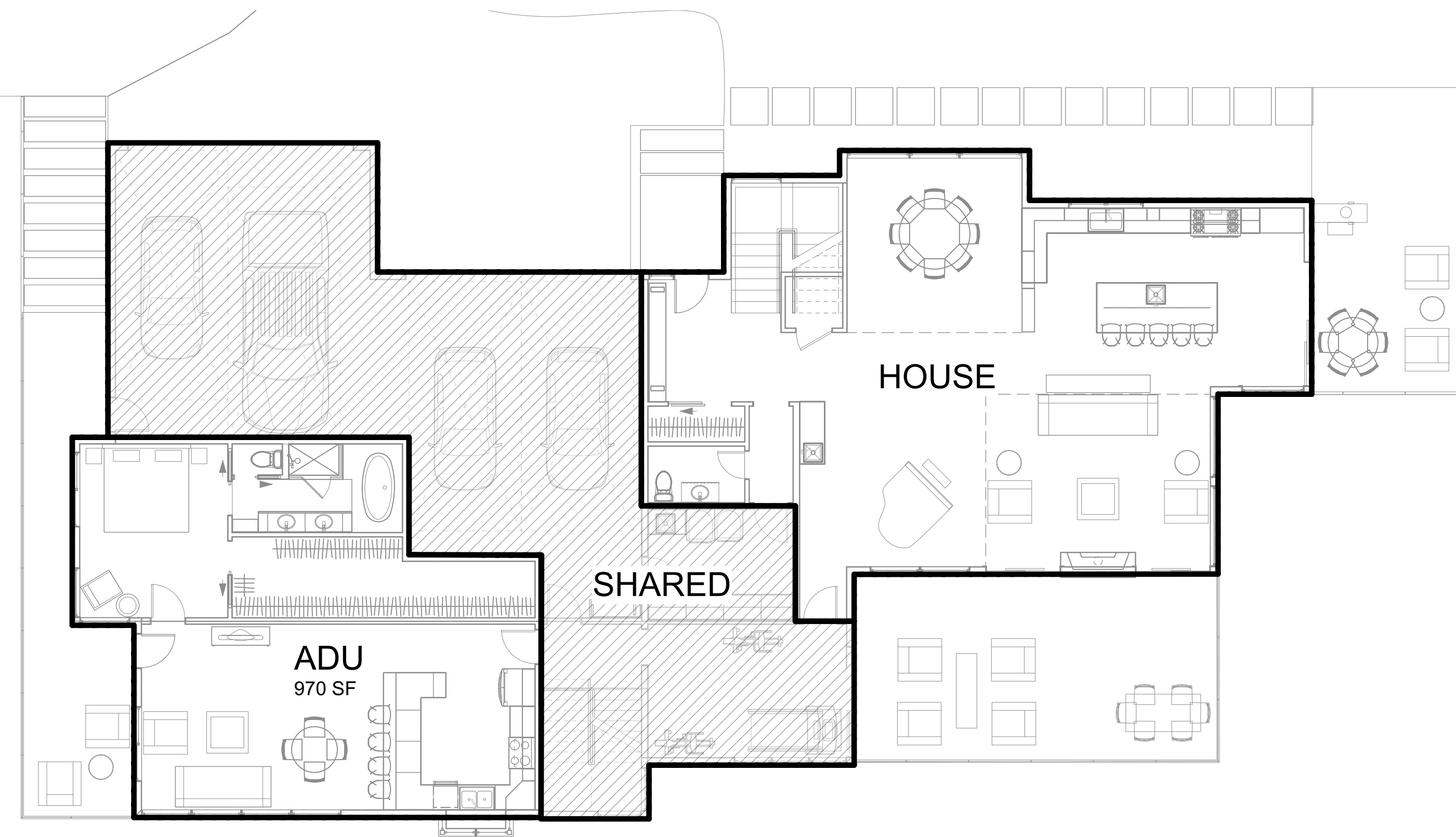
LEVEL 2



LEVEL 1



LEVEL 2



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AREA CALCULATIONS

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FIRE ACCESS

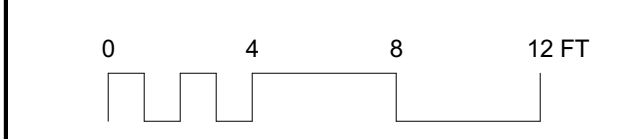
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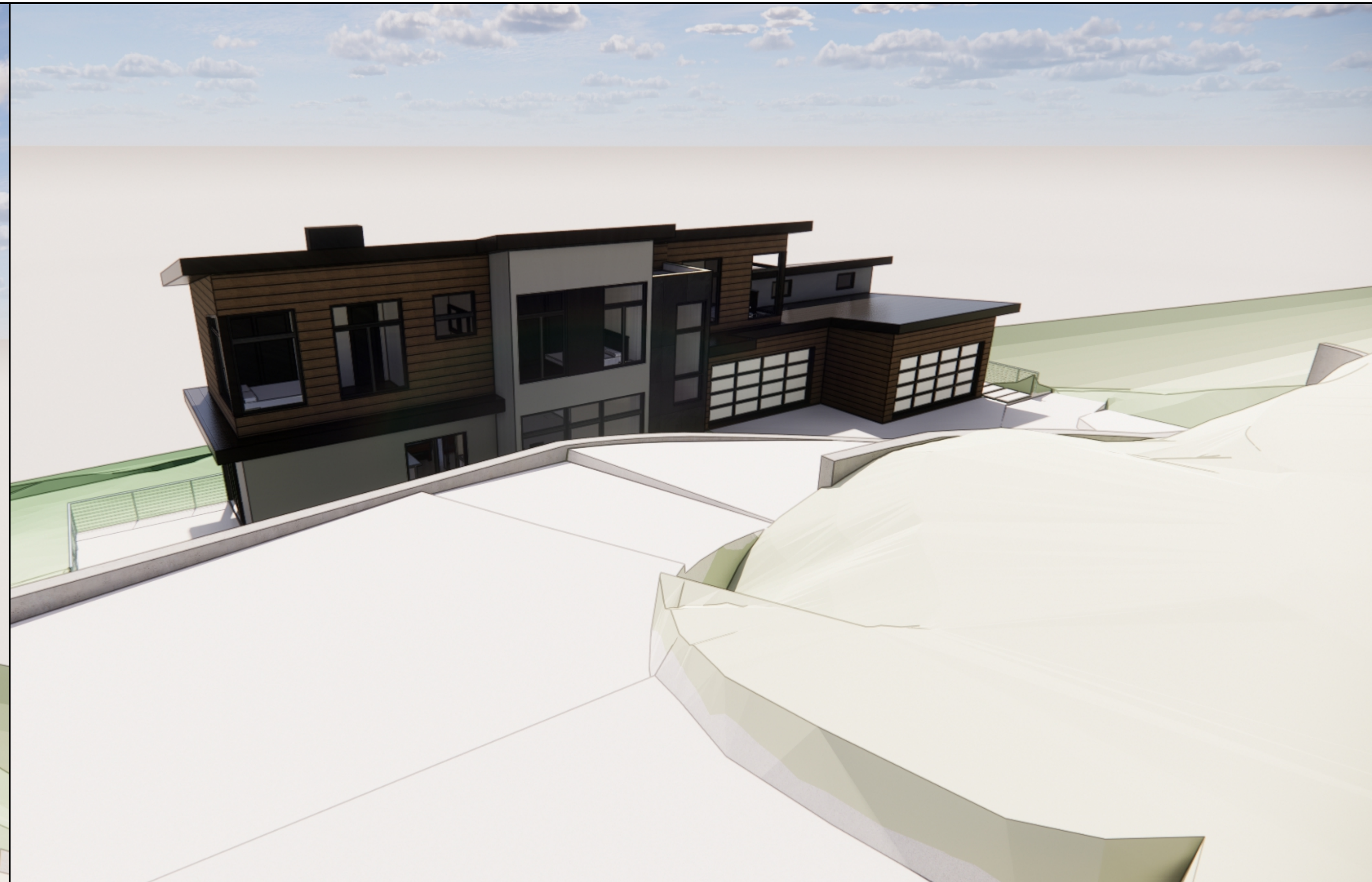
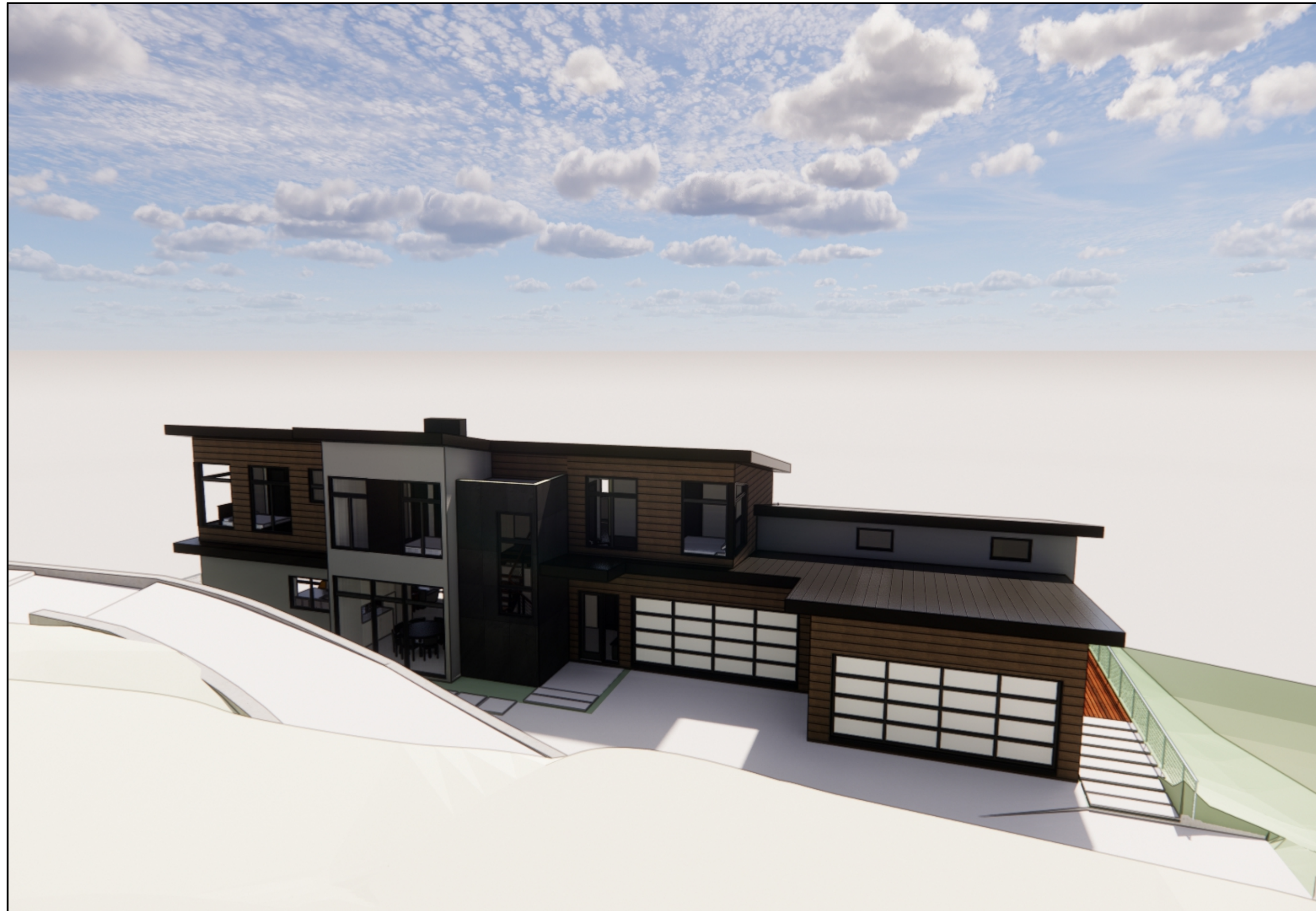
scale

sheet

A 0.8

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1 DRIVEWAY VIEW

2 STREET VIEW



3 REAR

4 SIDE VIEW



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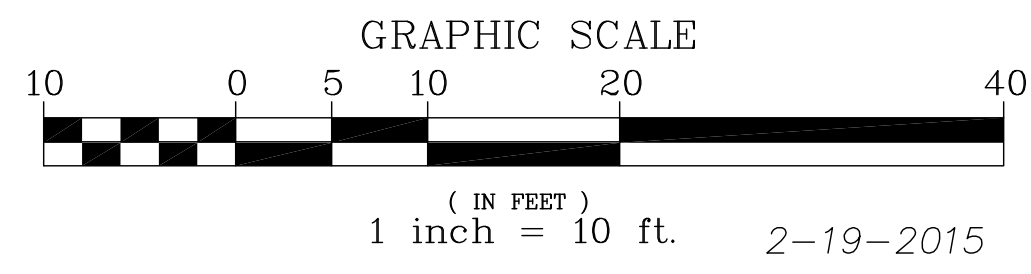
RENDERINGS

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A 0.9

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ABBREVIATIONS

AC ASPHALT
 CONC. CONCRETE
 FL FLOW LINE
 SDMH STORM DRAIN MANHOLE
 SSMH SANITARY SEWER MANHOLE
 P.U.E PUBLIC UTILITY EASEMENT

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BOUNDARY CONTROL: SEE CONCURRENT CORNER RECORD.
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL TO THE PROPERTY LINES.
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 BENCHMARK: ASSUMED DATUM, APPROXIMATE NAVD88 (GOOGLE EARTH)
 TITLE REPORT: OLD REPUBLIC 0377013996-ML 6-6-2014

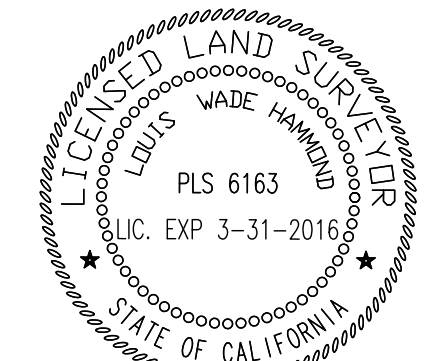
LEGEND

- SET 3/4" IP "PLS 6163" (OR SET POINT AS NOTED)
- FOUND POINT AS NOTED
- ⊠ WATER METER OR WATER VALVE BOX
- |—|—| EDGE OF AC PAVING
- ⊠ FIRE HYDRANT
- ⊙ 16 PINE
- ⊙ TREE - TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN. TREE = DECIDUOUS UNLESS NOTED OTHERWISE
- ⊠ WATER VALVE
- x—x— FENCE
- o—o— OVERHEAD WIRES
- ⊙ PP POWER POLE
- + 12.34 SPOT ELEVATION
- |—| POLE ANCHOR
- |—| TRUNK ↑ TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
- BRK — BRK — BRK GRADE BREAK
- TOP — TOP — TOP TOP OR TOE OF SLOPE
- TOE — TOE — TOE — TOE — TOE — TOE —
- X TREE TO BE REMOVED



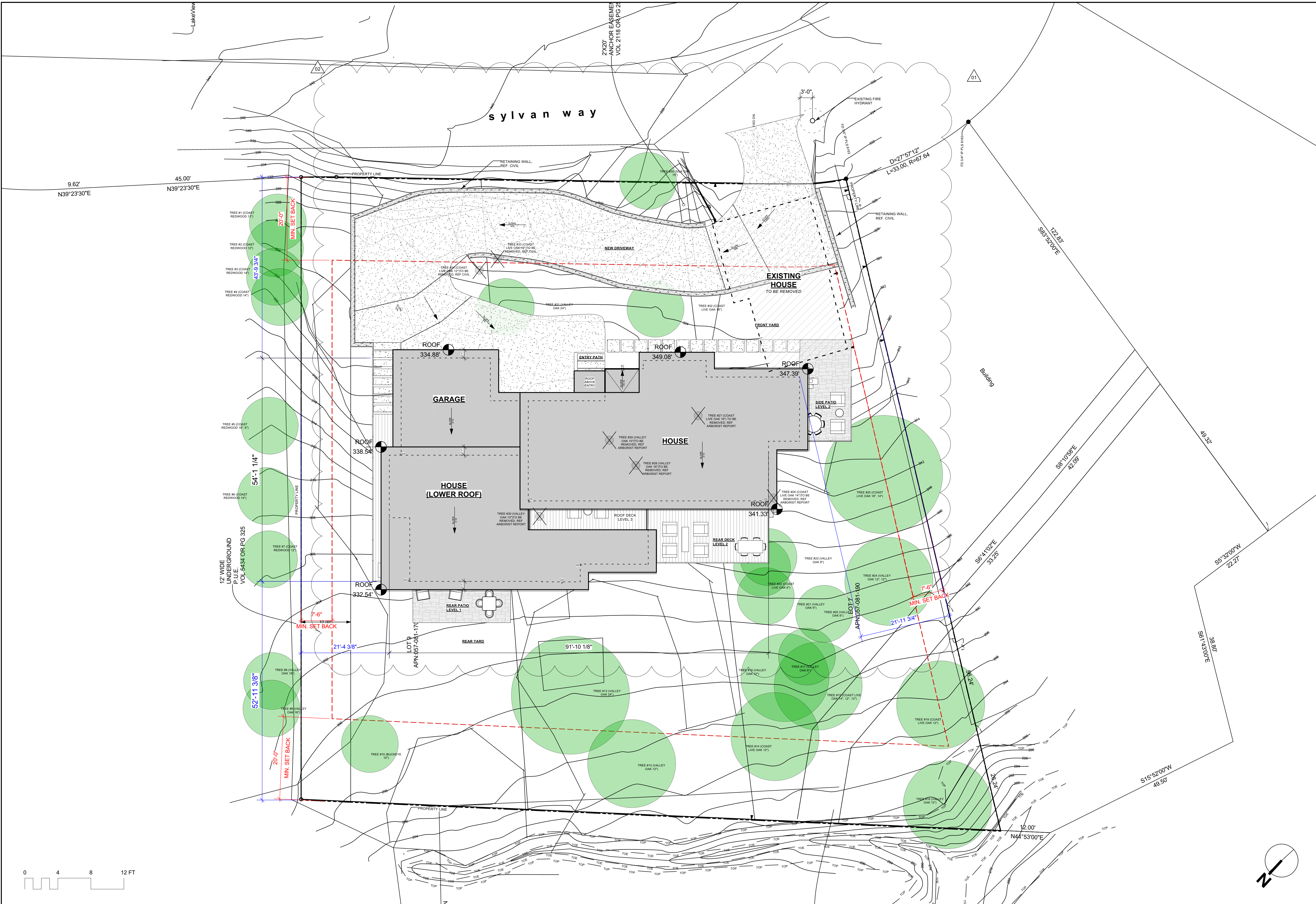
SURVEY

264 SYLVAN WAY
 EMERALD HILLS
 APN: 057-081-170, 057-081-180, 057-081-190
 LOTS 7, 8, & 9, BLOCK 206, 12 MAPS 59
 GROSS LOT AREA: 23,095 SQ. FT



L. Wade Hammond

L. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@wadehammondpls.com



ISSUE	DATE
FA DRAWINGS v1	041222
PLANNING SUBMITTAL v1	053122
PLANNING SUBMITTAL v2	101422
PLANNING SUBMITTAL v3	010923

ARCHITECT

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APPROVAL STAMP

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94062
APN: 057-081-170, 180, 190

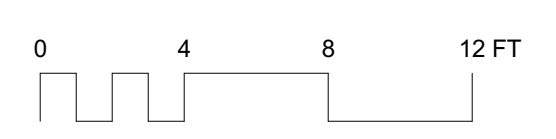
SITE PLAN

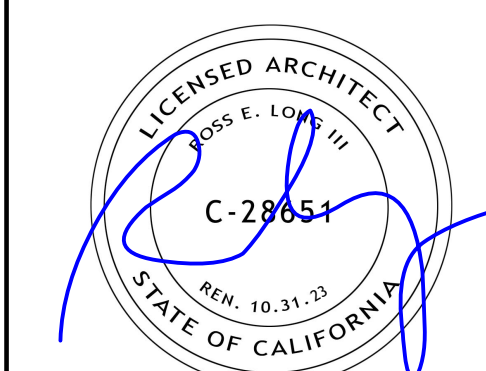
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scale
3/32" = 1'-0"

sheet
A 1.2

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3/32"=1'-0"



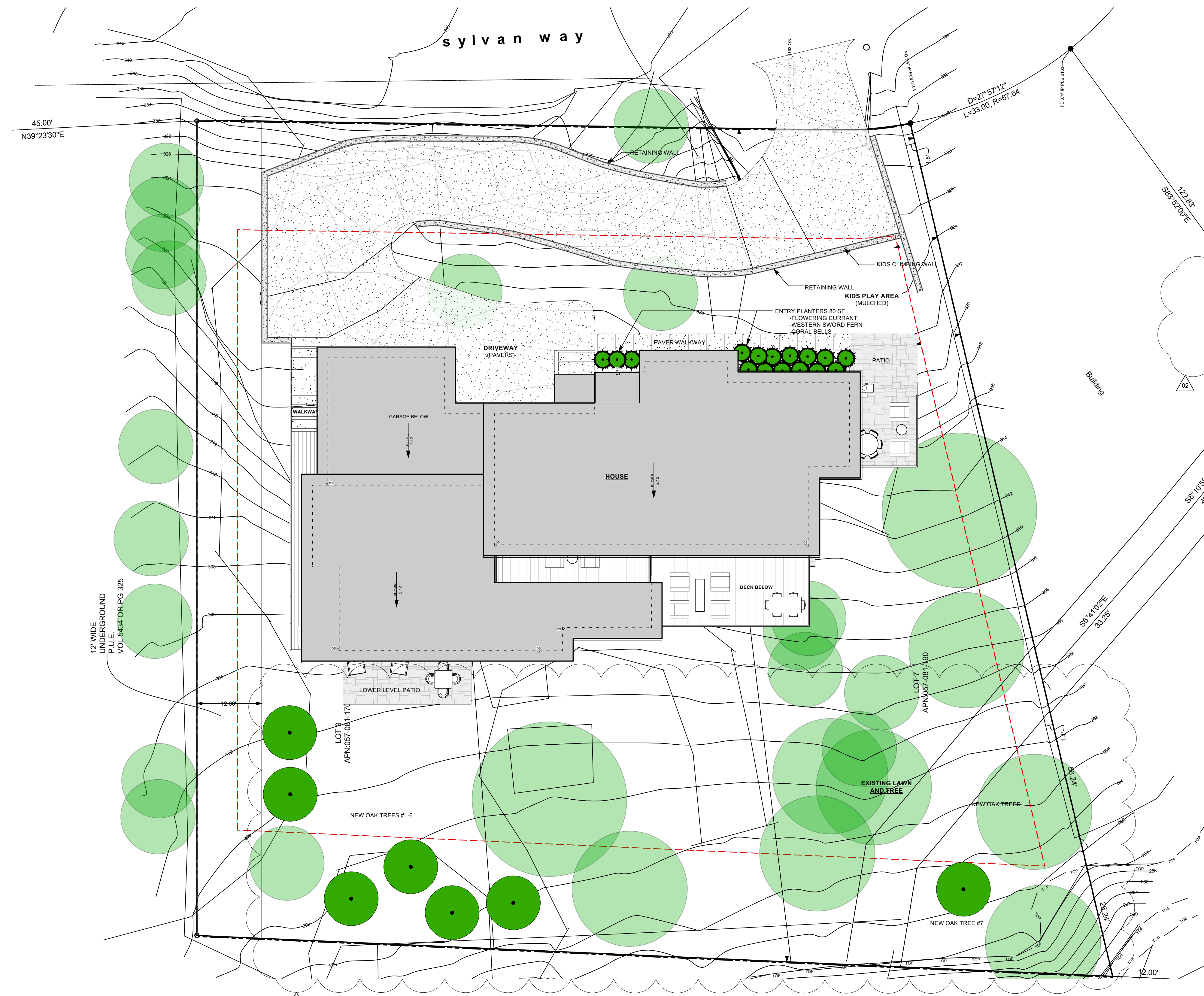


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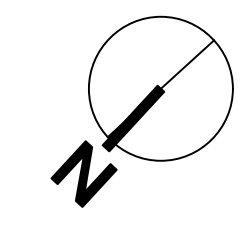
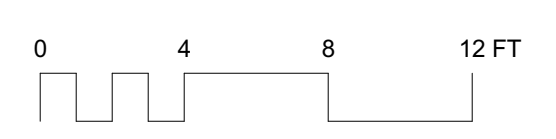
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- NOTES**
1. A MINIMUM OF 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
 2. TURF SHALL NOT EXCEED 25% OF THE LANDSCAPED AREA IN RESIDENTIAL AREAS.
 3. TURF NOT PERMITTED ON SLOPES GREATER THAN 25%.
 4. TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE.
 5. AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
 6. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
 7. MANUAL SHUT OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
 8. AREAS LESS THAN 10 FEET WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERTSPRAY.
 9. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, A CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
 10. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

- PLANT LIST**
- (4) QUERCUS AGRI-FOLIA COAST LIVE OAK
15 GALLON TREE
TREE, CALIFORNIA NATIVE
WUCOLS FACTOR: <10
USDA HARDINESS ZONE: 9B
 - (3) QUERCUS IOBATA VALLEY OAK
15 GALLON TREE
TREE, CALIFORNIA NATIVE
WUCOLS FACTOR: 0.20
USDA HARDINESS ZONE: 9B
 - (6) RIBES INDECORUM WHITE FLOWERING CURRANT
SHRUB, CALIFORNIA NATIVE
WUCOLS FACTOR: 0.2
USDA HARDINESS ZONE: 9B
 - (8) POLYSTICHUM MUNITUM WESTERN SWORD FERN
PERENNIAL, CALIFORNIA NATIVE
WUCOLS FACTOR: 0.5
USDA HARDINESS ZONE: 9B
 - (6) HEUCHERA HYBRIDS AND CVS. CORAL BELLS CULTIVARS
PERENNIAL, CALIFORNIA NATIVE, ARBORETUM ALL-STAR
WUCOLS FACTOR: 0.5
USDA HARDINESS ZONE: 9B
 - 7 TREES TOTAL REMOVED
7 15 GALLON NEW TREES TO REPLACE
SEE ARBORIST LETTER



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LANDSCAPE PLAN

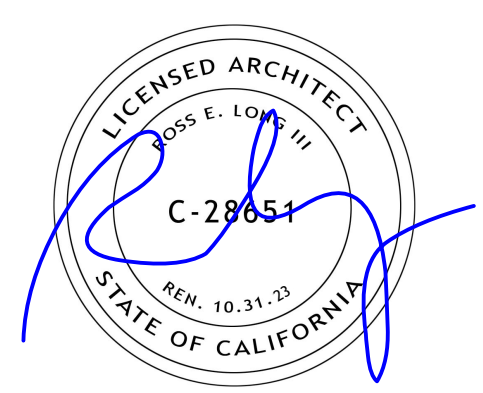
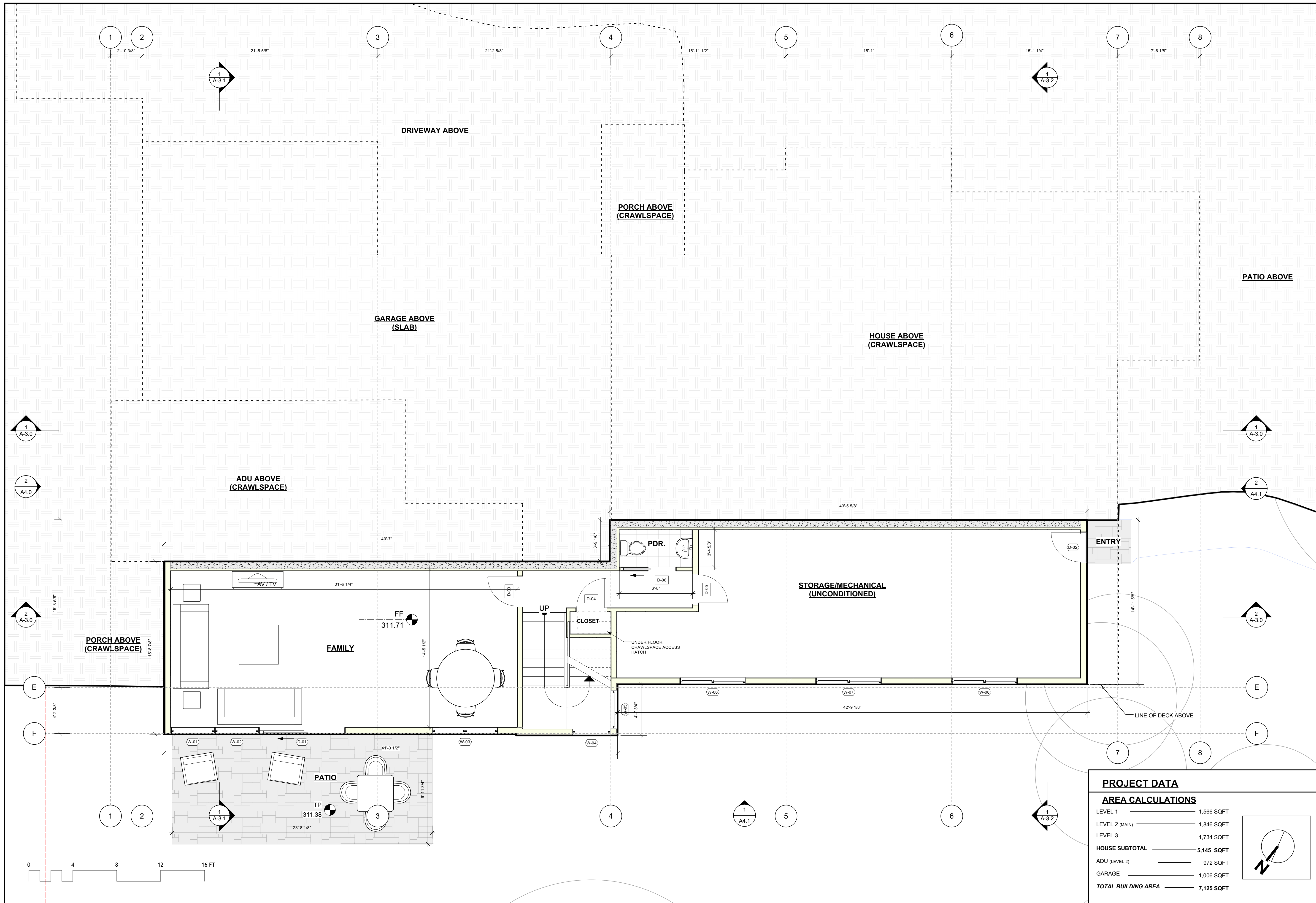
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scale
3/16" = 1'-0"

sheet
A 1.3

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3/16"=1'-0"



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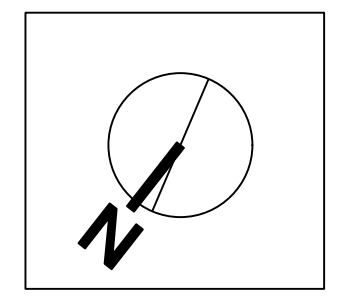
LEVEL 1 PLAN

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PROJECT DATA

AREA CALCULATIONS

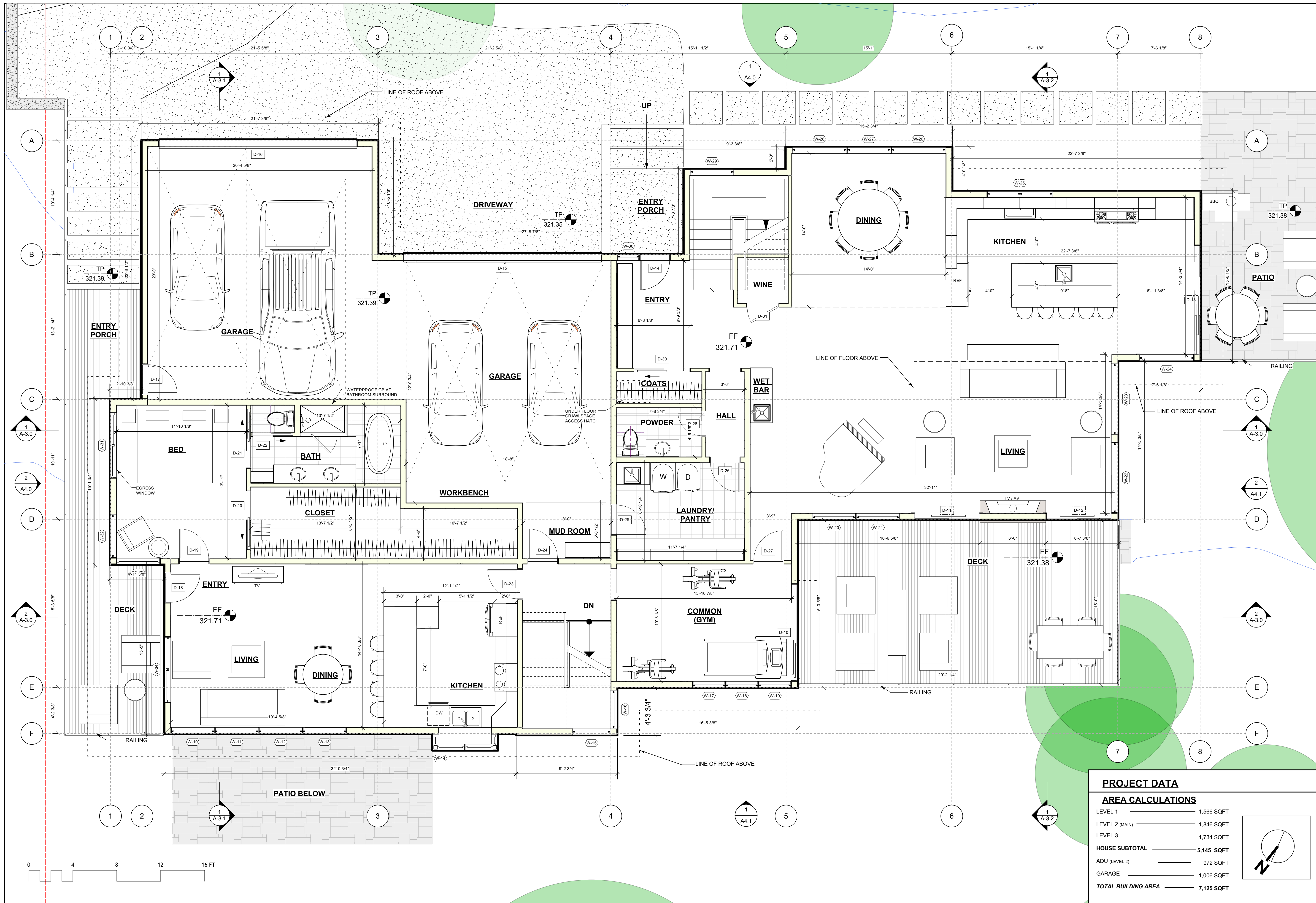
LEVEL 1	1,566 SQFT
LEVEL 2 (MAIN)	1,846 SQFT
LEVEL 3	1,734 SQFT
HOUSE SUBTOTAL	5,146 SQFT
ADU (LEVEL 2)	972 SQFT
GARAGE	1,006 SQFT
TOTAL BUILDING AREA	7,125 SQFT



scale
1/4"=1'-0"

sheet
A 2.1

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LEVEL 2 PLAN

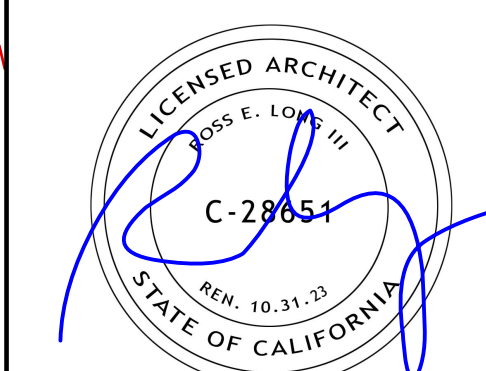
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PROJECT DATA	
AREA CALCULATIONS	
LEVEL 1	1,566 SQFT
LEVEL 2 (MAIN)	1,846 SQFT
LEVEL 3	1,734 SQFT
HOUSE SUBTOTAL	5,145 SQFT
ADU (LEVEL 2)	972 SQFT
GARAGE	1,006 SQFT
TOTAL BUILDING AREA	7,125 SQFT

scale
 1/4"=1'-0"

sheet
A 2.2

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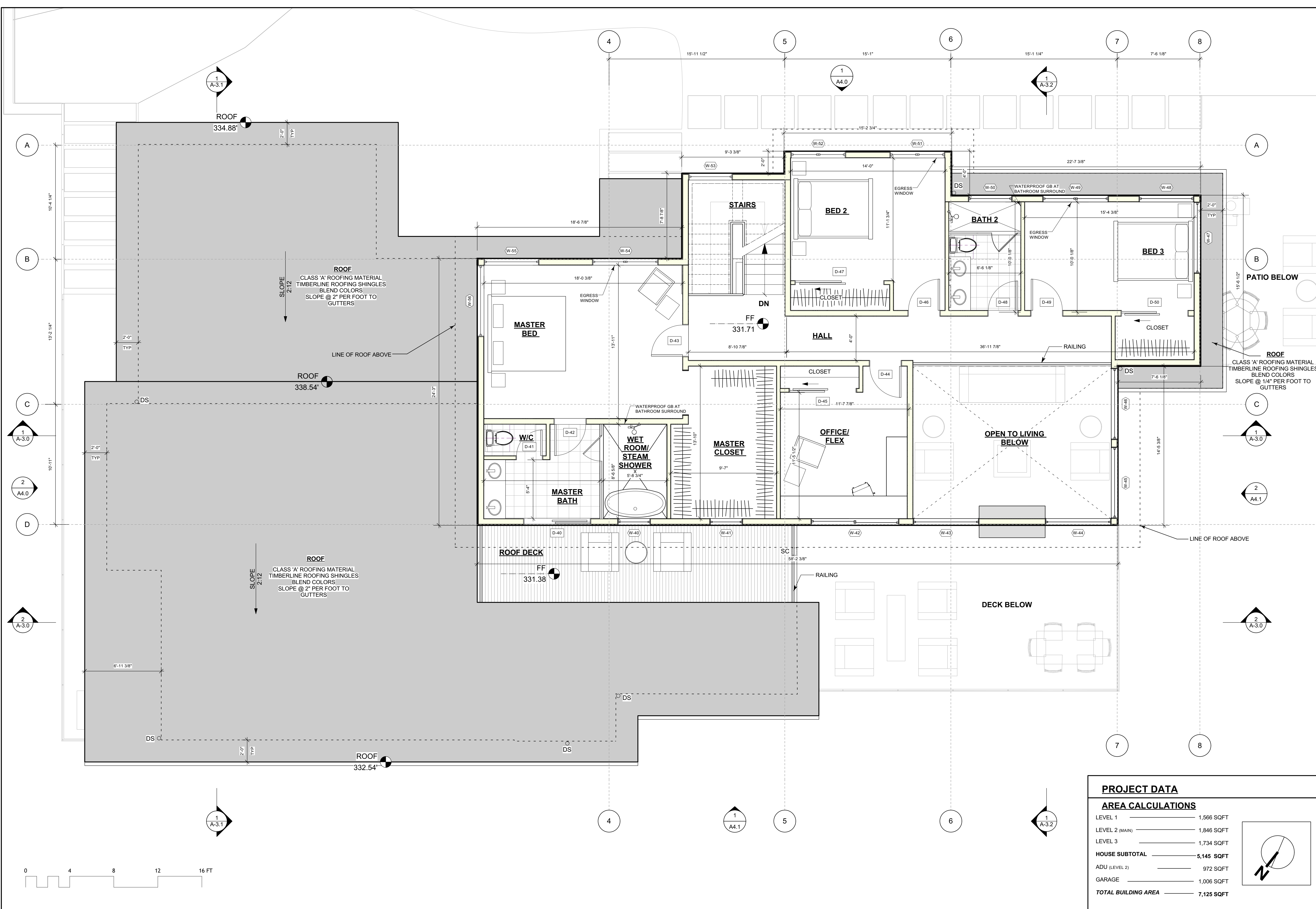


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LEVEL 3 PLAN

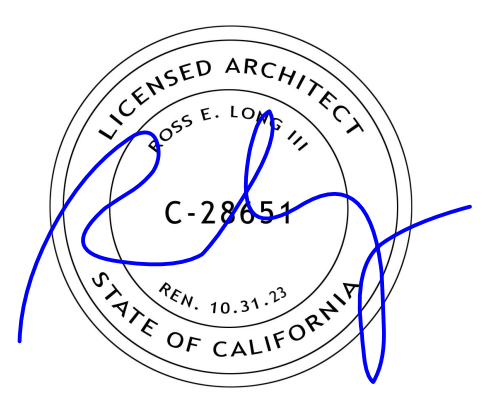
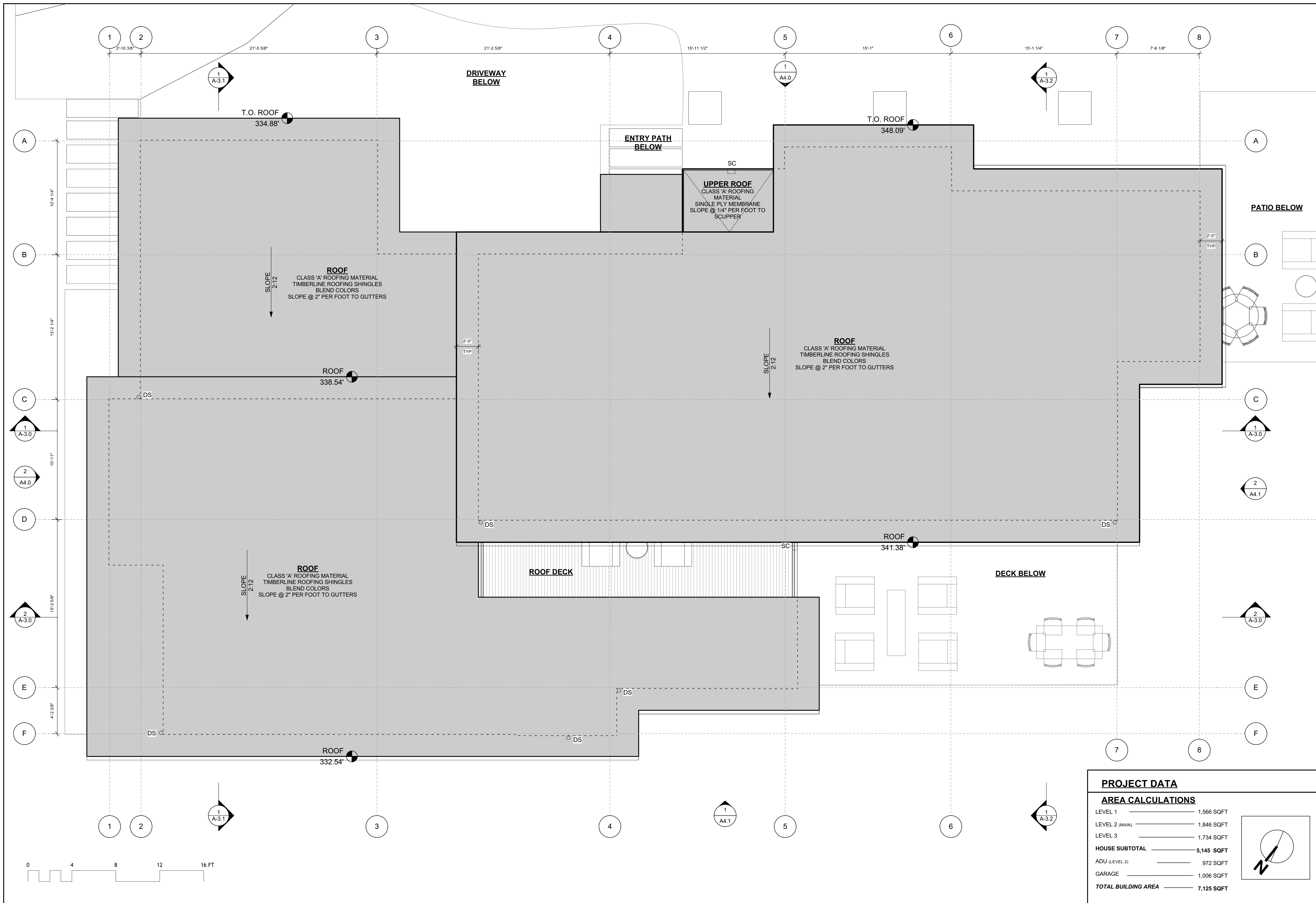
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PROJECT DATA	
AREA CALCULATIONS	
LEVEL 1	1,566 SQFT
LEVEL 2 (MAIN)	1,846 SQFT
LEVEL 3	1,734 SQFT
HOUSE SUBTOTAL	5,145 SQFT
ADU (LEVEL 2)	972 SQFT
GARAGE	1,006 SQFT
TOTAL BUILDING AREA	7,125 SQFT

scale
1/4"=1'-0"

sheet
A 2.3

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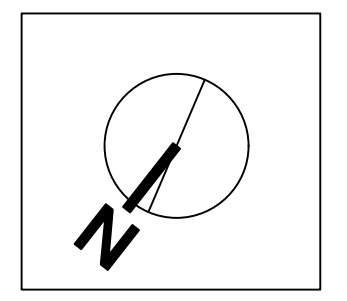
APPROVAL STAMP

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ROOF PLAN

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PROJECT DATA	
AREA CALCULATIONS	
LEVEL 1	1,566 SQFT
LEVEL 2 (MAIN)	1,846 SQFT
LEVEL 3	1,734 SQFT
HOUSE SUBTOTAL	5,145 SQFT
ADU (LEVEL 2)	972 SQFT
GARAGE	1,006 SQFT
TOTAL BUILDING AREA	7,125 SQFT



scale
1/4"=1'-0"

sheet
A 2.4

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MECHANICAL / ELECTRICAL / LIGHTING NOTES

1. IN EVERY HABITABLE ROOM AN ELECTRICAL OUTLET SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE ON ANY WALL SPACE IS MORE THAN SIX FEET MEASURED HORIZONTALLY FROM ANY OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE TWO FEET OR MORE IN WIDTH, THE WALL SPACE OCCUPIED BY PANELS IN EXTERIOR WALLS, AND FIXED ROOM DIVIDERS AS REQUIRED BY THE CALIFORNIA ELECTRICAL CODE (CEC) ARTICLE 210.52 (A) (1) (2) & (3).
2. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, STAIRWAY, AND ATTACHED GARAGE OR DETACHED GARAGE WITH POWER AND AT OUTDOOR ENTRANCES / EXITS AS REQUIRED BY CEC ARTICLE 210.70 (A) (1) & (2).
3. ALL GENERAL-PURPOSE RECEPTACLES MOUNTED AT 12" FROM FLOOR UNLESS OTHERWISE NOTED.
4. BRANCH CIRCUIT, FEEDER AND SERVICE CALCULATIONS SHALL BE PER CEC ARTICLE 220.
5. EACH MULTI-WIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES PER CEC ARTICLE 210.4(B) & (D).
6. IN ALL AREAS SPECIFIED IN 210.52 EVERY 125-VOLT, 15 AND 20-AMP RECEPTACLE SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES PER CEC ARTICLE 406.11.
7. ADDITIONAL CIRCUITS ARE REQUIRED FOR THE FURNACE, GARBAGE DISPOSAL, RANGE, OVEN AND DISHWASHER PER CEC ARTICLE 210.52.
8. SMALL APPLIANCE BRANCH CIRCUITS SHALL BE RATED AT 1500 VA EACH PER CEC ARTICLE 220.52(A).
9. ALL 120-VOLT, 15 AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, PARLORS, LIBRARIES OR OTHER SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE DEVICE AS REQUIRED BY CEC ARTICLE 210.12(B).
10. ALL RECEPTACLE OUTLETS SERVING COUNTERTOPS IN KITCHENS OF DWELLING UNITS TO BE GFCI PROTECTED PER CEC ARTICLE 210.8(A) (6).

11. A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12 INCHES OR WIDER. RECEPTACLE OUTLET SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24 INCHES, MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THE SPACE PER CEC ARTICLE 210.52(C) (1).
12. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER AS REQUIRED BY CEC ARTICLE 210.52(C) (3).
13. COUNTER SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER SPACES AND SHALL MEET THE REQUIREMENTS PER CEC ARTICLE 210.52(C) (1) (2) (3).
14. COUNTERTOP RECEPTACLE OUTLET LOCATIONS SHALL BE LOCATED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE UP POSITION IN WORK SURFACES OR COUNTERTOPS. RECEPTACLE OUTLETS RENDERED NOT READILY ACCESSIBLE BY APPLIANCES FASTENED IN PLACE OR APPLIANCES OCCUPYING DEDICATED SPACE SHALL NOT BE CONSIDERED AS THESE OUTLETS. THESE RECEPTACLES SHALL BE INSTALLED AS REQUIRED PER CEC ARTICLE 210.52 (B) (5).
15. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH BATHROOM WITHIN 3'-0" FROM BASIN. AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. BATHROOM OUTLETS SHALL HAVE GFCI PROTECTION AS REQUIRED BY CEC ARTICLE 210.52 (D) 210.11 (C) (3) AND 210.8 (A) (1).
16. NO PART OF A HANGING FIXTURE IS ALLOWED CLOSER THAN 8 FEET ABOVE THE TUB RIM OR 3 FEET HORIZONTALLY FROM THE TUB RIM PER ARTICLE 410.4 (D). UNLESS LIGHT FIXTURES IN SHOWER ENCLOSURE ARE LABELED "SUITABLE FOR WET LOCATIONS" AT LEAST ONE OUTLET ON A SEPARATE 20-AMP CIRCUIT SHALL BE PROVIDED IN THE LAUNDRY AREA AND SHALL BE WITHIN SIX FEET OF THE INTENDED LOCATION OF THE APPLIANCE AS REQUIRED BY CEC ARTICLE 210.52 (F) AND 210.11 (C) (2).
17. ALL 125 VOLT, SINGLE PHASE 15 AND 20-AMPERE RECEPTACLES INSTALLED WITHIN 6 FEET OF LAUNDRY, UTILITY OR WET BAR SHALL BE GROUND FAULT CIRCUIT INTERRUPTED AS REQUIRED BY CEC ARTICLE 210.8 (A) (7).

18. VERIFY ALL APPLIANCE ELECTRICAL REQUIREMENTS WITH MANUFACTURER SPECS.
19. REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFO.
20. ALIGN ALL LIGHTING SWITCH BOX LOCATIONS WITH RECEPTACLE OUTLET LOCATION BELOW WHERE POSSIBLE.
21. ALL EXTERIOR LIGHTS SHALL BE CONTROLLED BY A MANUAL ON/OFF SWITCH, A MOTION SENSOR, AND A PHOTOCONTROL NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE PHOTOCONTROL, OR AN ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE ASTRONOMICAL TIME CLOCK.
22. MIN. 220 AMP APPLIANCE CIRCUIT IS REQUIRED IN THE KITCHEN, DINNING, PANTRY. NOT TO BE USED FOR DIRECTLY WIRED APPLIANCES AND NOT TO BE USED FOR ANY OTHER OUTLETS.
23. ALL SMOKE AND SMOKE/CO ALARMS TO BE HARD WIRED AND INTERCONNECTED SO THAT IF ONE ALARM IS ACTIVATED, ALL OTHER ALARMS WILL ACTIVATE.

LEGEND

- DUPLEX RECEPTACLE
- FOURPLEX RECEPTACLE
- WATERPROOF RECEPTACLE
- SWITCHED OUTLET
- GROUND FAULT CIRCUIT INTERRUPTER
- DEDICATED OUTLET
- FLOOR OUTLET
- CEILING OUTLET
- EXHAUST FAN AND HUMIDISTAT
- PENDANT 100 W
- SURFACE MOUNTED FIXTURE
- RECESSED LIGHT
- RECESSED LIGHT -LED FIXTURE
- RECESSED DIRECTIONAL DOWNRIGHT (32W)
- WALL MOUNTED SCONCE
- FLUORESCENT TUBE (2) T5 UNITS @ 54W
- GAS LINE
- GARBAGE DISPOSAL
- HOSE BIB
- DATA PORT/WALL TELEPHONE OUTLET
- GARAGE DOOR DATA PAD
- CABLE / TELEVISION
- SPEAKER LOCATION
- AV CONTROL PAD
- SINGLE POLE SWITCH
- DIMMER SWITCH
- THREE WAY SWITCH
- VACANCY SENSOR
- WEATHER PROOF SURFACE MOUNTED FIXTURE
- WEATHER PROOF RECESSED DOWNLIGHT
- WEATHER PROOF WALL MOUNTED LIGHT
- GARAGE DOOR OPENER W/ LIGHT
- MOTION ACTIVATED EXT. W/ FLOOD LIGHT W/ PHOTOCELL
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- THERMOSTAT
- EXTERIOR DOWNLIGHT



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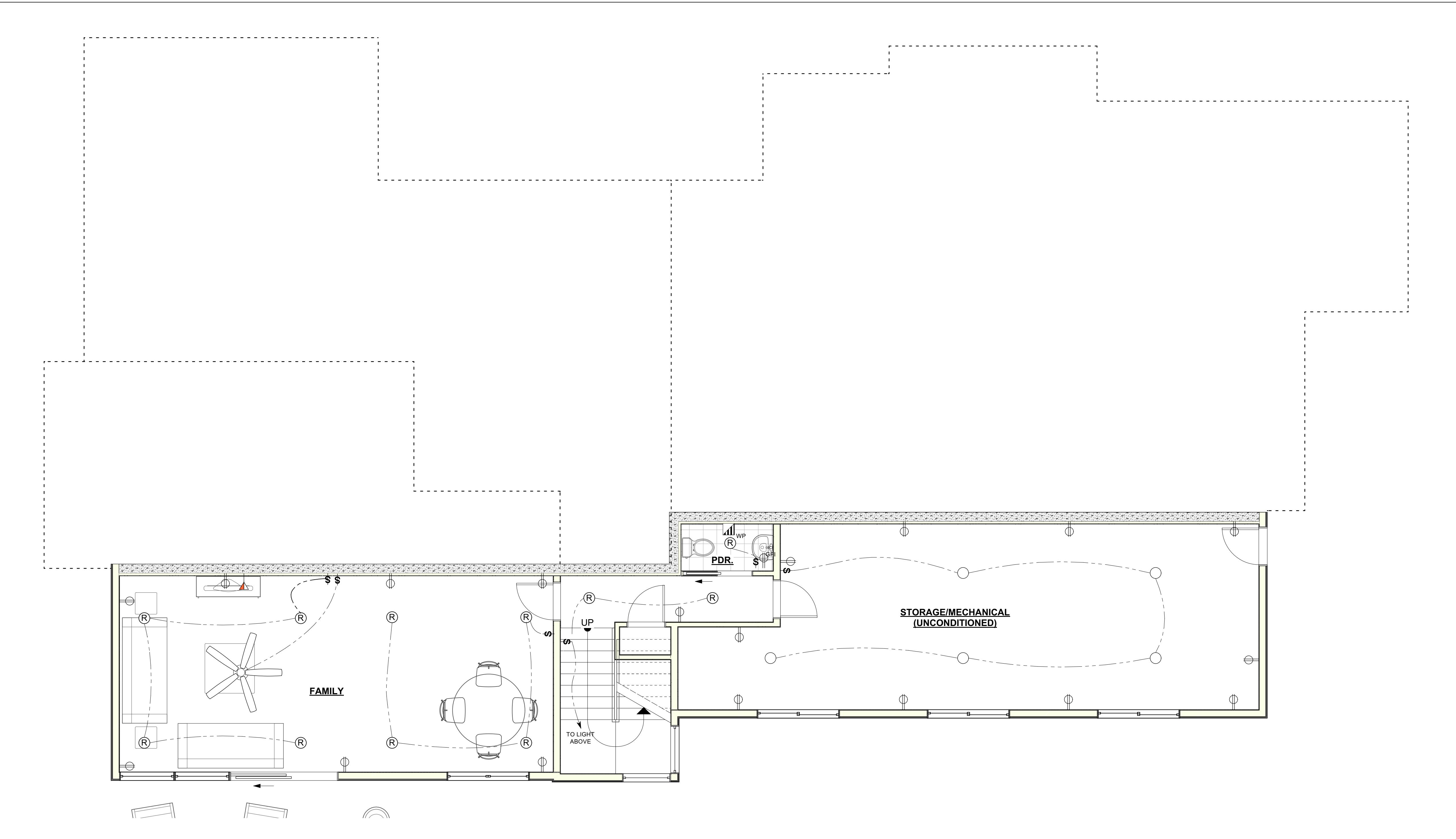
LEVEL 1 ELECTRICAL PLAN

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scale
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sheet
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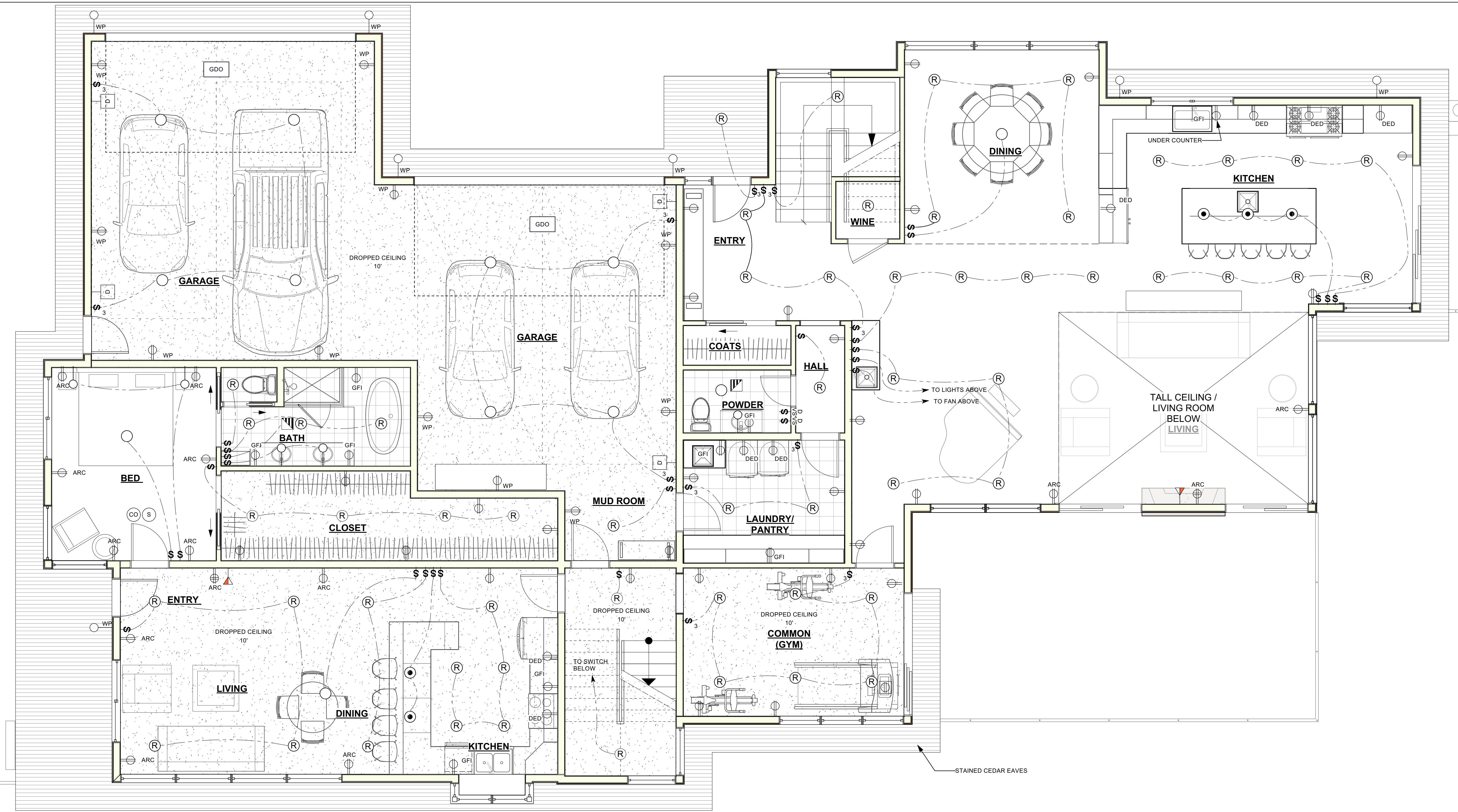


MECHANICAL / ELECTRICAL / LIGHTING NOTES

1. IN EVERY HABITABLE ROOM AN ELECTRICAL OUTLET SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE ON ANY WALL SPACE IS MORE THAN SIX FEET MEASURED HORIZONTALLY FROM ANY OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE TWO FEET OR MORE IN WIDTH, THE WALL SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, AND FIXED ROOM DIVIDERS AS REQUIRED BY THE CALIFORNIA ELECTRICAL CODE (CEC) ARTICLE 210.52 (A) (1) (2) & (3).
2. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, STAIRWAY, AND ATTACHED GARAGE OR DETACHED GARAGE WITH POWER AND AT OUTDOOR ENTRANCES / EXITS AS REQUIRED BY CEC ARTICLE 210.70 (A) (1) & (2).
3. ALL GENERAL-PURPOSE RECEPTACLES MOUNTED AT 12" FROM FLOOR UNLESS OTHERWISE NOTED.
4. BRANCH CIRCUIT, FEEDER AND SERVICE CALCULATIONS SHALL BE PER CEC ARTICLE 220.
5. EACH MULTI-WIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES PER CEC ARTICLE 210.4(B) & (D).
6. IN ALL AREAS SPECIFIED IN 210.52 EVERY 125-VOLT, 15 AND 20-AMP RECEPTACLE SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES PER CEC ARTICLE 406.11.
7. ADDITIONAL CIRCUITS ARE REQUIRED FOR THE FURNACE, GARBAGE DISPOSAL, RANGE, OVEN AND DISHWASHER PER CEC ARTICLE 210.52.
8. SMALL APPLIANCE BRANCH CIRCUITS SHALL BE RATED AT 1500 VA EACH. PER CEC ARTICLE 220.52(A).
9. ALL 120-VOLT, 15 AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, PARLORS, LIBRARIES OR OTHER SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE DEVICE AS REQUIRED BY CEC ARTICLE 210.12(B).
10. ALL RECEPTACLE OUTLETS SERVING COUNTERTOPS IN KITCHENS OF DWELLING UNITS TO BE GFCI PROTECTED PER CEC ARTICLE 210.8(A) (6).

11. A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12 INCHES OR WIDER. RECEPTACLE OUTLET SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24 INCHES, MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THE SPACE PER CEC ARTICLE 210.52(C) (1).
12. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER AS REQUIRED BY CEC ARTICLE 210.52(C) (3).
13. COUNTER SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER SPACES AND SHALL MEET THE REQUIREMENTS PER CEC ARTICLE 210.52(C) (1) (2) (3).
14. COUNTERTOP RECEPTACLE OUTLET LOCATIONS SHALL BE LOCATED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE UP POSITION IN WORK SURFACES OR COUNTERTOPS. RECEPTACLE OUTLETS RENDERED NOT READILY ACCESSIBLE BY APPLIANCES FASTENED IN PLACE OR APPLIANCES OCCUPYING DEDICATED SPACE SHALL NOT BE CONSIDERED AS THESE OUTLETS. THESE RECEPTACLES SHALL BE INSTALLED AS REQUIRED PER CEC ARTICLE 210.52 (B) (5).
15. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH BATHROOM WITHIN 3'-0" FROM BASIN. AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. BATHROOM OUTLETS SHALL HAVE GFCI PROTECTION AS REQUIRED BY CEC ARTICLE 210.52 (D) 210.11 (C) (3) AND 210.8 (A) (1).
16. NO PART OF A HANGING FIXTURE IS ALLOWED CLOSER THAN 8 FEET ABOVE THE TUB RIM OR 3 FEET HORIZONTALLY FROM THE TUB RIM PER ARTICLE 410.4 (D). UNLESS LIGHT FIXTURES IN SHOWER ENCLOSURE ARE LABELED "SUITABLE FOR WET LOCATIONS" AT LEAST ONE OUTLET ON A SEPARATE 50-AMP CIRCUIT SHALL BE PROVIDED IN THE LAUNDRY AREA AND SHALL BE WITHIN SIX FEET OF THE INTENDED LOCATION OF THE APPLIANCE AS REQUIRED BY CEC ARTICLE 210.52 (F) AND 210.11 (C) (2).
17. ALL 125 VOLT, SINGLE PHASE 15 AND 20-AMPERE RECEPTACLES INSTALLED WITHIN 6 FEET OF LAUNDRY, UTILITY OR WET BAR SHALL BE GROUND FAULT CIRCUIT INTERRUPTED AS REQUIRED BY CEC ARTICLE 210.8 (A) (7).

18. VERIFY ALL APPLIANCE ELECTRICAL REQUIREMENTS WITH MANUFACTURER SPECS.
19. REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFO.
20. ALIGN ALL LIGHTING SWITCH BOX LOCATIONS WITH RECEPTACLE OUTLET LOCATION BELOW WHERE POSSIBLE.
21. ALL EXTERIOR LIGHTS SHALL BE CONTROLLED BY A MANUAL ON/OFF SWITCH, A MOTION SENSOR, AND A PHOTOCLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE PHOTOCLOCK, OR AN ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE ASTRONOMICAL TIME CLOCK.
22. MIN. 220 AMP APPLIANCE CIRCUIT IS REQUIRED IN THE KITCHEN, DINING, PANTRY. NOT TO BE USED FOR DIRECTLY WIRED APPLIANCES AND NOT TO BE USED FOR ANY OTHER OUTLETS.
23. ALL SMOKE AND SMOKE/CO ALARMS TO BE HARD WIRED AND INTERCONNECTED SO THAT IF ONE ALARM IS ACTIVATED, ALL OTHER ALARMS WILL ACTIVATE.



LEGEND

	DUPLEX RECEPTACLE
	FOURPLEX RECEPTACLE
	WATERPROOF RECEPTACLE
	SWITCHED OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER
	DEDICATED OUTLET
	FLOOR OUTLET
	CEILING OUTLET
	EXHAUST FAN AND HUMIDISTAT
	PENDANT 100 W
	SURFACE MOUNTED FIXTURE
	RECESSED LIGHT
	RECESSED LIGHT -LED FIXTURE
	RECESSED DIRECTIONAL DOWNRIGHT (32W)
	WALL MOUNTED SCONCE
	FLUORESCENT TUBE (2) TS UNITS @ 54W
	GAS LINE
	GARBAGE DISPOSAL
	HOSE BIB
	DATA PORT/WALL TELEPHONE OUTLET
	GARAGE DOOR DATA PAD
	CABLE / TELEVISION
	SPEAKER LOCATION
	AV CONTROL PAD
	SINGLE POLE SWITCH
	DIMMER SWITCH
	THREE WAY SWITCH
	VACANCY SENSOR
	WEATHER PROOF SURFACE MOUNTED FIXTURE
	WEATHER PROOF RECESSED DOWNLIGHT
	WEATHER PROOF WALL MOUNTED LIGHT
	GARAGE DOOR OPENER W/ LIGHT
	MOTION ACTIVATED EXT. W/ FLOOD LIGHT W/ PHOTOCELL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	THERMOSTAT
	EXTERIOR DOWNLIGHT



ISSUE	DATE
FA DRAWINGS v1	041222
PLANNING SUBMITTAL v1	053122
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PLANNING SUBMITTAL v3	010923

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LEVEL 2 ELECTRICAL PLAN

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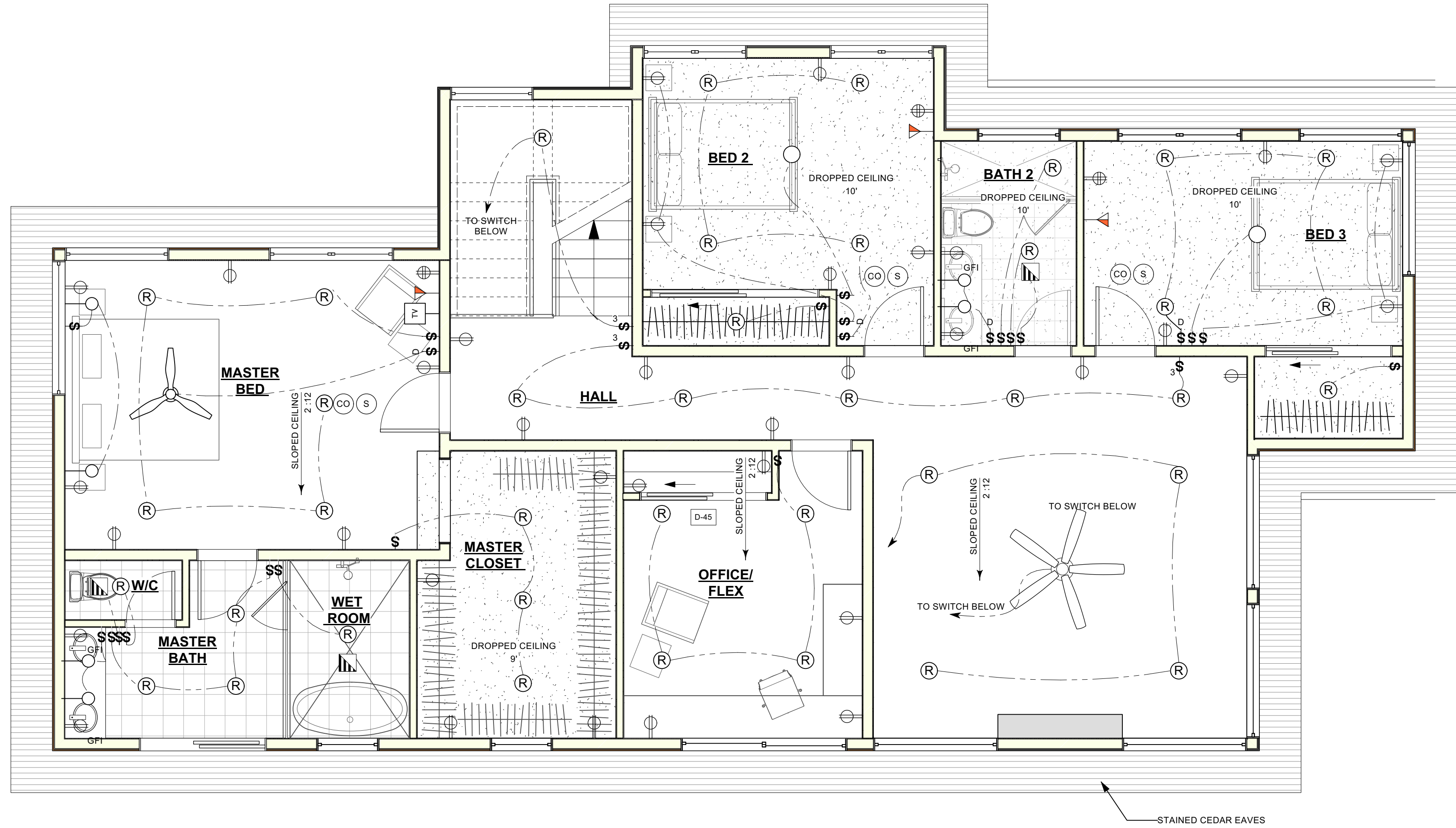
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MECHANICAL / ELECTRICAL / LIGHTING NOTES

1. IN EVERY HABITABLE ROOM AN ELECTRICAL OUTLET SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE ON ANY WALL SPACE IS MORE THAN SIX FEET MEASURED HORIZONTALLY FROM ANY OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE TWO FEET OR MORE IN WIDTH, THE WALL SPACE OCCUPIED BY PANELS IN EXTERIOR WALLS, AND FIXED ROOM DIVIDERS AS REQUIRED BY THE CALIFORNIA ELECTRICAL CODE (CEC) ARTICLE 210.52 (A) (1) (2) & (3).
2. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, STAIRWAY, AND ATTACHED GARAGE OR DETACHED GARAGE WITH POWER AND AT OUTDOOR ENTRANCES / EXITS AS REQUIRED BY CEC ARTICLE 210.70 (A) (1) & (2).
3. ALL GENERAL-PURPOSE RECEPTACLES MOUNTED AT 12" FROM FLOOR UNLESS OTHERWISE NOTED.
4. BRANCH CIRCUIT, FEEDER AND SERVICE CALCULATIONS SHALL BE PER CEC ARTICLE 220.
5. EACH MULTI-WIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES PER CEC ARTICLE 210.4(B) & (D).
6. IN ALL AREAS SPECIFIED IN 210.52 EVERY 125-VOLT, 15 AND 20-AMP RECEPTACLE SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES PER CEC ARTICLE 406.11.
7. ADDITIONAL CIRCUITS ARE REQUIRED FOR THE FURNACE, GARBAGE DISPOSAL, RANGE, OVEN AND DISHWASHER PER CEC ARTICLE 210.52.
8. SMALL APPLIANCE BRANCH CIRCUITS SHALL BE RATED AT 1500 VA EACH PER CEC ARTICLE 220.52(A).
9. ALL 120-VOLT, 15 AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, PARLORS, LIBRARIES OR OTHER SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED AFCI-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE DEVICE AS REQUIRED BY CEC ARTICLE 210.12(B).
10. ALL RECEPTACLE OUTLETS SERVING COUNTERTOPS IN KITCHENS OF DWELLING UNITS TO BE GFCI PROTECTED PER CEC ARTICLE 210.8(A) (6).

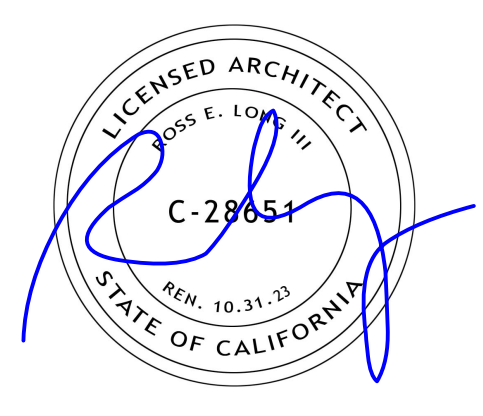
11. A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12 INCHES OR WIDER. RECEPTACLE OUTLET SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24 INCHES, MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THE SPACE PER CEC ARTICLE 210.52(C) (1).
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13. COUNTER SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER SPACES AND SHALL MEET THE REQUIREMENTS PER CEC ARTICLE 210.52(C) (1) (2) (3).
14. COUNTERTOP RECEPTACLE OUTLET LOCATIONS SHALL BE LOCATED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE UP POSITION IN WORK SURFACES OR COUNTERTOPS. RECEPTACLE OUTLETS RENDERED NOT READILY ACCESSIBLE BY APPLIANCES FASTENED IN PLACE OR APPLIANCES OCCUPYING DEDICATED SPACE SHALL NOT BE CONSIDERED AS THESE OUTLETS. THESE RECEPTACLES SHALL BE INSTALLED AS REQUIRED PER CEC ARTICLE 210.52 (B) (5).
15. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH BATHROOM WITHIN 3'-0" FROM BASIN, AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. BATHROOM OUTLETS SHALL HAVE GFCI PROTECTION AS REQUIRED BY CEC ARTICLE 210.52 (D) 210.11 (C) (3) AND 210.8 (A) (1).
16. NO PART OF A HANGING FIXTURE IS ALLOWED CLOSER THAN 8 FEET ABOVE THE TUB RIM OR 3 FEET HORIZONTALLY FROM THE TUB RIM PER ARTICLE 410.4 (D). UNLESS LIGHT FIXTURES IN SHOWER ENCLOSURE ARE LABELED "SUITABLE FOR WET LOCATIONS" AT LEAST ONE OUTLET ON A SEPARATE 50-AMP CIRCUIT SHALL BE PROVIDED IN THE LAUNDRY AREA AND SHALL BE WITHIN SIX FEET OF THE INTENDED LOCATION OF THE APPLIANCE AS REQUIRED BY CEC ARTICLE 210.52 (F) AND 210.11 (C) (2).
17. ALL 125 VOLT, SINGLE PHASE 15 AND 20-AMPERE RECEPTACLES INSTALLED WITHIN 6 FEET OF LAUNDRY, UTILITY OR WET BAR SHALL BE GROUND FAULT CIRCUIT INTERRUPTED AS REQUIRED BY CEC ARTICLE 210.8 (A) (7).

18. VERIFY ALL APPLIANCE ELECTRICAL REQUIREMENTS WITH MANUFACTURER SPECS.
19. REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFO.
20. ALIGN ALL LIGHTING SWITCH BOX LOCATIONS WITH RECEPTACLE OUTLET LOCATION BELOW WHERE POSSIBLE.
21. ALL EXTERIOR LIGHTS SHALL BE CONTROLLED BY A MANUAL ON/OFF SWITCH, A MOTION SENSOR, AND A PHOTOCONTROL NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE PHOTOCONTROL, OR AN ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE ASTRONOMICAL TIME CLOCK.
22. MIN. 220 AMP APPLIANCE CIRCUIT IS REQUIRED IN THE KITCHEN, DINING, PANTRY. NOT TO BE USED FOR DIRECTLY WIRED APPLIANCES AND NOT TO BE USED FOR ANY OTHER OUTLETS.
23. ALL SMOKE AND SMOKE/CO ALARMS TO BE HARD WIRED AND INTERCONNECTED SO THAT IF ONE ALARM IS ACTIVATED, ALL OTHER ALARMS WILL ACTIVATE.



LEGEND

- DUPLEX RECEPTACLE
- FOURPLEX RECEPTACLE
- WATERPROOF RECEPTACLE
- SWITCHED OUTLET
- GROUND FAULT CIRCUIT INTERRUPTER
- DEDICATED OUTLET
- FLOOR OUTLET
- CEILING OUTLET
- EXHAUST FAN AND HUMIDISTAT
- PENDANT 100 W
- SURFACE MOUNTED FIXTURE
- RECESSED LIGHT
- RECESSED LIGHT -LED FIXTURE
- RECESSED DIRECTIONAL DOWNRIGHT (32W)
- WALL MOUNTED SCONCE
- FLUORESCENT TUBE (2) TS UNITS @ 54W
- GAS LINE
- GARBAGE DISPOSAL
- HOSE BIB
- DATA PORT/WALL TELEPHONE OUTLET
- GARAGE DOOR DATA PAD
- CABLE / TELEVISION
- SPEAKER LOCATION
- AV CONTROL PAD
- SINGLE POLE SWITCH
- DIMMER SWITCH
- THREE WAY SWITCH
- VACANCY SENSOR
- WEATHER PROOF SURFACE MOUNTED FIXTURE
- WEATHER PROOF RECESSED DOWNLIGHT
- WEATHER PROOF WALL MOUNTED LIGHT
- GARAGE DOOR OPENER W/ LIGHT
- MOTION ACTIVATED EXT. W/ FLOOD LIGHT W/ PHOTOCELL
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- THERMOSTAT
- EXTERIOR DOWNLIGHT



ISSUE	DATE
FA DRAWINGS v1	041222
PLANNING SUBMITTAL v1	053122
PLANNING SUBMITTAL v2	101422
PLANNING SUBMITTAL v3	010923

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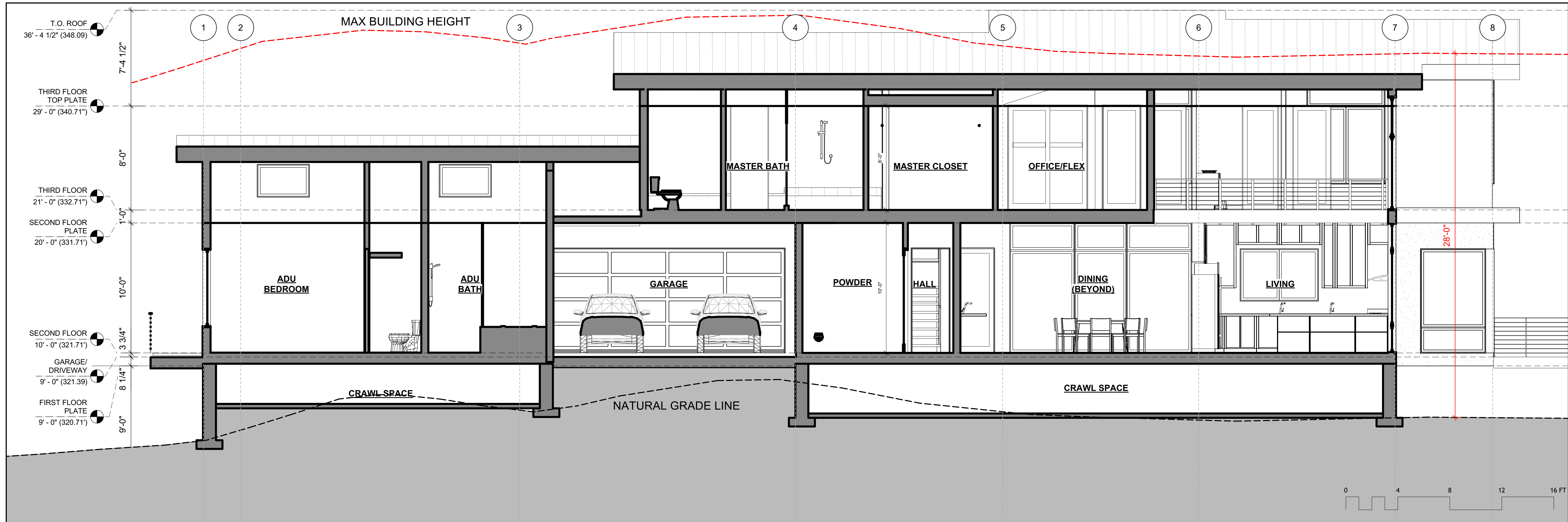
LEVEL 3
ELECTRICAL PLAN

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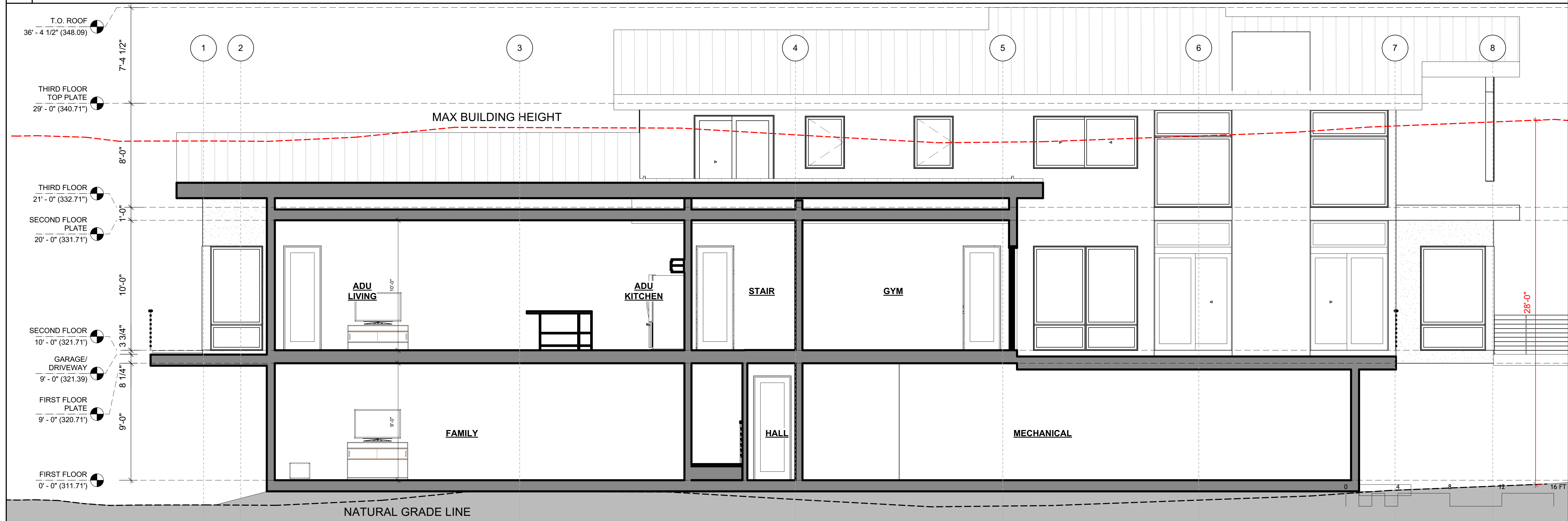
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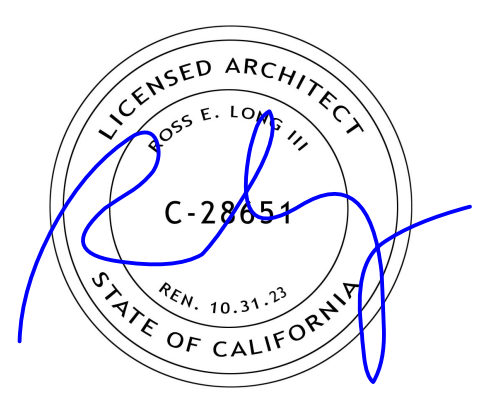
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1 BUILDING CROSS SECTION



2 BUILDING CROSS SECTION



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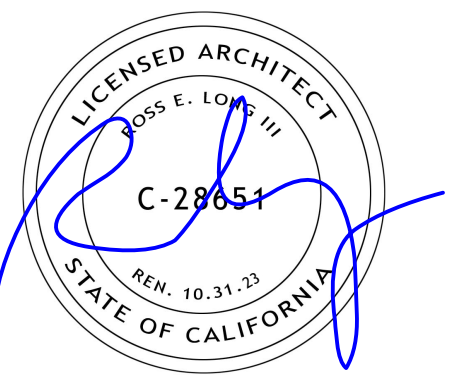
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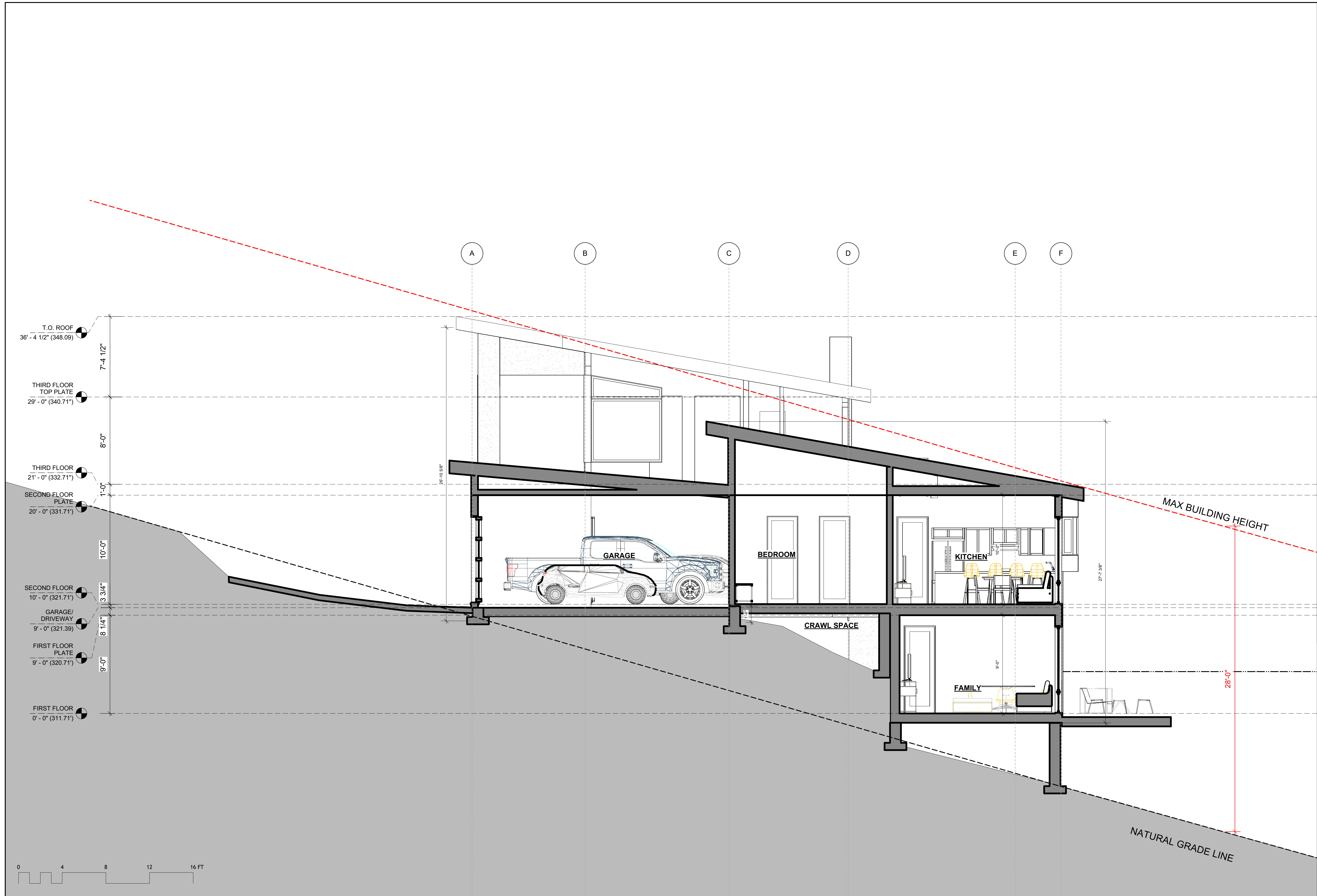
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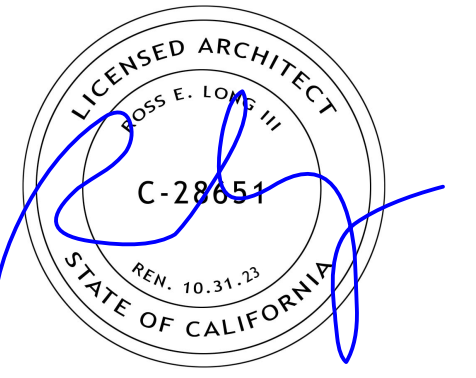
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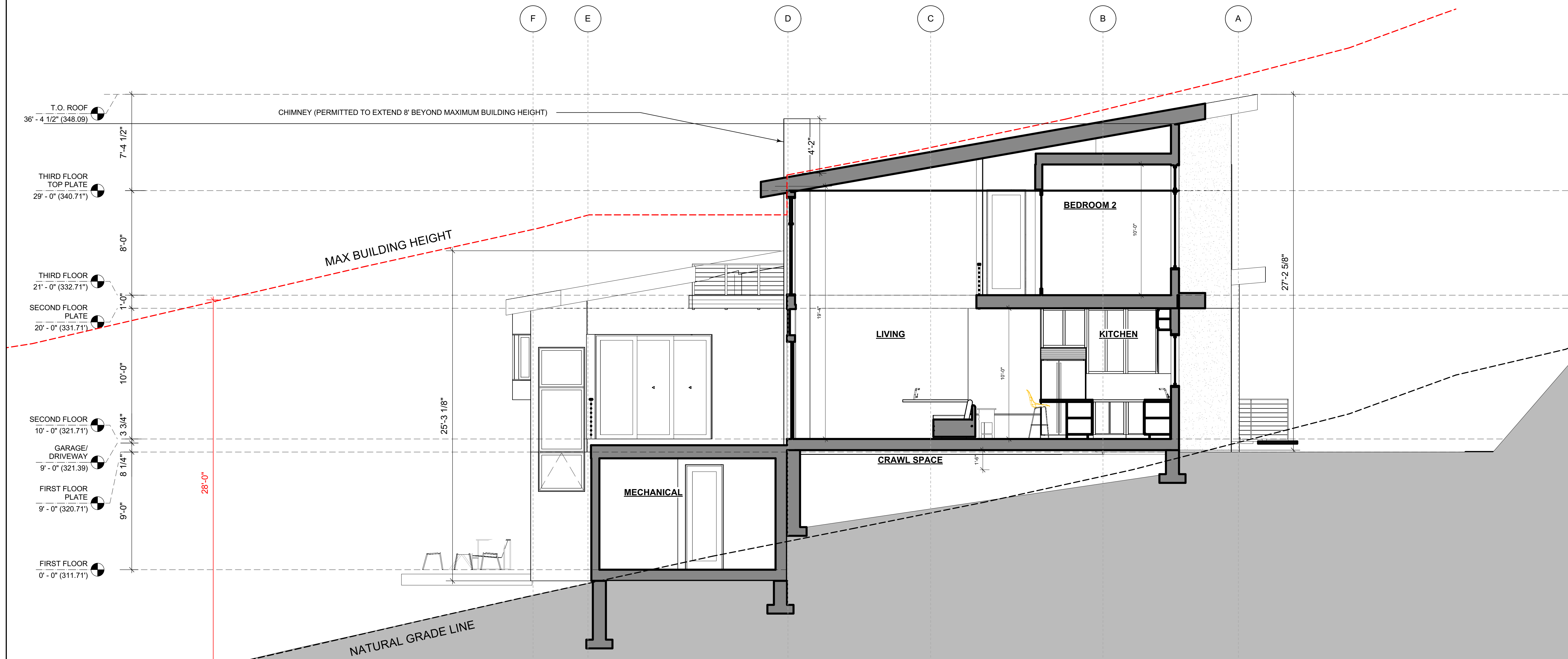


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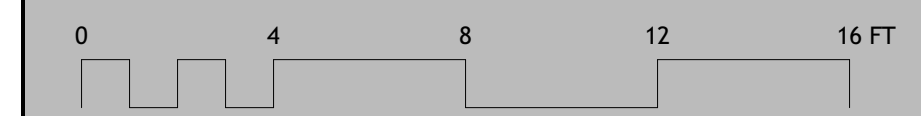
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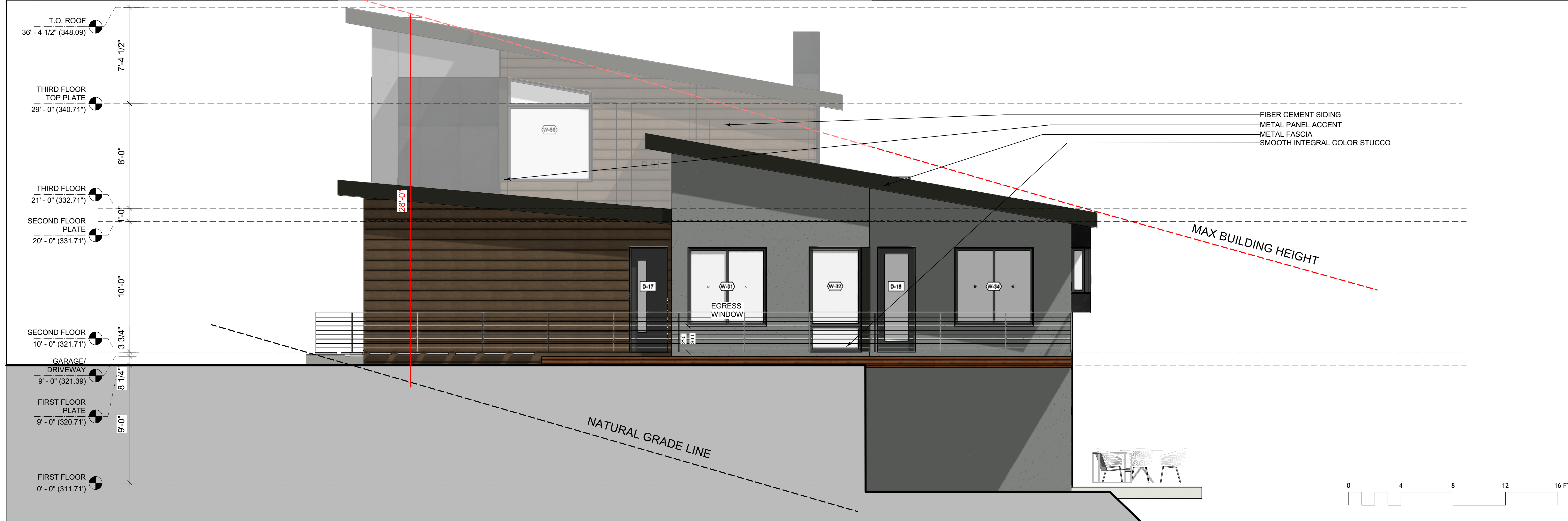
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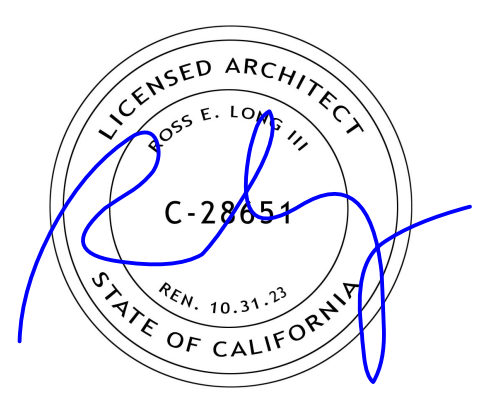
1 BUILDING CROSS SECTION



1 SOUTH ELEVATION (FRONT)



2 WEST ELEVATION



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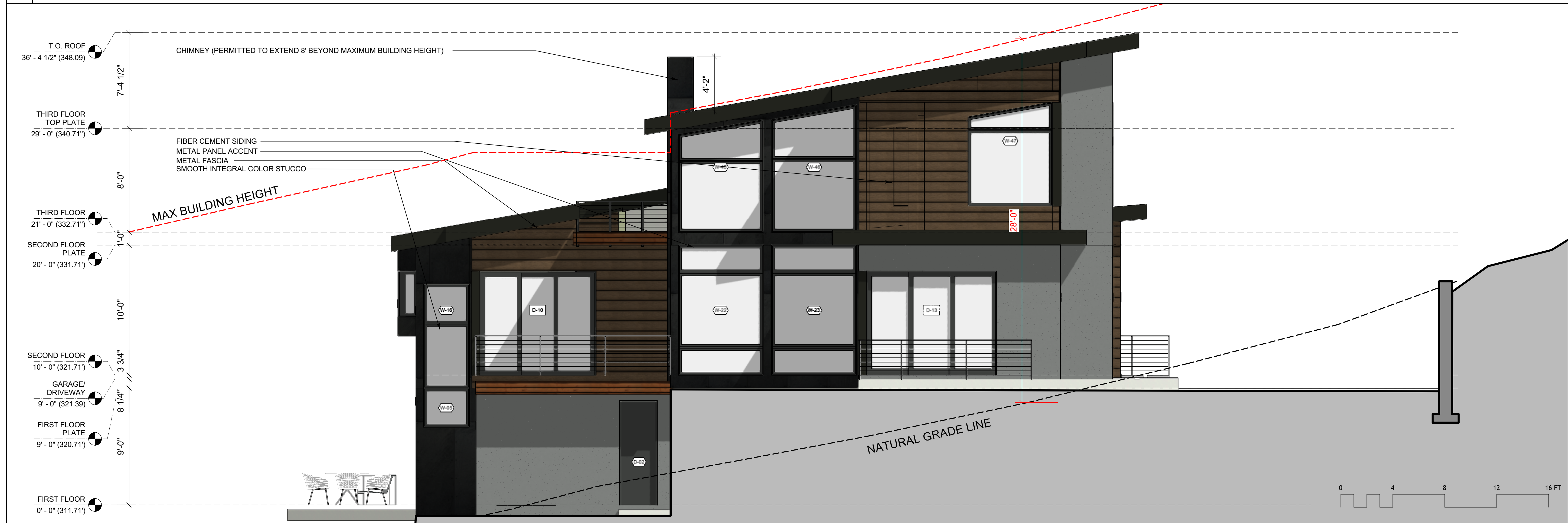
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1 NORTH ELEVATION (BACK)



2 EAST ELEVATION



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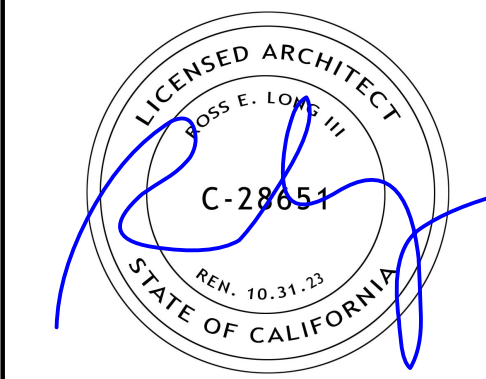
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Door Schedule

Mark	Image	Nominal Size			Door Style		Type	Frame Details			Door Data		Accessories	Comments
		Width	Height (V.I.F.)	Thickness	Configuration	Slab Style		Head Detail	Jamb Detail	Sill Detail	Mfr	Model No.		
D-01		80"	80"	1 3/4"	Slider	Glass							DHW-#	
D-02		210"	80"	1 1/2"	Swing Simple	Solid					N/A	N/A	DHW-#	N/A
D-03		210"	80"	1 1/2"	Swing Simple	Panel					N/A	N/A	DHW-#	N/A
D-04		210"	80"	1 1/2"	Swing Simple	Panel					N/A	N/A	DHW-#	N/A
D-05		210"	80"	1 1/2"	Swing Simple	Panel					N/A	N/A	DHW-#	N/A
D-06		26"	80"	1 3/4"	Pocket Simple	Panel							DHW-#	
D-10		90"	80"	1 3/4"	Slider	Glass							DHW-#	
D-11		60"	100"	1 3/4"	Slider	Glass							DHW-#	
D-12		60"	100"	1 3/4"	Slider	Glass							DHW-#	
D-13		100"	80"	1 3/4"	Slider	Glass							DHW-#	
D-14		210"	80"	1 1/2"	Swing Simple	Glass					N/A	N/A	DHW-#	N/A
D-15		180"	80"	1 3/4"	Overhead	Glass					CLOPAY		HDW-3	TEMPERED/ALUM. FRAME
D-16		180"	80"	1 3/4"	Overhead	Glass					CLOPAY		HDW-3	TEMPERED/ALUM. FRAME
D-17		210"	80"	1 1/2"	Swing Simple	Solid					N/A	N/A	DHW-#	N/A
D-18		210"	80"	1 1/2"	Swing Simple	Glass					N/A	N/A	DHW-#	N/A
D-19		210"	80"	1 1/2"	Swing Simple	Panel					N/A	N/A	DHW-#	N/A
D-20		28"	80"	1 3/4"	Pocket Simple	Panel							DHW-#	
D-21		28"	80"	1 3/4"	Pocket Simple	Panel							DHW-#	
D-22		20"	80"	1 1/2"	Pocket Simple	Panel					N/A	N/A	DHW-#	N/A
D-23		210"	80"	1 1/2"	Swing Simple	Panel					N/A	N/A	DHW-#	N/A
D-24		210"	80"	1 1/2"	Swing Simple	Panel					N/A	N/A	DHW-#	N/A
D-25		210"	80"	1 1/2"	Swing Simple	Panel					N/A	N/A	DHW-#	N/A
D-26		210"	80"	1 1/2"	Swing Simple	Panel					N/A	N/A	DHW-#	N/A
D-27		210"	80"	1 1/2"	Swing Simple	Panel					N/A	N/A	DHW-#	N/A
D-28		24"	80"	1 1/2"	Swing Simple	Panel					N/A	N/A	DHW-#	N/A
D-30		50"	80"	1 3/4"	Slider	Panel							DHW-#	
D-31		210"	80"	1 3/4"	Swing Simple	Panel							DHW-#	
D-40		60"	70"	1 3/4"	Slider	Glass							DHW-#	
D-41		24"	80"	1 3/4"	Swing Simple	Panel							DHW-#	
D-42		210"	80"	1 3/4"	Swing Simple	Panel							DHW-#	
D-43		210"	80"	1 3/4"	Swing Simple	Panel							DHW-#	
D-44		210"	80"	1 3/4"	Swing Simple	Panel							DHW-#	
D-45		60"	80"	1 3/4"	Slider	Panel							DHW-#	
D-46		210"	80"	1 3/4"	Swing Simple	Panel							DHW-#	
D-47		80"	80"	1 3/4"	Slider	Panel							DHW-#	
D-48		28"	80"	1 3/4"	Swing Simple	Panel							DHW-#	
D-49		210"	80"	1 3/4"	Swing Simple	Panel							DHW-#	
D-50		60"	80"	1 3/4"	Slider	Panel							DHW-#	

ALL WINDOWS AND DOORS TO BE WIU COMPLIANT.



ISSUE	DATE
FA DRAWINGS v1	041222
PLANNING SUBMITTAL v1	053122
PLANNING SUBMITTAL v2	101422
PLANNING SUBMITTAL v3	010923

ARCHITECT

ch x tid prefab evolved

6114 LASALLE AVENUE #652 OAKLAND, CA 94611
 TOBY LONG, AIA - 415.365.3659 - TOL@CHXTID.COM

APPROVAL STAMP

THE WONG RESIDENCE
 264 SYLVAN WAY
 EMERALD HILLS, CA
 94062
 APN: 057-081-170, 180, 190

SCHEDULES

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scale

sheet
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Window Schedule

Mark	Image	Nominal Size		Window Style			Window Data	
		O.A. Width	O.A. Height	Configuration	Shape	Top Shape	Mfr	Model No.
W- 01		40"	80"	Hopper	Rectangle	Square	MARVIN	ESSENTIAL
W- 02		40"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 03		60"	50"	Bi-parting Casement	Rectangle	Square	MARVIN	ESSENTIAL
W- 04		36"	30"	Awning	Rectangle	Square	MARVIN	ESSENTIAL
W- 05		36"	30"	Awning	Rectangle	Square	MARVIN	ESSENTIAL
W- 06		60"	20"	Horizontal Slider	Rectangle	Square	MARVIN	ESSENTIAL
W- 07		60"	20"	Horizontal Slider	Rectangle	Square	MARVIN	ESSENTIAL
W- 08		60"	20"	Horizontal Slider	Rectangle	Square	MARVIN	ESSENTIAL
W- 10		40"	80"	Hopper	Rectangle	Square	MARVIN	ESSENTIAL
W- 11		40"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 12		40"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 13		40"	80"	Hopper	Rectangle	Square	MARVIN	ESSENTIAL
W- 14		30"	36"	Casement	Rectangle	Square	MARVIN	ESSENTIAL
W- 14A		16"	36"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 14B		30"	36"	Casement	Rectangle	Square	MARVIN	ESSENTIAL
W- 14C		16"	36"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 15		36"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 16		36"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 17		30"	80"	Hopper	Rectangle	Square	MARVIN	ESSENTIAL
W- 18		30"	80"	Hopper	Rectangle	Square	MARVIN	ESSENTIAL
W- 19		30"	80"	Hopper	Rectangle	Square	MARVIN	ESSENTIAL
W- 20		40"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 21		40"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 22		66"	100"	Custom	Rectangle	Square	MARVIN	ESSENTIAL
W- 23		66"	100"	Custom	Rectangle	Square	MARVIN	ESSENTIAL
W- 24		50"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 25		60"	40"	Bi-parting Casement	Rectangle	Square	MARVIN	ESSENTIAL
W- 26		50"	100"	Custom	Rectangle	Square	MARVIN	ESSENTIAL
W- 27		40"	100"	Custom	Rectangle	Square	MARVIN	ESSENTIAL
W- 28		50"	100"	Custom	Rectangle	Square	MARVIN	ESSENTIAL
W- 29		40"	30"	Awning	Rectangle	Square	MARVIN	ESSENTIAL
W- 30		20"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 31		60"	60"	Horizontal Slider	Rectangle	Square	MARVIN	ESSENTIAL
W- 32		40"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 33		40"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 34		60"	60"	Horizontal Slider	Rectangle	Square	MARVIN	ESSENTIAL
W- 35		40"	26"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 36		40"	26"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL

ALL WINDOWS AND DOORS TO BE WIU COMPLIANT.

Window Schedule

Mark	Image	Nominal Size		Window Style			Window Data	
		O.A. Width	O.A. Height	Configuration	Shape	Top Shape	Mfr	Model No.
W- 40		30"	40"	Casement	Rectangle	Square	MARVIN	ESSENTIAL
W- 41		30"	40"	Casement	Rectangle	Square	MARVIN	ESSENTIAL
W- 42		80"	40"	Horizontal Slider	Rectangle	Square	MARVIN	ESSENTIAL
W- 43		60"	76"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 44		60"	76"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 45		66"	8' 3/4"	Fixed Glass	Rectangle	Sloped	MARVIN	ESSENTIAL
W- 46		66"	9' 1/2"	Fixed Glass	Rectangle	Sloped	MARVIN	ESSENTIAL
W- 47		66"	80"	Fixed Glass	Rectangle	Sloped	MARVIN	ESSENTIAL
W- 48		50"	80"	Custom	Rectangle	Square	MARVIN	ESSENTIAL
W- 49		60"	80"	Bi-parting Casement	Rectangle	Square	MARVIN	ESSENTIAL
W- 50		40"	40"	Custom	Rectangle	Square	MARVIN	ESSENTIAL
W- 51		50"	80"	Bi-parting Casement	Rectangle	Square	MARVIN	ESSENTIAL
W- 52		50"	80"	Bi-parting Casement	Rectangle	Square	MARVIN	ESSENTIAL
W- 53		40"	80"	Fixed Glass	Rectangle	Square	MARVIN	ESSENTIAL
W- 54		60"	80"	Bi-parting Casement	Rectangle	Square	MARVIN	ESSENTIAL
W- 55		50"	80"	Custom	Rectangle	Square	MARVIN	ESSENTIAL
W- 56		66"	80"	Fixed Glass	Rectangle	Sloped	MARVIN	ESSENTIAL



ISSUE	DATE
FA DRAWINGS v1	041222
PLANNING SUBMITTAL v1	053122
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APPROVAL STAMP

THE WONG RESIDENCE
 264 SYLVAN WAY
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 94062
 APN: 057-081-170, 180, 190

SCHEDULES

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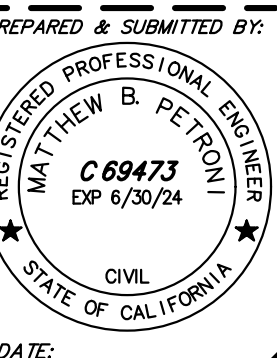
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GRADING & DRAINAGE PLAN

for
THE WONG RESIDENCE
264 SYLVAN WAY
EMERALD HILLS, CA 94062



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REVISIONS:	BY:
PLANNING REV 1	MBP
PLANNING REV 2	MBP

PREPARED FOR:

WONG RESIDENCE
TITLE SHEET

THE COMMUNITY OF EMERALD HILLS, SAN MATEO COUNTY, STATE OF CALIFORNIA

DATE	1/23/2023
SCALE	AS SHOWN
DRAWN	MBP
JOB NO.	09.3008
DWG.	C1
SHEET	1 OF 6

SHEET INDEX

- SHEET C1 - TITLE SHEET
- SHEET C2 - GRADING & DRAINAGE PLAN
- SHEET C3 - DRIVEWAY PLAN & PROFILE
- SHEET C4 - EROSION CONTROL PLAN
- SHEET C4.1 - COUNTYWIDE BMP PLAN SHEET
- SHEET C5 - TREE PROTECTION PLAN

PROPERTY LOCATION

264 SYLVAN WAY
EMERALD HILLS, CA 94062

PROPERTY DESCRIPTION

LOTS 7, 8 & 9, BLOCK 206, 12 MAPS 59
23,095 sq.ft. ≈ 0.53± ACRES
APN's 057-081-170, -180 & -190

RECORD OWNER

BILL & SOPHIA WONG
3471 LONGVIEW DRIVE
SAN BRUNO, CA 94066

SURVEYOR

L. WADE HAMMOND
36660 NEWARK BLVD, SUITE C
NEWARK, CA 94560
510-579-6112
CONTACT: WADE HAMMOND

ARCHITECT

ch x tld
6114 LA SALLE AVE #552
OAKLAND, CA 94611
415-905-9030
CONTACT: TOBY LONG

GEOTECHNICAL ENGINEER

SILICON VALLEY SOIL ENGINEERING
2391 ZANKER ROAD, SUITE 350
SAN JOSE, CA 95131
(408) 324-1404

REPORT: "PROPOSED RESIDENCE, 264 SYLVAN WAY, EMERALD HILLS, CA
GEOTECHNICAL INVESTIGATION AND ENGINEERING GEOLOGIC RECONNAISSANCE",
dated AUGUST 2014.

SITE BENCHMARK

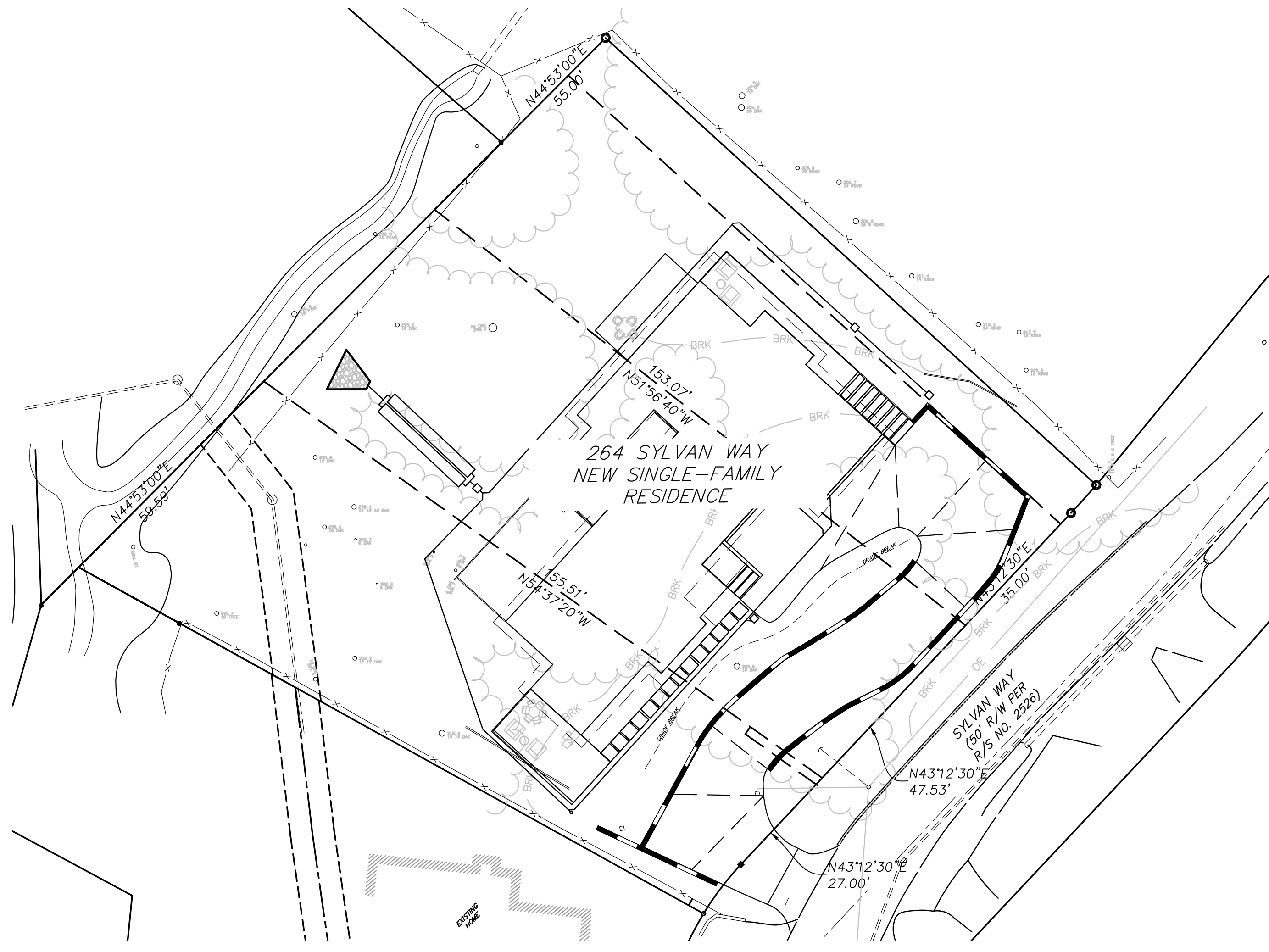
PER ASSUMED DATUM: APPROXIMATE NAV88

GRADING GENERAL NOTES

- ENCROACHMENT PERMIT FOR ALL WORK IN COUNTY RIGHTS-OF-WAY SHALL BE OBTAINED BY CONTRACTOR. CONTRACTOR SHALL COMPLY WITH TERMS AND CONDITIONS OF ENCROACHMENT PERMIT.
- ALL WORK SHALL CONFORM TO THE SAN MATEO COUNTY STANDARDS AND REGULATIONS. IN THE EVENT OF CONFLICT BETWEEN THE S.M.C. STANDARDS AND REGULATIONS AND THE PLANS, THE S.M.C. STANDARDS AND REGULATIONS SHALL PREVAIL.
- AREAS TO BE GRADED SHALL BE CLEARED OF BRUSH, VEGETATION, LARGE BOULDERS, AND OTHER DELETERIOUS MATERIALS.
- SUB-GRADE SHALL BE APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL OR CONSTRUCTING STRUCTURES. SUB-GRADE IN AREAS TO BE PAVED SHALL BE SCARIFIED, MOISTENED, AND COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY A.S.T.M. D-1557-78 FOR THE UPPER 12 INCHES. SUBGRADE IN NON-STRUCTURAL FILL AREAS SHALL BE SCARIFIED, MOISTENED, AND COMPACTED TO A MINIMUM OF 85% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY A.S.T.M. D-1557-78 TO A DEPTH OF 12 INCHES.
- CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO CONTROL DUST IN CONSTRUCTION AREAS OR ON ACCESS ROADS. SOIL SURFACES SHALL BE MOISTENED AS REQUIRED TO AVOID ALL EXPOSED NUISANCE CONDITIONS AND INCONVENIENCES FOR LOCAL RESIDENTS AND TRAVELERS OF NEARBY ROADWAYS.
- AGGREGATE BASE SHALL BE CLASS 2, 3/4-INCH MAXIMUM GRADING, AND SHALL CONFORM TO THE PROVISIONS OF SECTION 26, "AGGREGATE BASES," OF CALTRANS STANDARD SPECIFICATIONS AND SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY A.S.T.M. D-1557-78.
- ASPHALT CONCRETE SHALL BE TYPE B, 1/2-INCH MAXIMUM GRADING AND SHALL CONFORM TO THE PROVISIONS IN SECTION 39, "ASPHALT CONCRETE," OF THE CALTRANS STANDARD SPECIFICATIONS.
- EARTH MATERIAL IMPORTED OR EXCAVATED ON THE PROPERTY MAY BE UTILIZED AS FILL IN STRUCTURAL FILL AREAS, PROVIDED THAT EACH MATERIAL HAS BEEN DETERMINED TO BE SUITABLE BY THE GEOTECHNICAL ENGINEER. ALL FILL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIAL. SOILS OF POOR GRADATION, EXPANSION POTENTIAL OR STRENGTH CHARACTERISTICS SHALL BE PLACED IN AREAS DESIGNATED BY THE GEOTECHNICAL ENGINEER OR SHALL BE MIXED WITH OTHER SOILS TO SERVICE AS SATISFACTORY SOIL MATERIAL.
- ALL EXISTING STRUCTURES WILL BE REMOVED PRIOR TO ANY IMPROVEMENTS.

NOTE:

IF UNDERGROUND UTILITIES ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. FIELD VERIFY LOCATIONS PRIOR TO CONSTRUCTION.



INDEX MAP



EARTHWORK CALCULATIONS

CUT = 290 CY
FILL = 260 CY
NET = 30 CY EXPORT
TOTAL GRADING = 290 CY + 260 CY = 550 CY.

NOTE:

QUANTITIES ABOVE INDICATE GRADING FOR CONSTRUCTION OF THE ROAD FRONTAGE, FRONT YARD AND DRIVEWAY ONLY.

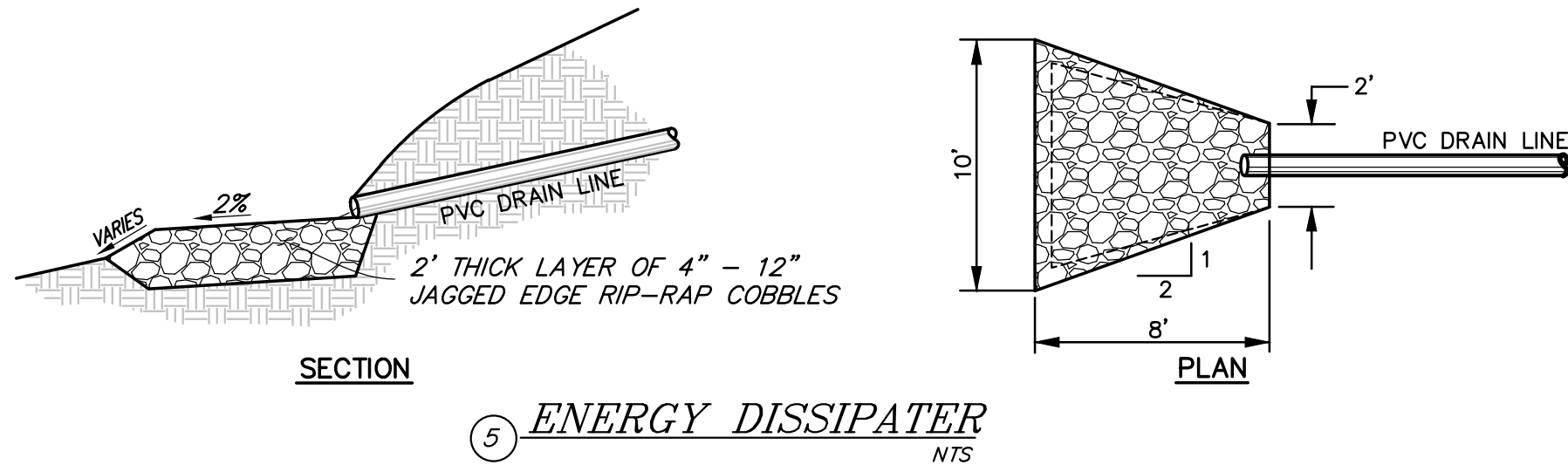
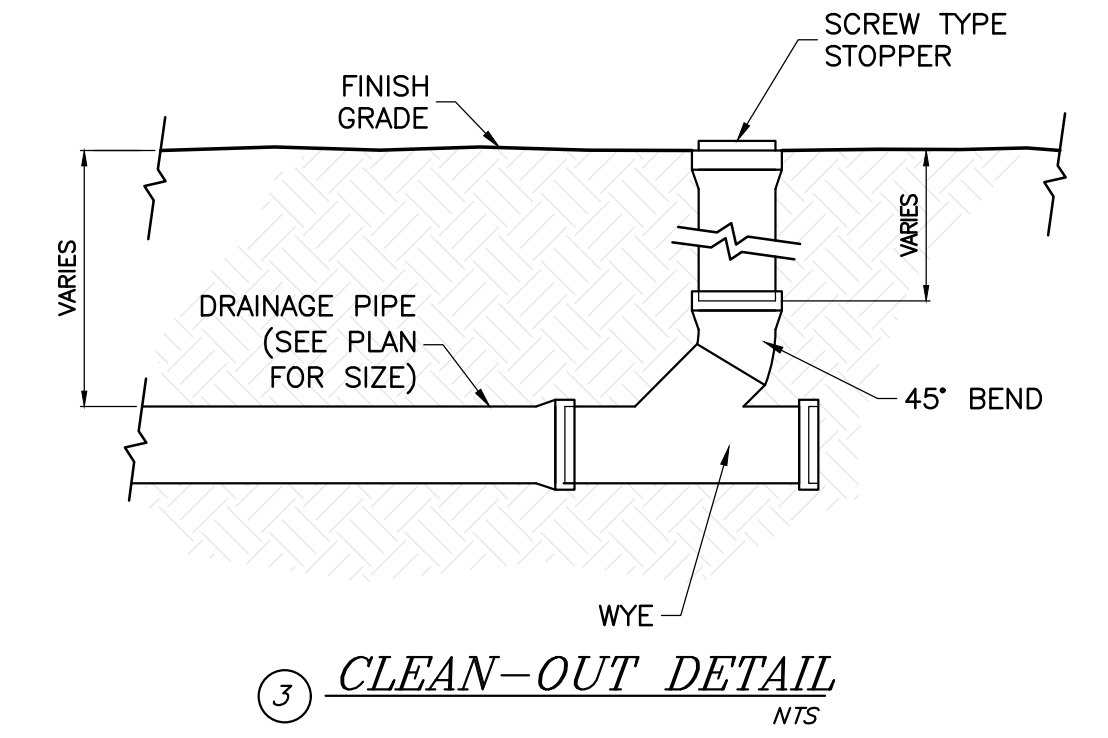
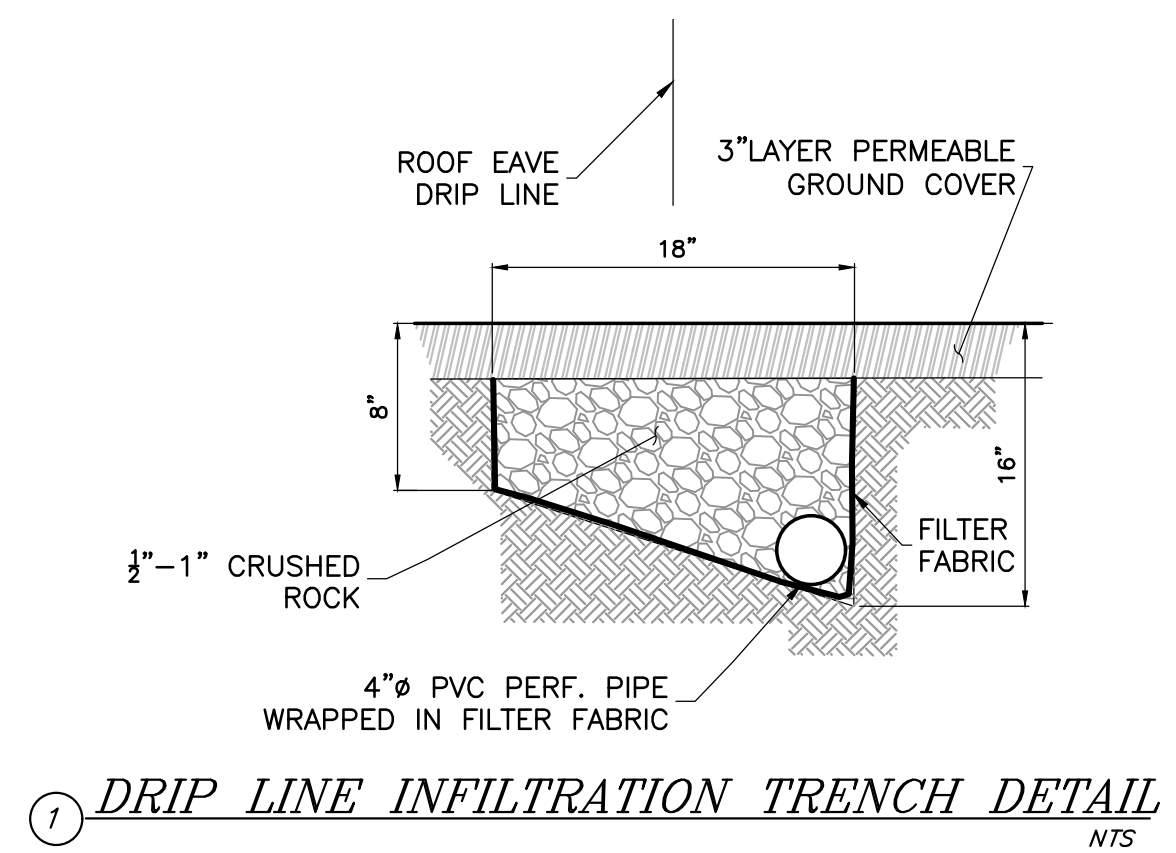
EARTHWORK QUANTITIES ARE ESTIMATE ONLY AND DO NOT ACCOUNT FOR REMOVALS OF UNSUITABLE MATERIALS, SHRINKAGE, OR SWELL. EARTHWORK QUANTITIES DO NOT ACCOUNT FOR OVER-EXCAVATION. CONTRACTOR SHALL PERFORM OWN TAKEOFF IN CONJUNCTION WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

ABBREVIATIONS

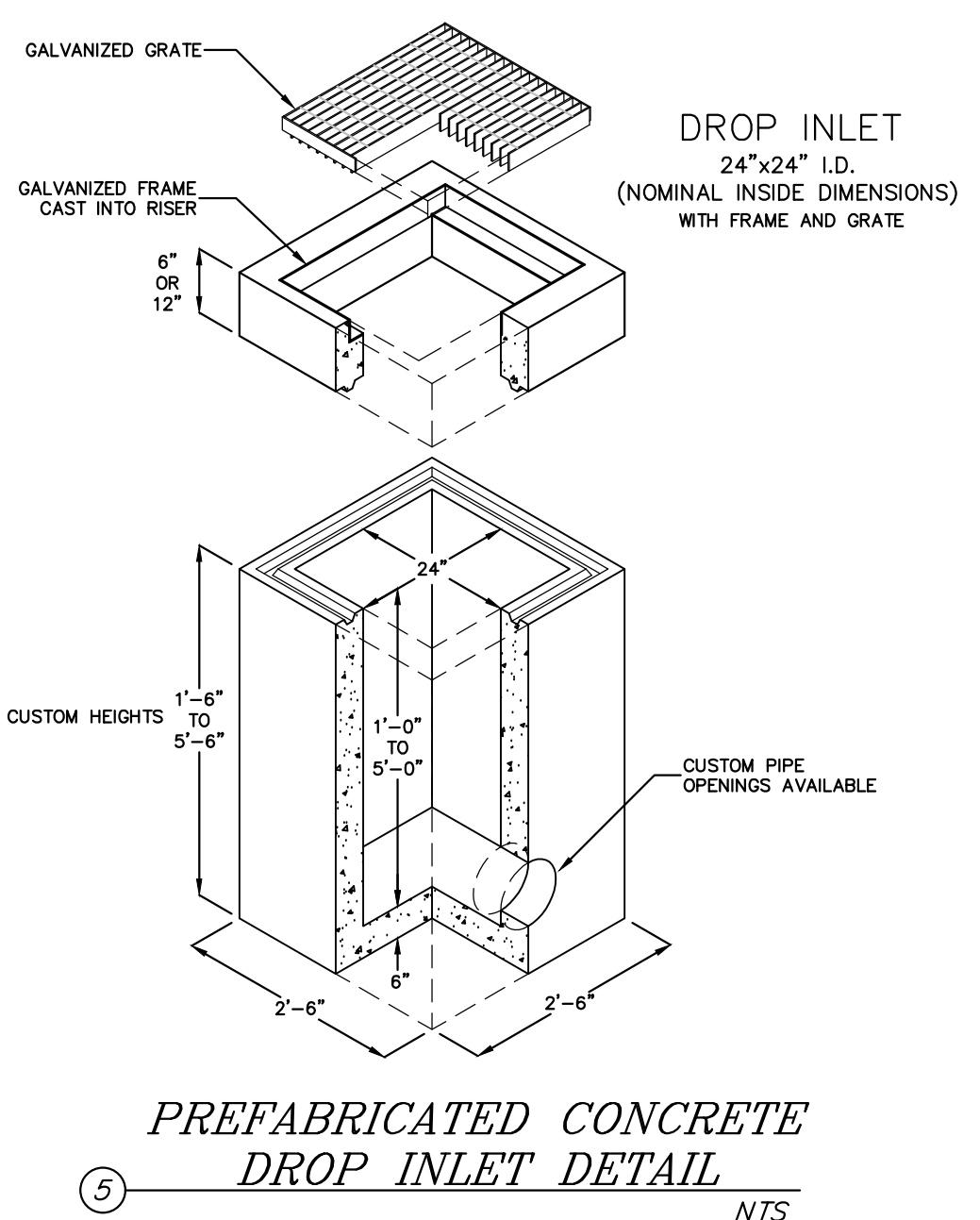
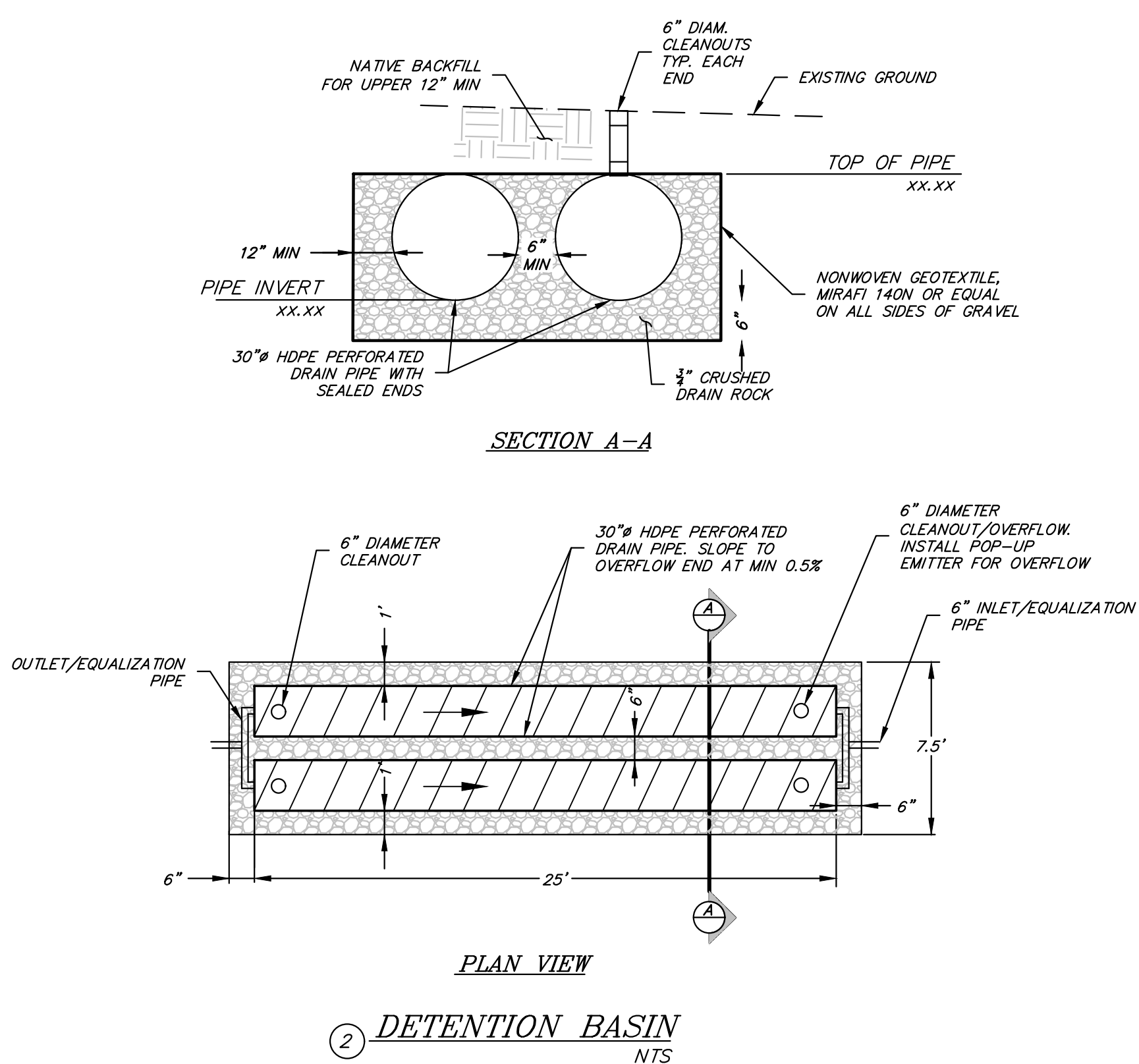
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
BOS	BOTTOM OF STAIR
CL	CENTERLINE
CONC	CONCRETE
CMP	CORRUGATED METAL PIPE
EG	EXISTING GRADE
EP	EDGE OF PAVEMENT
EX, EXIST	EXISTING
FG	FINISHED GRADE
FL	FLOW LINE
FS	FINISHED SURFACE
INV	INVERT
NTS	NOT TO SCALE
PL	PROPERTY LINE
SSMH, SMH	SEWER MANHOLE
SS	SANITARY SEWER
TC	TOP OF CURB
TF	TOP OF FOOTING
TG	TOP OF GRATE
TOS	TOP OF STAIR
TW	TOP OF WALL
WV	WATER VALVE

LEGEND

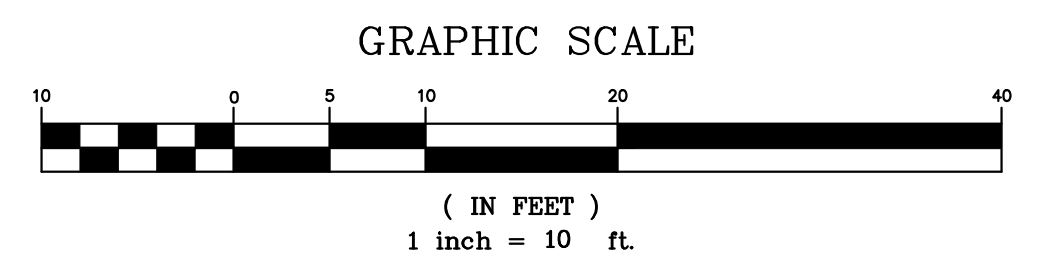
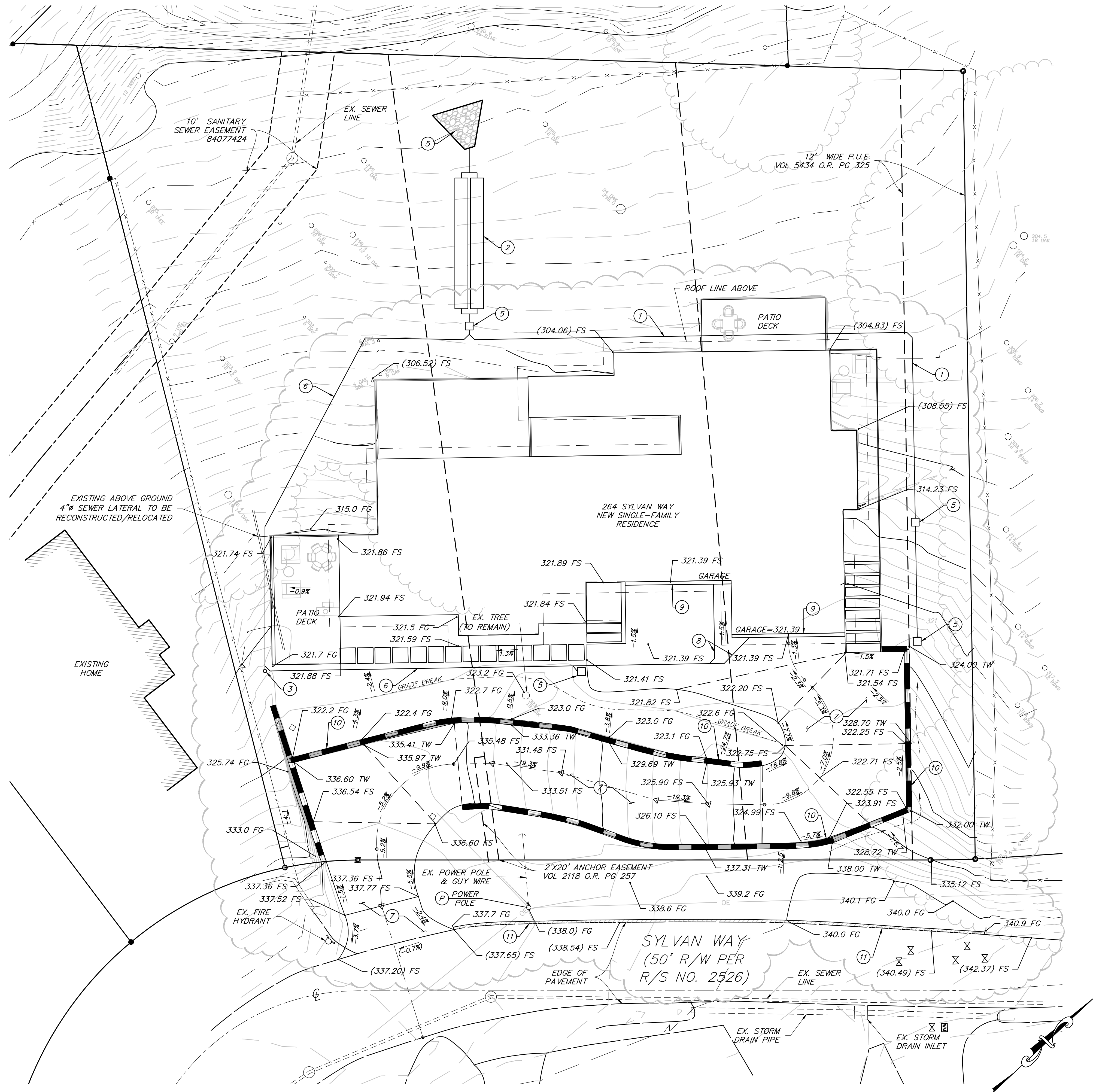
	PROPERTY LINE
	CENTERLINE
	ADJACENT PROPERTY LINE OR RIGHT OF WAY
	EDGE OF PAVEMENT
	TREE TYPE & SIZE
	P=PINE/F=FIR/S=SNAG
	EXISTING GROUND CONTOUR & ELEV.
	OVERHEAD UTILITIES
	FIRE HYDRANT
	SEWER MANHOLE
	EXISTING SEWERLINE
	TEMPORARY BENCHMARK
	PROPOSED GROUND CONTOUR & ELEV.

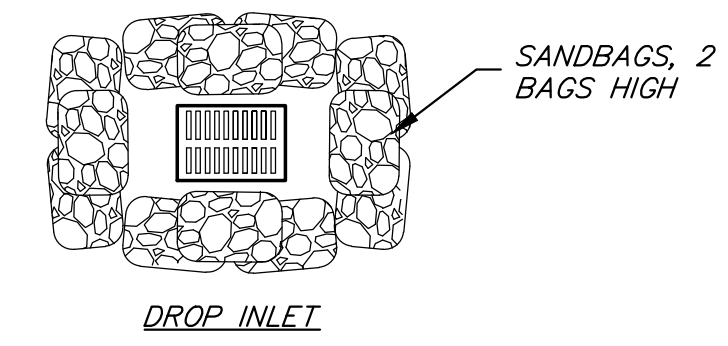


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- CONSTRUCTION NOTES**
- (P) PROTECT IN PLACE.
 - (1) CONSTRUCT DRIP LINE INFILTRATION TRENCH PER DETAIL, SHEET C1.
 - (2) CONSTRUCT UNDERGROUND INFILTRATION/RETENTION BASIN PER DETAIL HEREON.
 - (3) CONSTRUCT STORM DRAIN CLEAN-OUT PER DETAIL, SHEET C1.
 - (4) CONSTRUCT OUTLET/ENERGY DISSIPATER PER DETAIL, SHEET C1.
 - (5) CONSTRUCT 24" X 24" PREFABRICATED CONCRETE BASIN WITH KRISTAR FILTER INSERT.
 - (6) CONSTRUCT 6" PVC DRAINAGE PIPE.
 - (7) CONSTRUCT 4" ASPHALT OVER 6" CLASS II BASE.
 - (8) CONSTRUCT 4" PVC DRAINAGE PIPE.
 - (9) CONSTRUCT TRENCH DRAIN WITH KRISTAR FILTER INSERT.
 - (10) CONSTRUCT TYPE A MASONRY RETAINING WALL PER A.P.W.A. STANDARD PLAN 618-3.
 - (11) CONSTRUCT ASPHALT CURB PER A.P.W.A. STANDARD PLAN 121-2, TYPE D2-6.

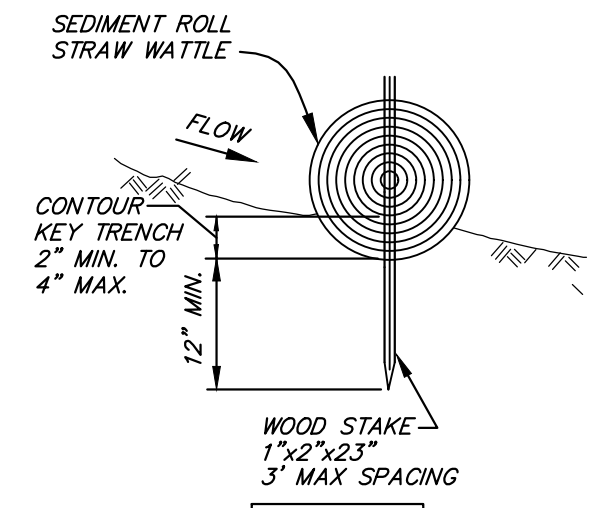




BMP SE-10

3 STORM DRAIN INLET PROTECTION

 N.T.S.



BMP SE-5

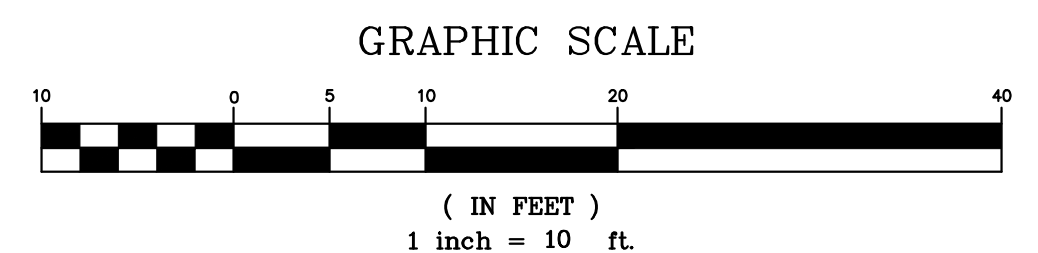
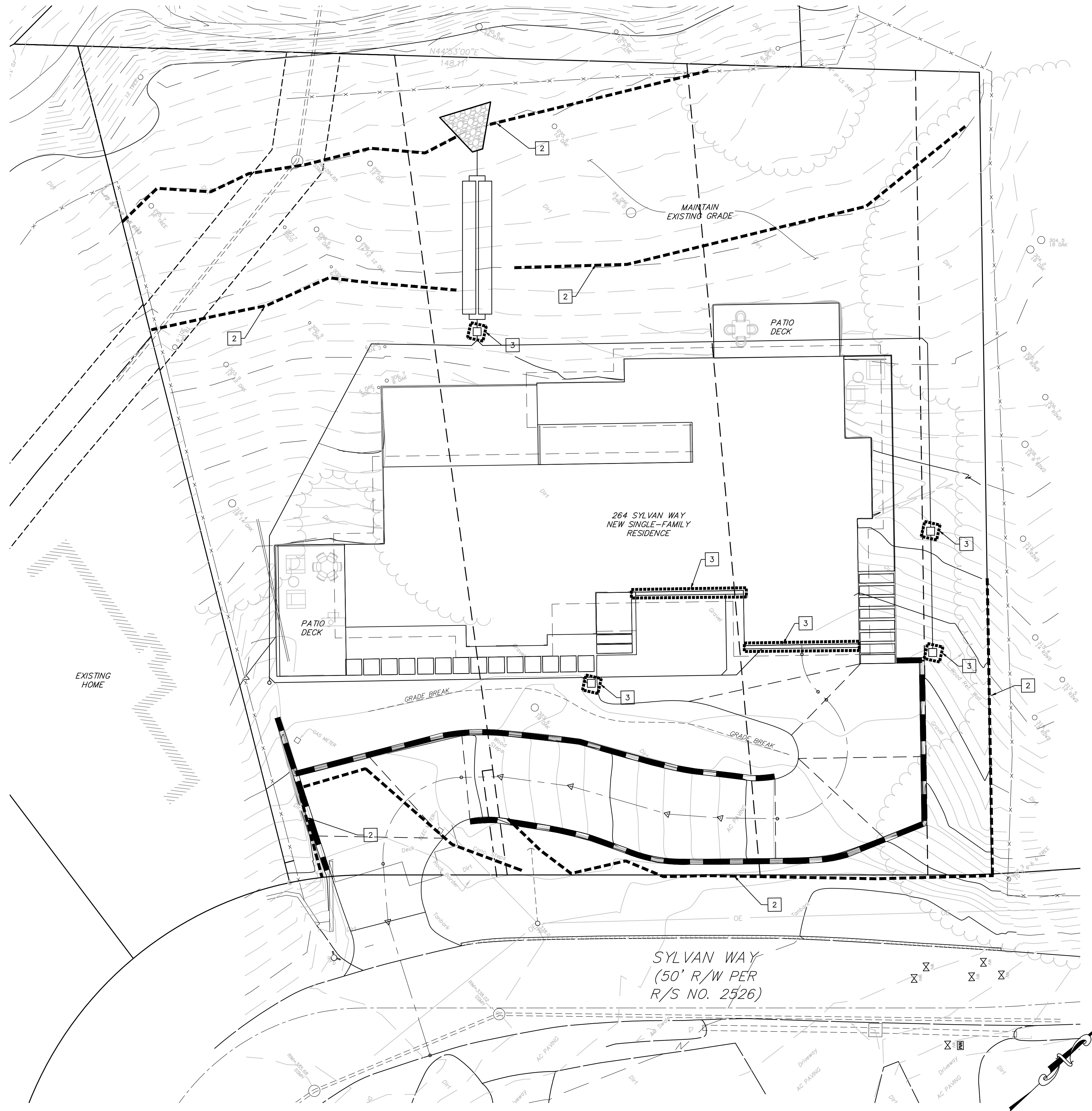
2 FIBER ROLL DETAIL

 N.T.S.

CONSTRUCTION NOTES

- 2 INSTALL FIBER ROLL AT LIMITS OF DISTURBANCE PER CASQA BMP SE-5 AND DETAIL HEREON.
- 3 CONSTRUCT INLET PROTECTION.

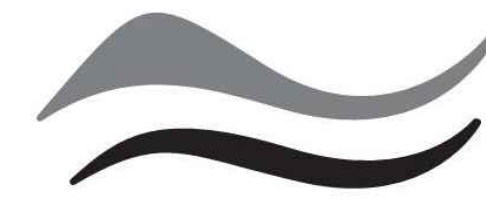
- VEHICLE AND EQUIPMENT FUELING SHALL BE PER CASQA BMP NS-9.
- MATERIAL DELIVERY AND STORAGE SHALL BE PER CASQA BMP WM-1.
- SOLID WASTE SHALL BE DISPOSED OF PER CASQA BMP WM-5.
- NO VEHICLE AND EQUIPMENT CLEANING OR MAINTENANCE SHALL BE DONE ONSITE.



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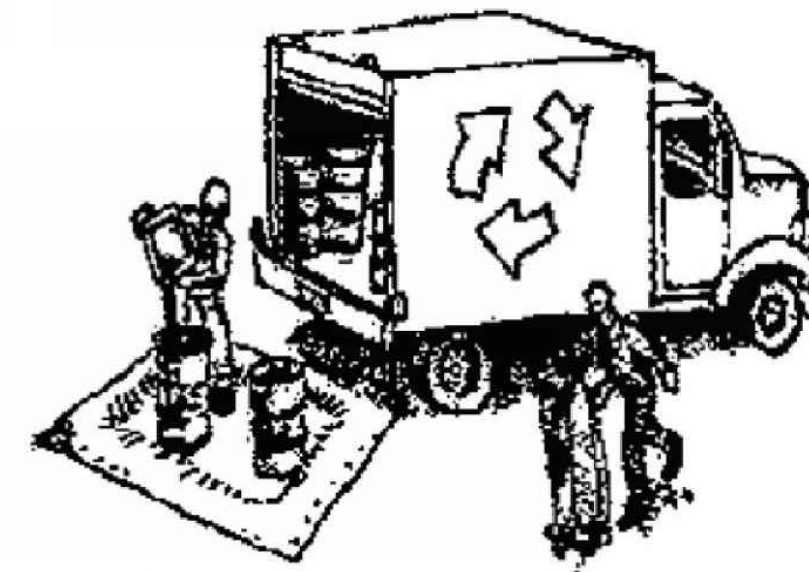


SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
 Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



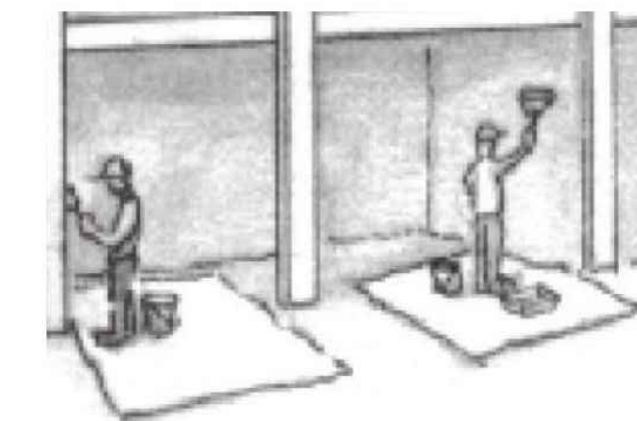
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

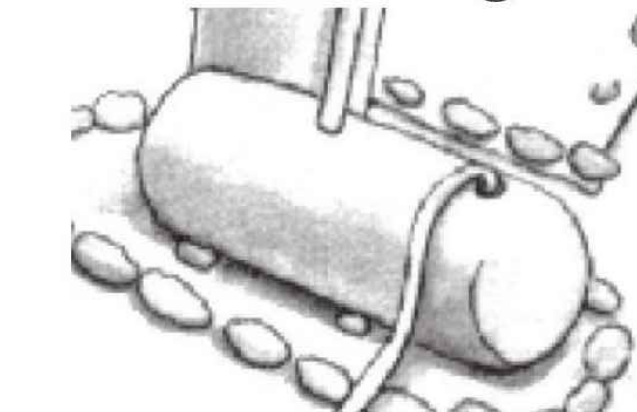
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

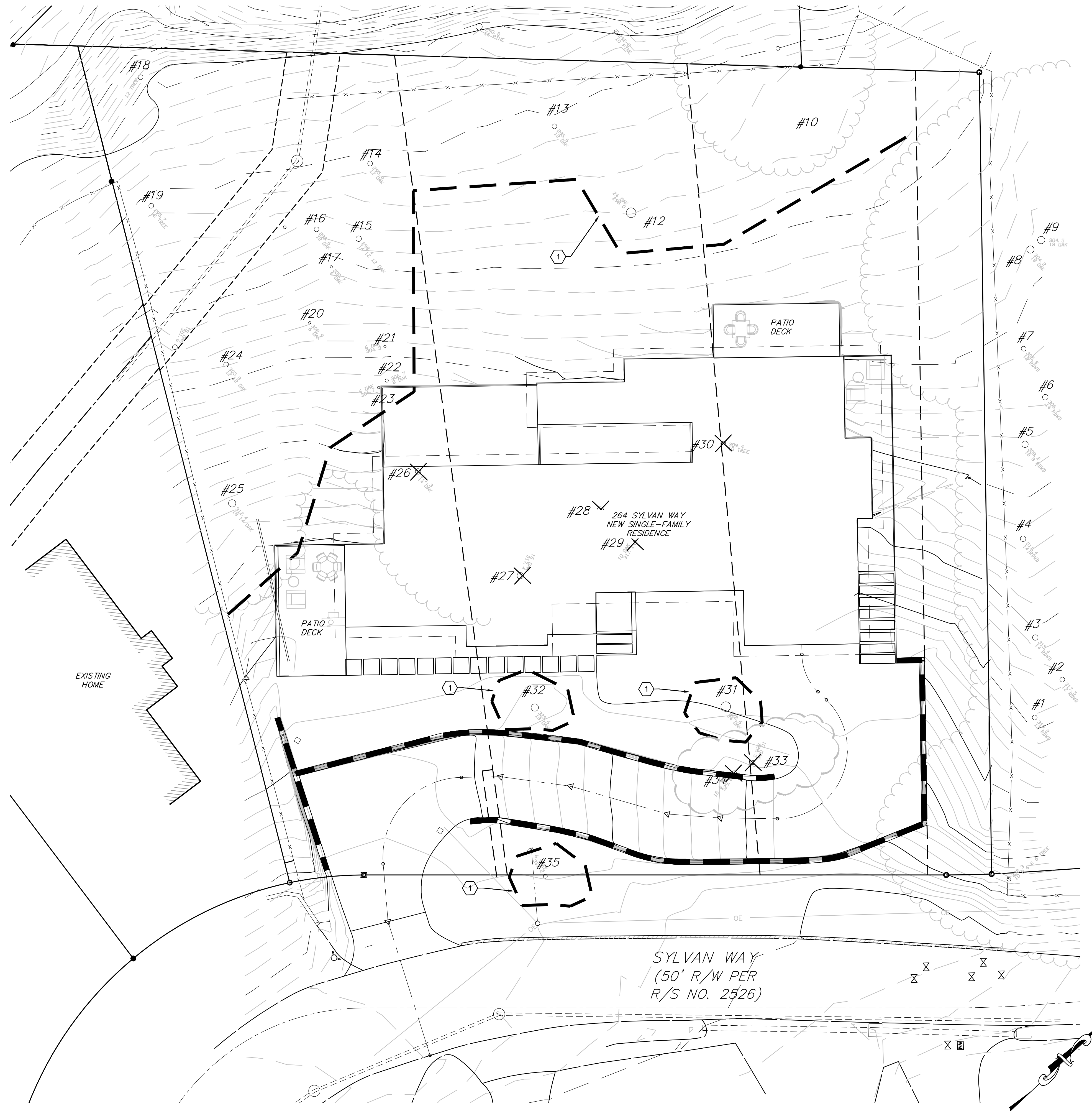
Storm drain polluters may be liable for fines of up to \$10,000 per day!

REVISIONS:	BY:
PLANNING REV 1	MBP
PLANNING REV 2	MBP

PREPARED FOR:

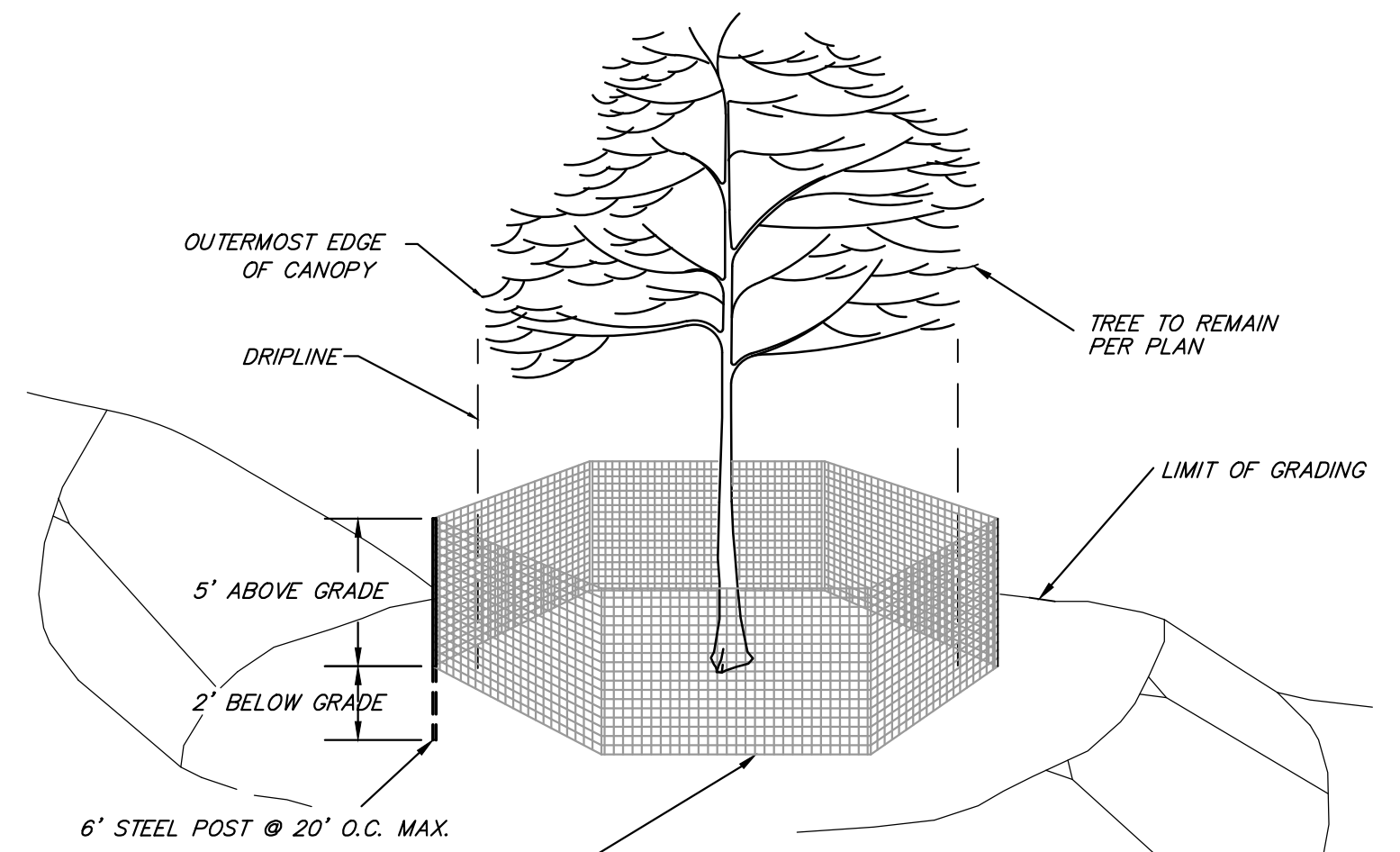
WONG RESIDENCE
 SAN MATEO COUNTYWIDE BMP PLAN SHEET
 THE COMMUNITY OF EMERALD HILLS, SAN MATEO COUNTY, STATE OF CALIFORNIA

Z:\109_RWC\19-2008 Wong Residence\img\09_3008_grade_R4.dwg - Jan 23, 2023 - 3:56pm, mpatroni



TREE NOTES

- THE CALIFORNIA DEPARTMENT OF FORESTRY GIVES THE FOLLOWING GUIDELINES FOR TREES TO BE RETAINED, WHICH SHALL BE FOLLOWED WHEREVER FEASIBLE.
- DO NOT ENCLOSE TREE TRUNKS WITHIN ROOF LINES OR DECKING. AS THE TREE CONTINUES TO GROW FUTURE STRUCTURAL DAMAGE MAY OCCUR AND INJURY MAY OCCUR TO THE TREE.
 - DO NOT PAVE OVER OR ENCASE THE BASE OF TREES IN PLANTERS OR OTHER ENCLOSURES. SUCH ACTIVITIES MAY CHANGE SOIL TEMPERATURE, SOIL MOISTURE CONTENT, COMPACT THE SOIL, DISTURB THE ROOT SYSTEM, INTERFERE WITH OXYGEN EXCHANGE IN THE SOIL, THUS PLACING THE IMPACTED TREE IN A STRESS CONDITION ALLOWING INSECTS AND/OR DISEASE TO ATTACK AND KILL THE TREE.
 - DISPOSE OF CONIFEROUS SLASH WITHIN 15 DAYS AFTER ITS CREATION. THIS MATERIAL IS AN IDEAL BREEDING GROUND FOR INSECT PESTS AND MAY CREATE A FIRE HAZARD.
 - APPLY GRANULAR BORAX TO FRESHLY CUT CONIFER STUMPS THE SAME DAY A TREE IS CUT TO PREVENT GERMINATION OF HARMFUL ROOT DISEASE SPORES.
 - AVOID ROOT SYSTEM UNDERMINING, GRADE CHANGES AND SOIL COMPACTION WITHIN THE DRIFLINE.
 - KEEP UTILITY TRENCHES, DRIVEWAY CUTS, FOOTINGS, AND RETAINING WALLS OUTSIDE THE TREES' DRIFLINE TO MINIMIZE ROOT DISTURBANCE.
 - AVOID BACKFILLING AROUND TREES. THE ORIGINAL GRADE LEVEL SHOULD BE MAINTAINED WITHIN THE DRIFLINE.
 - IF CONSTRUCTION EQUIPMENT MUST BE USED NEAR TREES, PROTECTION SHOULD BE USED TO REDUCE COMPACTION ON THE ROOT SYSTEM AND PHYSICAL DAMAGE TO THE TREE TRUNK.
 - DURING AND AFTER CONSTRUCTION CONSIDER TREATING SELECTED CONIFERS TO PROTECT THEM FROM BARK BEETLE ATTACK WHILE THE TREES ARE IN A WEAKENED CONDITION.
 - AVOID PLACING LAWNS OR WATER-DEPENDENT VEGETATION BENEATH NATIVE ESTABLISHED TREES. EXCESS WATERING IS HARMFUL TO NATIVE TREES.
 - DO NOT HANG UTILITIES OR OTHER HARDWARE ON TREES. THE RESULTING INJURIES MAY ALLOW HARMFUL PESTS TO ENTER THE TREE.





PLASTIC MESH SAFETY FENCING - 5' HIGH TIED SECURELY TO STEEL POSTS AT THE MINIMUM RADIUS FROM TRUNK LISTED IN TREE TABLE AND ENTIRELY OUTSIDE DRIF LINE - **DO NOT ALLOW FENCING TO UNDERCUT CANOPY BETWEEN POSTS.** SEE MONARCH CONSULTING ARBORISTS TREE INVENTORY, ASSESSMENT & PROTECTION PLAN FOR 264 SYLVAN WAY, EMERALD HILLS.

TREES NOTED ON THE PLANS AS TO REMAIN IF POSSIBLE SHALL NOT BE REMOVED UNLESS APPROVED BY OWNER AND CITY.

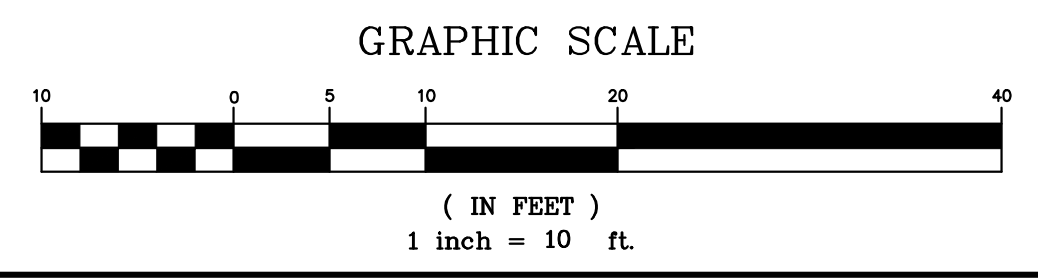
1 TREE PROTECTION DETAIL

NTS

- LEGEND**
-  TREE TO BE REMOVED
 -  TREE PROTECTION PER DETAIL HEREON

CONSTRUCTION NOTES

-  PROTECT EXISTING TREE PER DETAIL HEREON.



CONTRACTOR TO VERIFY FENCING DISTANCE FROM PROTECTED TREE IN FIELD BASED ON DETAIL HEREON.