

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: April 22, 2015

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of 1) the certification of a Mitigated Negative Declaration, 2) Use Permit Renewals and Amendments for Verizon Wireless and AT&T to relocate and continue operating wireless telecommunication facilities, and 3) a Resource Management Permit, a Grading Permit, and Architectural Review to install two new “monopine” cellular antenna poles of 108 ft. and 80 ft. to support the relocation, consolidation and operation of three wireless telecommunication facilities, owned by Verizon Wireless, AT&T, and San Mateo County, including 2,331 cubic yards of grading within Skylawn Memorial Park cemetery located at 100 Lifemark Road in the unincorporated North Skyline Area of San Mateo County. The project is located within the Junipero Serra (I-280) State Scenic Corridor. The Use Permits include a height limit exception for the 108 ft. tall Verizon Wireless/AT&T monopine pole where 36 ft. is the maximum height allowed.

County File Number: PLN 2014-00019 (NSA Wireless)

PROPOSAL

The project applicant, James Singleton of NSA Wireless, proposes on behalf of Verizon Wireless, AT&T, and the County Information Services Department to relocate, consolidate, and operate three existing telecommunication facilities located within Skylawn Memorial Park cemetery to the eastern most ridgeline within the Park. Specifically, the project would (1) co-locate two existing, separate commercial wireless telecommunication facilities (Verizon Wireless and AT&T) onto a new 108-ft. tall “monopine” cellular antenna pole that would be located within a shared 30-ft. x 60-ft. ground equipment area enclosed by a 6-ft. to 8-ft. tall concrete masonry unit retaining wall and chain link fencing; and (2) co-locate a separate existing emergency communication facility owned and operated by the County of San Mateo Information Services Department (County ISD) onto a second new 80-ft. tall “monopine” cellular antenna pole with its own 15-ft. x 30-ft. ground equipment lease area, to be located approximately 60 ft. south of the Verizon and AT&T site. The project would renew and amend current use permits for the commercial facilities (Verizon Wireless and AT&T).

In addition, a height limit exception is being requested pursuant to Section 6405 of the County Zoning Regulations as the proposed height for the Verizon/AT&T monopine antenna pole is 108 ft., where the maximum allowed height in the RM Zoning District is 36 feet. The 80-ft. tall County ISD monopine is not subject to Zoning Regulations, including height limits.

The project would also include the construction of a new 20-ft. wide gravel access road and new landscaping, including tree plantings. A total of 2,331 cubic yards (c.y.) of grading is proposed for the co-location project, including 905 c.y. of cut and 1,426 c.y. of fill to construct the new access road and re-contour and vegetate the downslope side of the new permanently located County ISD facility. The project is located within the Junipero Serra (I-280) State Scenic Corridor.

RECOMMENDATION

That the Planning Commission 1) certify the Mitigated Negative Declaration, 2) approve the Use Permit Renewals and Amendments for Verizon Wireless and AT&T, and 3) approve the Resource Management Permit, Grading Permit, and Architectural Review, County File Number PLN 2014-00019, by making the required findings and adopting the conditions of approval in Attachment A of the staff report.

SUMMARY

The proposed co-location project area encompasses approximately 0.5 acres within the previously approved 42-acre Phase I Project Amendment area of Skylawn Memorial Park, which included approval of 145,000 cubic yards of grading to expand the boundaries of the cemetery's burial grounds.

As a County agency, the County Information Services Department (ISD) is exempt from local zoning regulations; however, it is subject to the County's General Plan and environmental review under the California Environmental Quality Act (CEQA). Therefore, the staff report includes the County ISD facility's compliance with applicable General Plan policies and the facility has been included as part of the project's Initial Study and Mitigated Negative Declaration analysis, but is excluded from the zoning analysis.

The co-location project, as proposed and conditioned, complies with the applicable policies and standards of the General Plan and Zoning Regulations. An Initial Study (IS) and Mitigated Negative Declaration (MND) were prepared and circulated for this project, in compliance with the California Environmental Quality Act (CEQA). The IS and MND conclude that the project, as proposed and mitigated, will not generate any significant environmental impacts. All mitigation measures from the MND have been included as conditions of approval in Attachment A to the staff report.

As proposed and conditioned, the project would reduce adverse impacts to wildlife species through the requirement for pre-construction surveys; include revegetating

disturbed land with native, drought-tolerant landscaping; ensure the implementation of appropriate erosion and sediment control measures to reduce erosion and runoff from the project area and resulting impacts on water quality; and minimize adverse visual impacts from public view corridors, including from the Junipero Serra (I-280) State Scenic Corridor and Highway 92, through design (i.e., “monopine” cellular antenna pole) and landscaping (i.e., new tree and landscape plantings). Additionally, the project is conditioned to comply with the County’s Municipal Regional NPDES Permit for on-site stormwater treatment; the Grading Ordinance for erosion and sediment control, dust control, fire safety, and timing of grading activities; and to ensure that the project does not create any geological instability impacts on the area.

The relocation and operation of Verizon Wireless and AT&T’s facilities comply with the County’s Wireless Telecommunication Facilities Regulations as their shared monopine will not be lighted, proper State and Federal licenses will be obtained to operate, power facilities will continue to be provided by PG&E, visual impacts and sensitive habitat impacts will be reduced to a less than significant level through proper mitigations, and road access will be provided in compliance with San Mateo County Fire standards.

Per Section 6405 of the San Mateo County Zoning Regulations, a Use Permit can allow tower facilities to exceed the height limitation of the established Zoning District. The proposed Verizon Wireless/AT&T monopine cellular antenna pole will reach a maximum height of 108 ft. above ground. The maximum height allowed in the RM Zoning District is 36 ft. Staff believes the benefits provided by the cellular services, for both general customers and for emergency services, along Highway 92 and the surrounding rural area, and the aesthetic and environmental benefits resulting from the facility consolidation, will outweigh any impacts caused by the over-height antennas and pole, particularly after mitigations are imposed.

Furthermore, the project complies with the required finding for a Use Permit in that the project, as proposed and mitigated, would not be detrimental to the public welfare or injurious to property or improvements in said neighborhood. The project may result in potential significant impacts to aesthetics, air quality, biological and cultural resources, geology and soils, climate change, hydrology and water quality, and noise as identified in the IS and MND; however, the recommended mitigation measures from the MND will reduce these project impacts to a less-than-significant level.

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**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: April 22, 2015

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of 1) the certification of a Mitigated Negative Declaration, pursuant to the California Environmental Quality Act, 2) Use Permit Renewals and Amendments, pursuant to Sections 6405 and 6500 of the San Mateo County Zoning Regulations, for Verizon Wireless and AT&T to relocate and continue operating wireless telecommunication facilities, and 3) a Resource Management Permit, pursuant to Section 6313 of the County Zoning Regulations, a Grading Permit, pursuant to Section 8600 of the County Ordinance Code, and Architectural Review, pursuant to Section 261 of the State Streets and Highways Code, to install two new “monopine” cellular antenna poles of 108 ft. and 80 ft. to support the relocation, consolidation and operation of three wireless telecommunication facilities, owned by Verizon Wireless, AT&T, and San Mateo County, including 2,331 cubic yards of grading within Skylawn Memorial Park cemetery located at 100 Lifemark Road in the unincorporated North Skyline Area of San Mateo County. The project is located within the Junipero Serra (I-280) State Scenic Corridor. The Use Permits include a height limit exception for the 108-ft. tall Verizon Wireless/AT&T monopine pole where 36 ft. is the maximum height allowed.

County File Number: PLN 2014-00019 (NSA Wireless)

PROPOSAL

The project applicant, James Singleton of NSA Wireless, proposes on behalf of Verizon Wireless, AT&T, and the County Information Services Department to relocate, consolidate, and operate three existing telecommunication facilities located within Skylawn Memorial Park cemetery to the eastern most ridgeline within the Park. Specifically, the project would (1) co-locate two existing, separate commercial wireless telecommunication facilities (Verizon Wireless and AT&T) onto a new 108-ft. tall “monopine” cellular antenna pole that would be located within a shared 30-ft. x 60-ft. ground equipment area enclosed by an 8-ft. tall concrete masonry unit (CMU) retaining wall (three sides) with chain link fence topping, and a 6-ft. tall chain link fencing along the south side; and (2) co-locate a separate existing emergency communication facility, owned and operated by the County of San Mateo Information Services Department

(County ISD), onto a second new 80-ft. tall “monopine” cellular antenna pole with its own 15-ft. x 30-ft. ground equipment lease area, to be located approximately 60 ft. south of the Verizon and AT&T site (see Enlarged Site Plan, Attachment E). The project would renew and amend current use permits for the following facilities:

Facility Owner	Use Permit	Current Use Permit Expiration Date	New Use Permit Expiration Date
Verizon Wireless	PLN 2006-00271	September 6, 2017	April 22, 2025
AT&T	PLN 1999-00552	March 17, 2021	April 22, 2025
County ISD	Not Required	N/A	N/A

In addition, a height limit exception is being requested pursuant to Section 6405 of the County Zoning Regulations as the proposed height for the Verizon/AT&T monopine antenna pole is 108 ft., where the maximum allowed height in the RM Zoning District is 36 feet. The 80-ft. tall County ISD monopine is not subject to Zoning Regulations, including height limits.

The project would also include the construction of a new 20-ft. wide gravel access road leading from Lifemark Road, at AT&T’s existing telecommunication site, in a northeast direction, to the new co-location area. The new access road would be constructed of Class II base rock (at 95% compaction), and would include a “hammerhead,” or “T”-shaped, fire turnaround at its end, between the Verizon/AT&T site (north side) and County ISD site (south side). Additionally, new landscaping is proposed around the project area and includes the planting of numerous Tanbark Oak, Coast Redwood, and California Wax Myrtle trees (see Planting Plan, Attachment J). A total of 2,331 cubic yards (c.y.) of grading is proposed for the co-location project, including 905 c.y. of cut and 1,426 c.y. of fill to construct the new access road and re-contour and vegetate the downslope side of the new permanently located County ISD facility. The project is located within the Junipero Serra (I-280) State Scenic Corridor. The proposed co-location project is within the previously approved 42-acre Phase I Project Area of Skylawn Memorial Park (see Background Settings discussion).

RECOMMENDATION

That the Planning Commission 1) certify the Mitigated Negative Declaration, 2) approve the Use Permit Renewals and Amendments for Verizon Wireless and AT&T, and 3) approve the Resource Management Permit, Grading Permit and Architectural Review, County File Number PLN 2014-00019, by making the required findings and adopting the conditions of approval in Attachment A of the staff report.

BACKGROUND

Report Prepared By: Summer Burlison, Project Planner; 650/363-1815

Applicant: NSA Wireless, c/o James Singleton

Owner: Northstar Memorial Group

Location: Skylawn Memorial Park, 100 Lifemark Road, North Skyline area

APN: 056-550-020

Parcel Size: 154.19 acres

Parcel Legality: This parcel has been determined by County Planning staff to be legal based on existing permitted development (i.e., cemetery) dating back to a County-issued Use Permit in 1955.

Existing Zoning: Resource Management (RM)

General Plan Designation: Open Space

Existing Land Use: Skylawn Memorial Park cemetery which includes a cemetery, mortuary, and other interment facilities. Accessory uses include the location and operation of three existing wireless telecommunication facilities (Verizon Wireless, AT&T, and County Information Services Department).

Water Supply: Non-potable water for irrigation/landscape management is provided by Coastside County Water District (CCWD); potable water for the cemetery is provided by private domestic on-site wells.

Sewage Disposal: The cemetery is served by private on-site septic system.

Flood Zone: Flood Zone X (area of minimal flood hazard); FEMA Community Panel 06081C0165E, effective October 16, 2012.

Environmental Evaluation: An Initial Study and Mitigated Negative Declaration were prepared and circulated with a public review period from February 18, 2015 to March 9, 2015.

Setting: The 154-acre project parcel is part of a larger 521-acre full-service cemetery known as Skylawn Memorial Park. The Park is located just north of the junction of State Highway 92 (San Mateo Road) and State Highway 35 (Skyline Boulevard) and extends northerly along the ridgeline of the adjacent mountain range. The Park property consists of rolling landscaped hills and canyons.

Undeveloped lands, managed by the San Francisco Public Utilities Commission (SFPUC), border the property to the north and east, and include the 23,000-acre San Francisco State Fish and Game Refuge and Watershed area. Privately-owned land that is generally undeveloped (with the exception of limited agricultural uses) borders a portion of the property to the west. At its closest point, the property is located approximately 0.8 miles to the west of the Crystal Springs Reservoir.

The existing wireless telecommunication facilities are located on the eastern ridgeline of Skylawn Memorial Park, north of the Bai Ling Plaza section of the cemetery (see Attachment O). The co-location project area gently slopes down in a south to southeast direction. The project area is primarily covered with coyote brush. The co-location project area encompasses approximately 0.5 acres within Skylawn Memorial Park's previously approved 35-acre Phase I Project (2011), to expand the boundaries of the cemetery burials, and Skylawn's recently approved Phase I Project Amendment (2014) to add 7 acres; these projects include a total of 100,000 cubic yards of grading for the Phase I Project and 45,000 cubic yards of grading for the Phase I Project Amendment.

Chronology:

<u>Date</u>	<u>Action</u>
March 28, 2013	- Major Pre-Application (PLN 2013-00105) submitted for subject project.
August 28, 2013	- Major Pre-Application public workshop.
January 17, 2014	- Subject Use Permit, RM Permit, Grading Permit, and Architectural Review applications submitted (PLN 2014-00019).
October 14, 2014	- Permit applications deemed complete.
February 18, 2015	- Initial Study and Mitigated Negative Declaration published for 20-day public review period.
March 9, 2015	- Public review period for Initial Study and Mitigated Negative Declaration completed.
April 22, 2015	- Planning Commission public hearing.

DISCUSSION

A. **KEY ISSUES**

Specific components of the County ISD's emergency wireless telecommunication facility (i.e., antennas, microwave dishes, ground equipment) are exempt from the Zoning Regulations, however, these components are subject to the County's General Plan and environmental review under CEQA. Therefore, the staff report includes the County ISD facility's compliance with applicable General Plan policies, and the facility has been included as part of the project's Initial Study and Mitigated Negative Declaration analysis, but excluded from the zoning analysis contained within this staff report.

1. Conformity with the General Plan

Staff has reviewed and determined that the project complies with all of the applicable General Plan Policies, including the following:

a. Vegetative, Water, Fish and Wildlife Resources

Policy 1.23 (*Regulate Development to Protect Vegetative, Water, Fish and Wildlife Resources*) and Policy 1.27 (*Protect Fish and Wildlife Resources*) seek to regulate land uses and development activities to prevent and/or mitigate to the extent possible, significant adverse impacts on vegetative, water, fish and wildlife resources.

The project disturbs approximately 0.5 acres within Skylawn Memorial Park's previously approved 42-acre Phase I Project Amendment area. Based on previous biological analysis under Skylawn's Phase I Project, the project area is highly disturbed and does not contain any special-status plant species.

According to previous biological analysis under Skylawn's Phase I Project, several special-status wildlife species that have the potential to occur in the area could be impacted by the project, including California red-legged frog, San Francisco garter snake, San Francisco dusky-footed woodrat, and hoary bats. Raptors and other common bird species protected by the Migratory Bird Treaty Act and/or California Fish and Game Code could also nest on or near the site. Mitigation Measures 6 through 8 from the Mitigated Negative Declaration (Attachment Q) require pre-construction wildlife surveys to ensure that potential project impacts on any special-status wildlife species are minimized. These mitigation measures have been included as Condition of Approval Nos. 50 through 52. There are no creeks, streams, or wetlands on or near the co-location project area.

b. Soil Resources

Policy 2.17 (*Regulate Development to Minimize Soil Erosion and Sedimentation*) and Policy 2.23 (*Regulate Excavation, Grading, Filling, and Land Clearing Activities Against Soil Erosion*) seek to minimize grading; soil erosion and sedimentation, including but not limited to ensuring disturbed areas are stabilized; and protecting and enhancing natural plant communities and nesting and feeding areas of fish and wildlife.

The project involves 2,331 cubic yards (c.y.) of grading, including 905 c.y. of cut and 1,426 c.y. of fill to construct a new access road and re-contour the downslope side of the new permanently relocated

County ISD facility. The new access road would be located on a gentle downhill slope. The applicant has provided conceptual erosion control plans, prepared by PDC Corporation, that includes measures such as a temporary stabilized construction entrance, fiber rolls, hydroseed and revegetation, and general Best Management Practices to minimize the transport of sediment runoff from the immediate project site. Furthermore, Mitigation Measures 5, 12, 13, 15, and 17 - 20 from the Mitigated Negative Declaration (MND) have been included as Condition of Approval Nos. 49, 56, 57, 59, and 61 - 64, respectively, for additional measures to be implemented to further minimize erosion and runoff from the project area and ensure grading and erosion control are completed as approved.

c. Visual Quality

Policy 4.15 (*Appearance of New Development*), Policy 4.21 (*Utility Structures*), Policy 4.22 (*Scenic Corridors*), Policy 4.24 (*Rural Development Design Concept*), Policy 4.25 (*Location of Structures*), Policy 4.26 (*Earthwork Operations*), Policy 4.28 (*Ridgelines and Skyline*), and Policy 4.32 (*Roads*), along with the Architectural Design Standards for Rural Scenic Corridors and Site Planning Policies for Rural Scenic Corridors seek to regulate development to promote and enhance good design, site relationships and other aesthetic considerations; minimize the adverse visual quality of utility structures, including by clustering utilities; protect and enhance the visual quality of scenic corridors; minimize grading; allow structures on open ridgelines and skylines as part of a public view when no alternative building site exists; locate and develop roads so that they integrate well with the physical environment; screen storage areas with fencing, landscape or other means; and install new distribution lines underground.

The project area lies just inside the western boundary of the Junipero Serra (I-280) State Scenic Corridor, approximately 1.5 miles west of Highway I-280 (see Attachment C). The relocated wireless telecommunication facilities will be on the east edge of the eastern ridgeline of Skylawn Memorial Park, in an area that supports a previously-operated wireless telecommunication facility (decommissioned in 2013). This proposed co-location area is visible from public viewpoints along Skyline Boulevard (south of Highway 92), approximately 0.7 miles away, and from various viewpoints within the San Francisco Public Utilities Commission (SFPUC) Crystal Springs Reservoir area and by-passing vehicles on I-280 (see Photo Simulations, Attachment N). The proposed co-location area will allow the facilities to utilize existing utility connection points and ensure that the relocated facilities will not conflict with Skylawn's Phase I Project

to expand the burial ground boundaries. The existing wireless telecommunication facility sites will be redeveloped with landscape and improvements planned under Skylawn's Phase I Project.

The "monopine" antenna poles are designed to help minimize adverse visual impacts of the utility structures from public viewpoints and are intended to blend in with the greater surrounding rural, tree-populated, rolling hill environment. Additionally, the consolidated monopines will be more aesthetically pleasing to visitors of the cemetery than the existing spread-out telecommunication facilities that are supported on bulky industrial utility structures (i.e., lattice towers). The antennas and equipment mounted to the monopines will be painted green to match the faux branches. Tree plantings, including Tanbark Oak, Coast Redwood, and California Wax Myrtle trees, are proposed around the project area and along the new access road to help create a more natural looking environment and to prevent the monopines from standing out along the skyline. Supporting equipment shelters to house equipment cabinets, utility panels, pull boxes, and other accessory equipment will include a shared 30-ft. x 60-ft. ground equipment area enclosed by 6-ft. to 8-ft. tall concrete masonry unit retaining walls and chain link fencing (for Verizon Wireless and AT&T) and a separate 15-ft. x 30-ft. ground equipment lease area to support the County ISD facility. Both equipment lease areas would be visible from public views; however, their visual impacts would be minimized due to their distances from public viewpoints and from new landscaping proposed around the lease areas. All supporting utility (electrical, telecommunication and data communication) distribution lines will be installed underground. Mitigation Measures 1 - 4 of the MND have been included as Condition of Approval Nos. 45 - 48 to reduce any adverse visual impacts from any public view corridors to a less than significant level.

d. Historical and Archaeological Resources

Policy 5.20 (*Site Survey*) and Policy 5.21 (*Site Treatment*) require that appropriate precautions be taken to avoid damage to historical or archaeological resources.

The project area consists of several existing wireless telecommunication facilities that were permitted and constructed post 1985, therefore, no historical resources will be impacted. Based on archaeological reconnaissance under Skylawn's Phase I Project, there are no known cultural or archaeological resources within the project area as the area shows evidence of previous disturbance. Nonetheless, Mitigation Measures 10, 11, and 14 from the MND have been included as Condition of Approval Nos. 54, 55, and 58 to

minimize the potential impact to any unknown archaeological resource within the project area during proposed earthwork activities.

e. Rural Land Use

Policy 9.42 (*Development Standards for Land Use Compatibility in General Open Space Lands*) seeks to locate development in areas of parcels which cause the least disturbance to scenic resources and best retain the open space character of the parcel. See staff's discussion in Section A.1.c. above.

f. Water Supply

Policy 10.25 (*Efficient Water Use*) encourages the efficient use of water supplies through effective conservation methods. The project involves the installation of irrigation to serve new landscaping in the project area. All new irrigation will be served by Skylawn through their non-potable water source supplied by the Coastside County Water District. The increase in non-potable water supply for the proposed co-location project will be negligible.

2. Conformity with the Zoning Regulations

The project site is located within the Resource Management (RM) Zoning District. The RM Zoning Regulations require a RM Permit for the location of utility structures, pursuant to Section 6313 of the County Zoning Regulations. Therefore, the proposed project is subject to the issuance of a RM Permit and must comply with the applicable development standards and criteria contained in Chapter 20A and Chapter 20A.2, respectively, of the County Zoning Regulations, as discussed in subsections (a) and (b) below:

a. Resource Management Development Standards

The following table summarizes the project's conformance with Section 6319(A)(B) of the RM Zoning District Regulations:

RM Development Standards		
	Required	Proposed
Minimum Setbacks		
Front	50 ft.	± 0.45 miles
Rear	20 ft.	± 0.7 miles
Right Side	20 ft.	50 ft.
Left Side	20 ft.	± 0.16 miles
Maximum Height	36 ft.	*108 ft. (Verizon and

RM Development Standards		
	Required	Proposed
		AT&T) **80 ft. (County ISD)
<p>*New monopine antenna pole for Verizon and AT&T. The Use Permit includes a height limit exception.</p> <p>**County ISD facility is not subject to Zoning Regulations.</p>		

The maximum allowed height limit in the RM Zoning District is 36 feet. The Verizon/AT&T monopine antenna pole is proposed at 108 ft. with antennas and microwave dishes being mounted at heights of up to 95 ft. above ground. Section 6405 of the County Zoning Regulations allows a height exception for towers, radio towers, and similar structures to be built and used to a greater height than the limit established for the surrounding zoning district upon securing a use permit. Thus, the applicant's request for a use permit includes a height limit exception to exceed the maximum height limit allowed in the RM Zoning District.

b. Resource Management Development Criteria

- (1) Section 6324.1 (*Environmental Quality Criteria*) and Section 6324.4 (*Water Resources Criteria*) seek to minimize air pollutants, long-term noise levels, and adverse impacts on primary wildlife habitat areas; and ensure proper management of surface water runoff and erosion and sedimentation processes to assure stability of downstream aquatic environments.

Aside from temporary construction and grading activities, the project will not increase air pollutants or introduce long-term noise levels to the area. As discussed in Section A.1.a. (*Vegetative, Water, Fish and Wildlife Resources*) of this staff report, Condition of Approval Nos. 50 - 52 (Mitigation Measures 6 - 8 from the MND) are included to minimize any potential adverse project impacts on wildlife habitat.

The project will generate increased surface water runoff and erosion and sediment from the construction of a new access road and grading activities. Therefore, Condition of Approval Nos. 49, 56, 57, and 61 - 65 (Mitigation Measures 5, 12, 13, and 17 - 21 from the MND) have been included to ensure that the project has minimal adverse impacts on water quality. Furthermore, Condition of Approval No. 14 has been included to ensure that the project area is revegetated with native, drought-

tolerant landscaping that blends with the surrounding environment.

- (2) Section 6324.2 (*Site Design Criteria*), Section 6324.3 (*Utilities*), and Section 6325.1 (*Primary Scenic Resources Areas Criteria*) seek to ensure that development is designed to fit its environment; protect and enhance public views within and from Scenic Corridors; minimize adverse impacts from noise, light and glare; prevent development from contributing to the instability of the parcel or adjoining lands; minimize the bulk and height of utility structures; employ colors and materials which blend with the surrounding soil and vegetative cover of the site; and ensure that development visible from Scenic Corridors is located and designed to minimize interference with ridgeline silhouettes.

Aside from temporary construction and grading activities, the project will not result in long-term noise, light or glare. See Section A.1.c. (*Visual Quality*) for staff's discussion of the project's compliance relative to visual quality criteria.

As identified in the project's geotechnical investigation report by Mid Pacific Engineering, Inc. (MPE), the project will be located in an area of potential geological instability, particularly for landslides, soil erosion, and expansive soils. Earthwork associated with the project will include shallow, braced excavations, which is expected to minimize the likelihood for landsliding at the site. A conceptual erosion control plan has been submitted for the project to help ensure that soil erosion impacts are minimized, and geotechnical recommendations from MPE, such as the use of moisture conditioning slab subgrade soils and reinforced equipment shelter foundations and slabs, will help to minimize instability in the area from expansive soils. Condition of Approval No. 59 (Mitigation Measure 15 from the MND) has been included to reduce any project impacts on the geological stability of the project site or surrounding area. Furthermore, the County Geotechnical Section has reviewed and conditionally approved the project.

c. Wireless Telecommunication Facilities Regulations

Staff has reviewed the proposal for renewal and amendment of current use permits for the Verizon Wireless (PLN 2006-00271) and AT&T (PLN 1999-00552) facilities against the Wireless Telecommunication Facilities Regulations and determined that the project complies with

the applicable standards as discussed below. The County ISD facility is exempt from the requirements of these regulations.

(1) Development and Design Standards

Section 6512.2.A prohibits new wireless telecommunication facilities in a sensitive habitat, as defined by Policy 1.8 of the General Plan (*Definition of Sensitive Habitats*), for facilities proposed outside of the Coastal Zone.

As discussed in Section A.1.a. (*Vegetative, Water, Fish and Wildlife Resources*), there is the potential for several special-status wildlife species to occur in the project area. Mitigation measures from the MND that require pre-construction surveys prior to ground-breaking activities have been included as conditions of approval to ensure that potential project impacts to any special-status wildlife species are minimized.

Section 6512.2.D requires new facilities to be constructed to support co-location, unless technologically infeasible.

The project involves consolidating separate existing wireless telecommunication facilities located at Skylawn Memorial Park into one area. The existing Verizon and AT&T facilities are located approximately 220 ft. away from each other on the east side of Lifemark Road. The project includes the relocation of Verizon and AT&T onto a new 108-ft. tall monopine cellular antenna pole located within a shared ground equipment lease area.

The applicant has attempted to reach out to other known wireless telecommunication service providers operating within the County (i.e., Sprint and T-Mobile) to determine their interest in co-locating at the subject project site; however, no response from other carriers has been received. Formerly, Sprint/Nextel operated a wireless telecommunication facility at Skylawn Memorial Park, in the location of this proposed co-location project. Their facility consisted of a 90-ft. tall monopole supporting six antennas with a 200 sq. ft. ground equipment building. Sprint/Nextel's facility was decommissioned in 2013 and is planned to be removed prior to April 30, 2015.

Section 6512.2.E - G seek to minimize and mitigate visual impacts from public views by screening facilities with landscaping consisting of non-invasive and/or native plant materials; painting equipment to blend with the existing

landscape colors; designing facilities to blend in with the surrounding environment; and requiring facilities to be constructed of non-reflective materials. Attempts to replicate trees or other natural objects shall be used as a last resort.

To reduce the visual impacts of the relocated facilities from public views, the Verizon/AT&T monopine cellular antenna pole is proposed along with new tree plantings to help the facility blend into the natural rural setting of the area and prevent the monopine from standing out from ridgeline viewpoints along Skyline Boulevard (south of Highway 92) and skyline viewpoints along I-280. See Section A.1.c. (*Visual Quality*) for further discussion. Condition of Approval No. 46 (Mitigation Measure 2 of the MND) has been included to ensure the monopine is maintained. A tree-like structure is proposed to camouflage the antenna pole as a last resort due to the heights of the facility equipment, including mounted antennas, as new tree plantings would not alone effectively screen the facilities within a reasonable period of time after installation. Furthermore, a typical steel “monopole” design would be less compatible with the surrounding rural environment than the proposed monopine design. Condition of Approval No. 12 has been included to ensure that the cellular facilities and monopine are painted to match the surrounding landscape and environment, and that finished colors and materials are non-reflective.

Section 6512.2.H requires new facilities to comply with all of the requirements of the underlying zoning district.

Refer to Section A.2 above.

(2) Performance Standards

The project, as proposed and conditioned, meets the required performance standards of Section 6512.3 for lighting, licensing, provision of a permanent power source, timely removal of the facilities, and visual resource protection. There is no lighting proposed on the monopine antenna pole, proper licenses will be obtained from both the FCC and CPUC, power for the facilities will be provided by PG&E, visual impacts will be reduced to a less than significant level through design and proper mitigations, and conditions of approval require maintenance and/or removal of the facilities when necessary. Furthermore, road access to the co-location area will be provided via a new access road from

Lifemark Road and will include a fire access turnaround in compliance with San Mateo County Fire standards.

d. Use Permit Regulations

Under the provisions of Section 6500 (*Use Permits*), wireless telecommunication facilities may be permitted in the RM Zoning District upon issuance of a use permit. In order for the Planning Commission to approve the use permit, which includes an exception for the 108-ft. tall Verizon/AT&T monopine to exceed the height limit of the underlying zoning district (Section 6405), the findings of the Planning Commission must include:

“That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.”

The project involves the relocation of existing commercial wireless telecommunication facilities (Verizon Wireless, AT&T) that have been in operation under (separate) use permits since 1999 and have remained in compliance since their original establishment. The proposed relocation of the facilities will allow their antennas and equipment to be consolidated in the eastern portion of the 154-acre parcel and will eliminate any conflict with Skylawn Memorial Park’s approved burials expansion. The existing surrounding rural area minimizes potential impacts to residences or businesses. The proposed “monopine” structure and proposed tree plantings and landscaping will reduce the otherwise industrial appearance of these utilities.

A radio frequency (RF) report prepared by Hammett & Edison, Inc. (Attachment P) confirms that the telecommunication facilities will comply with Federal Communications Commission (FCC) guidelines limiting public exposure to RF energy due to the facilities being located in a rural area with limited public access and based on the mounting heights of the antennas on the monopine.

The Use Permit includes an exception for the monopine to exceed the height limitation of the RM Zoning District as the monopine cellular antenna pole will reach a maximum height of 108 ft. above ground. The maximum height allowed in the RM Zoning District is 36 ft. The facilities provide service and network coverage to private citizens and public agencies for daily business, conversations, and also for emergency situations along Highway 92 and the surrounding rural

area. In order to provide continuous cellular coverage given the surrounding topography, the proposed height in excess of what is otherwise allowed under the zoning district is necessary. Staff believes the benefits provided by the cellular services, for both general customers and for emergency services, and the aesthetic and environmental benefits of facility consolidation, will outweigh any impacts caused by the over-height antennas and pole, particularly after mitigations are imposed.

As determined in the Initial Study and Mitigated Negative Declaration, the project may result in potential significant impacts to aesthetics, air quality, biological and cultural resources, geology and soils, climate change, hydrology and water quality, and noise. Mitigation measures from the MND have been included as conditions of approval to reduce these project impacts to a less than significant level. Furthermore, the project would not result in damage to coastal resources, as the project site is not located in the Coastal Zone. Therefore, staff has determined that the project, as proposed, mitigated and conditioned, will not be detrimental to the public welfare, or injurious to property or improvements in the neighborhood.

3. Compliance with Conditions of Last Use Permit Approvals

Staff has reviewed the previous use permit conditions of approval for Verizon Wireless (PLN 2006-00271), last approved September 6, 2007, and AT&T (PLN 1999-00552), last approved March 17, 2011, and have determined that the commercial carriers are in compliance with all previous conditions (see Attachments R and S, respectively). Previous conditions for each carrier would be superseded by the conditions of approval in Attachment A.1 of this staff report.

4. Conformity with the Grading Ordinance

The project involves approximately 0.5 acres of land disturbance and 2,331 cubic yards (c.y.) of grading, including 905 c.y. of cut and 1,426 c.y. of fill, to construct a new access road and re-contour the downslope side of the new permanently relocated County ISD facility. The project site is located within the Junipero Serra (I-280) State Scenic Corridor. Therefore, per Section 8604.3 of the Grading Regulations, the grading permit is subject to review by the Planning Commission. In order to approve this project, the Planning Commission must make the required findings contained in the Grading Regulations. The findings and supporting evidence are discussed below:

- a. **That the project will not have a significant adverse effect on the environment.**

The proposed grading is necessary to implement the project. Per the IS and MND, project grading has the potential to result in significant sedimentation or soil erosion and impacts to water quality. Mitigation Measure 5 (Condition No. 49) requires the submittal of a dust control plan that includes “Basic Construction Mitigation Measures” from the Bay Area Air Quality Management District’s California Environmental Quality Act Guidelines (May 2011) to minimize dust impacts to the area from project grading and construction activities. Mitigation Measure 17 (Condition No. 61) requires the submittal of an erosion and sediment control plan, prior to the start of grading, to include additional stormwater pollution prevention measures than those shown on the conceptual erosion control plan, and to demonstrate compliance with the San Mateo Countywide Water Pollution Prevention Program “General Construction and Site Supervision Guidelines.” Mitigation Measure 19 (Condition No. 63) requires the applicant to limit project grading to the dry season (May 1 to September 30); and Mitigation Measure 20 (Condition No. 64) requires the project engineer to monitor erosion control measures throughout the duration of the project. Implementation of mitigation measures from the MND will ensure project impacts to water quality are reduced to a less than significant level.

In addition, the County’s Geotechnical Section and the Department of Public Works have reviewed and approved the project with conditions. Therefore, staff has determined that the project, as proposed and conditioned, will not have a significant adverse impact on the environment. For a detailed discussion of potential environmental impacts associated with the project, including aesthetics, air quality, biological resources, cultural resources, geology/soils resources, climate change, hydrology/water quality, and noise, please refer to Attachment Q. Mitigation measures of the MND have been incorporated as Condition Nos. 45 - 65 in Attachment A.

- b. That the project conforms to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 8605.**

The project, as proposed, mitigated and conditioned, conforms to standards in the Grading Ordinance, including those relative to erosion and sediment control, dust control, fire safety, and the timing of grading activity. The project plans have been reviewed and approved by both the County’s Geotechnical Section and the Department of Public Works. Conditions of approval have been included in Attachment A to ensure compliance with the County’s Grading Ordinance.

c. That the project is consistent with the General Plan.

The General Plan land use designation for the property is Open Space. As proposed and conditioned, the project complies with applicable General Plan policies, as discussed in Section A.1 of this report.

5. Conformity with the Architectural Review Standards

The project requires Architectural Review approval by the Planning Commission because the project site is located within the Junipero Serra (I-280) State Scenic Corridor. Conformity with the applicable General Plan Visual Quality Policies governs the architectural review portion of this project. See Section A.1.c. (*Visual Quality*) of the staff report for further discussion of the project's compliance with the General Plan Visual Quality Policies and therefore, the State Scenic Corridor provisions for the Junipero Serra State Scenic Corridor.

B. ENVIRONMENTAL REVIEW

An Initial Study (IS) and Mitigated Negative Declaration (MND) have been prepared and circulated for this project, in compliance with the California Environmental Quality Act (CEQA). The public comment period commenced on February 18, 2015 and ended on March 9, 2015. Mitigation measures have been included as conditions of approval in Attachment A. No comments were received during the 20-day public review period. However, a comment letter from the San Francisco Public Utilities Commission (SFPUC) dated March 5, 2015 was received via U.S. mail on March 11, 2015 (see Attachment T). Below is a summary of the comments with staff's response:

Comment 1 (Section 1 - Aesthetics): The SFPUC commends the project proponents for consolidating the number of antenna poles from three to two within the Junipero Serra State Scenic Corridor as this will reduce the visual impacts on the scenic corridor. However, the monopines are counterproductive to the goal of minimizing visual impacts because the monopines are oversized and look artificial. The MND lacks discussion of the size of these monopines relative to the existing vegetation located near the proposed antenna site. The monopines are almost twice the size of vegetation in the adjacent area and would stick out from a prominent hillside. Given their unusual scale on a ridge that is visible from the public view corridor, including public trails on the Peninsula Watershed and Interstate 280, the SFPUC would like the project proponent to reconsider the monopine poles.

Staff's Response: The height of the monopines, at 108 ft. and 80 ft., are the minimum heights necessary to allow for consolidated co-location of the commercial carriers, Verizon Wireless and AT&T, on the 108-ft. tall monopine and

for these commercial carriers, and the County ISD, to provide uninterrupted service coverage for the Highway 92 corridor and surrounding rural areas. Given the hilly topography of the coverage area and extent of service area being covered by these facilities, the subject co-location site has been determined the most suitable location to avoid service coverage gaps.

The co-location site is located on the southern facing downslope side of the eastern ridgeline of Skylawn Memorial Park, with a ground elevation of approximately 1,130 ft. Highway 280 is located approximately 1.4 miles east of the project site, at an approximate elevation of 420 ft. The Crystal Springs Regional Trail and Cahill Ridge Trail are both located within the SFPUC's Peninsula Watershed lands (see Attachment U). The Crystal Springs Regional Trail is located approximately 1.3 miles away from the project site, downhill from the ridge at an elevation of approximately 340 ft., and the Cahill Ridge Trail is located approximately 0.6 miles away from the project site, at an elevation of approximately 380 ft. Surrounding topography and vegetation between these public viewpoints and the project site include steeply upsloped hills and dense vegetation and tree canopies. While monopines can look artificial when closely compared to live trees, the distances away from public viewpoints would make the visual distinction between the monopines and surrounding live trees difficult.

Comment 2 (Section 6 - Geology and Soils; Section 9 - Hydrology and Water Quality): The SFPUC concurs with Mitigation Measure 17 which limits the potential effects of erosion. With respect to Mitigation Measure 19 which provides an exception to do earthwork activity during the wet weather, the SFPUC would prefer that all earthwork and grading activities be restricted to dry weather and as a condition of any grading or construction permit that the project proponent notify the SFPUC of any earthwork and grading activities at least 48 hours in advance. This will give the SFPUC an opportunity to send staff to the watershed lands adjacent to the construction zone to monitor any potential runoff from the construction site to SFPUC watershed lands.

Staff's Response: Mitigation Measure 19 prohibits grading activity within the wet season (October 1 to April 30) to avoid potential soil erosion unless approved in advance by the Community Development Director. Given the SFPUC's concern for earthwork and grading activities to be conducted in the wet season, and based on the Community Development Director's previous denial for Skylawn Memorial Park to start earthwork and grading activities during the wet season for their Phase I Project to expand the burial grounds in the same project area, staff has revised the Mitigation Measure 19 (Condition of Approval No. 63) to prohibit grading activity during the wet season. Furthermore, staff has included Condition of Approval No. 30 to require the applicant to notify the SFPUC of any earthwork or grading activities at least 48 hours in advance.

Furthermore, updates to the County ISD's proposed facility include increasing the mounting heights of the antennas and microwave dishes on the newly proposed

80-ft. tall monopine antenna pole. As described in the MND that was circulated for public review, the County's facility was proposed to include seven antennas and three microwave dishes attached to an 80-ft. tall monopine at varied heights above ground ranging from Radiation (RAD) center lines of 25 ft. to 75 ft. above ground. Updated plans received since the publishing of the IS and MND identify four antennas (decreased from seven) and three microwave dishes (no change) attached to the 80-ft. tall monopine at varied heights ranging from 45 ft. to 77 ft. above ground, a height increase of 20 ft. for the antennas and microwave dishes.

While the County ISD is exempt from the Zoning Regulations, they are subject to environmental review under the California Environmental Quality Act. Therefore, the County ISD's facility was included in the analysis of the project's IS and MND.

Pursuant to Section 15073.5 (*Recirculation of a Negative Declaration Prior to Adoption*) of CEQA, the above changes are not considered a "substantial" revision requiring recirculation of the MND as no new avoidable significant effects have been identified that require additional mitigation measures to reduce the effect to an insignificant level, and no new unavoidable significant effects have been identified. Planning staff has analyzed the potential environmental effects of the above-described changes and have determined that the changes do not result in new significant environmental effects nor increase the level of any previously identified potential effect for which an already identified mitigation is not already proposed.

C. REVIEWING AGENCIES

Project referrals were sent to the agencies listed below. All agencies have approved the project. Any conditions of approval have been included in Attachment A under the appropriate agency.

San Mateo County Building Inspection Section
San Mateo County Department of Public Works
San Mateo County Geotechnical Section
San Mateo County Environmental Health Division
San Mateo County Fire Department
San Mateo County Information Services Department

A copy of the Initial Study (IS) and Mitigated Negative Declaration (MND) were distributed to the below list of interested parties at the commencement of the public review period. No comments were received during the 20-day public review period (February 18, 2015 to March 9, 2015) for the IS and MND. One comment letter dated March 5, 2015 was received from the SFPUC via U.S. mail on March 11, 2015 (see Section B of the staff report).

Northstar Memorial Group, LLC, Attention: Rick Miller, Rich McCown (Property Owner)

NSA Wireless, for Verizon Wireless, Attention: James Singleton (Project Applicant)
AT&T, Attention: Misako Hill, Jerome Marcus
Golden Gate National Recreation Area, Attention: Christine Fitzgerald
Bay Area Ridge Trail Council, Attention: Bern Smith
Coastside County Water District, Attention: Glenna Lombardi
San Francisco Public Utilities Commission, Attention: Joanne Wilson
Committee for Green Foothills, Attention: Lennie Roberts
County ISD, Attention: Steve Salinas

ATTACHMENTS

- A. (1) Recommended Findings and Conditions of Approval for Verizon Wireless and AT&T
- (2) Recommended Findings and Conditions of Approval for County ISD
- B. Vicinity Map
- C. Scenic Corridor Overlay
- D. Site Survey Plans, Sheets C-1, C-2
- E. Enlarged Site Plan, Sheet A-2
- F. Lease Area Compound Plan, Sheet A-3
- G. Antenna Plan, Sheet A-4
- H. Elevation Plans, Sheet A-5, A-6
- I. Grading Plans, GP-1, GP-2, GP-3
- J. Planting and Irrigation Plans, L-1, L-2, respectively
- K. Planting Detail Plan and Irrigation Detail Plan, Sheets L-3, L-4
- L. Erosion Control Plans, Sheets ECP-1, ECP-2
- M. Drainage Plan, ECP-3
- N. Photo Simulations
- O. Photos of Existing Wireless Telecommunication Facilities
- P. Radio Frequency Report by Hammett and Edison, Inc., dated October 9, 2014
- Q. Initial Study and Mitigated Negative Declaration, without attachments (all attachments are available at the Planning Counter)
- R. Previous Verizon Wireless (PLN 2006-00271) Findings and Conditions of Approval, dated September 6, 2007
- S. Previous AT&T (PLN 1999-00552) Findings and Conditions of Approval, dated March 17, 2011
- T. MND Comment Letter from SFPUC, dated March 5, 2015
- U. SFPUC Peninsula Watershed Trails Map, dated January 16, 2015

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County of San Mateo
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL FOR
VERIZON WIRELESS AND AT&T**

Permit or Project File Number: PLN 2014-00019

Hearing Date: April 22, 2015

Prepared By: Summer Burlison
Project Planner

For Adoption By: Planning Commission

RECOMMENDED FINDINGS FOR VERIZON WIRELESS AND AT&T

For the Environmental Review, Find:

1. That the Initial Study and Mitigated Negative Declaration are complete, correct and adequate and prepared in accordance with the California Environmental Quality Act (CEQA) and applicable State and County Guidelines. An Initial Study and a Mitigated Negative Declaration were prepared and issued with a public review period from February 18, 2015 to March 9, 2015.
2. That, on the basis of the Initial Study, comments received hereto, and testimony presented and considered at the public hearing, there is no substantial evidence that the project, if subject to the mitigation measures contained in the Mitigated Negative Declaration, will have a significant effect on the environment. The Initial Study and Mitigated Negative Declaration identify potential significant impacts to aesthetics, air quality, biological resources, cultural resources, geology and soils, climate change, hydrology and water quality, and noise. The mitigation measures contained in the Mitigated Negative Declaration have been included as conditions of approval in this attachment. As proposed and mitigated, the project would not result in any significant environmental impacts.
3. That the mitigation measures identified in the Mitigated Negative Declaration, agreed to by the applicant, placed as conditions on the project, and identified as part of this public hearing, have been incorporated as conditions of project approval (Condition Nos. 45 through 65 below).
4. That the Initial Study and Mitigated Negative Declaration reflect the independent judgment of the County.

For the Resource Management Permit, Find:

5. That the project is in conformance with the development review standards and criteria for the Resource Management (RM) District as contained within Chapter 20A and Chapter 20A.2 of the Zoning Regulations. The project, as proposed and conditioned, complies with the policies and objectives of the RM District, including Development Standards, and Environmental Quality, Site Design, Utilities, Water Resources, and Primary Scenic Resources Criteria. As proposed and conditioned, the project will reduce adverse impacts to wildlife species to a less than significant level; revegetate disturbed land with native, drought-tolerant landscaping; minimize adverse impacts on water quality through the implementation of erosion and sediment control measures; incorporate mitigation measures to ensure that the geological stability of the area is not compromised; and minimize visual impacts from the I-280 State Scenic Corridor and other public viewpoints.

For the Use Permit, Find:

6. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood. As discussed in the Initial Study and Mitigated Negative Declaration, the project may result in potential significant impacts to aesthetics, air quality, biological and cultural resources, geology and soils, climate change, hydrology and water quality, and noise. However, mitigation measures have been included as project conditions of approval to reduce any environmental impacts to a less than significant level. Additionally, the project will provide continued cellular service to the general public and to emergency response agencies which outweigh any impacts caused by the over-height Verizon Wireless/AT&T monopine, particularly after mitigations are imposed. Furthermore, the project would not result in damage to coastal resources, as the project site is not located in the Coastal Zone.

For the Grading Permit, Find:

7. That the granting of the permit will not have a significant adverse effect on the environment. After reviewing the Initial Study and Mitigated Negative Declaration as required by CEQA, staff found that, with the implementation of all mitigation measures, there would not be a significant adverse effect on the environment. All recommended mitigation measures in the Mitigated Negative Declaration have been incorporated as conditions of approval below.
8. That the project conforms to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 8605. The project, as proposed and conditioned, conforms to the standards in the Grading Regulations, including those relative to erosion and sediment control, dust control,

fire safety, and timing of grading activity. The project has been reviewed and approved by the County's Department of Public Works and the Planning and Building Department's Geotechnical Engineer.

9. That the project is consistent with the General Plan. The project, as proposed and conditioned, conforms to all applicable General Plan policies, including applicable Vegetative, Water, Fish and Wildlife Resources; Soil Resources; Visual Quality; Historical and Archaeological Resources; Rural Land Use; and Water Supply policies as discussed in detail in the staff report dated April 22, 2015.

For the Architectural Review Approval, Find:

10. That the proposed project is in compliance with the architectural design standards for the Junipero Serra (I-280) State Scenic Corridor as evidenced by compliance with the applicable General Plan Visual Quality Policies related to promoting good design, site relationship and aesthetic considerations to minimize the appearance of utilities in scenic corridors and impacts to public views. The monopine antenna pole will help to minimize adverse visual impacts of utility structures from public viewpoints along I-280 and Highway 92. Furthermore, the consolidated monopines will be more aesthetically pleasing to visitors of the cemetery than the existing spread-out telecommunication facilities. New landscaping around the project area will help to create a more natural environment for the monopines to blend into and will prevent the monopines from standing out along the skyline. Mitigation measures have been incorporated as conditions of approval to ensure adverse visual impacts are reduced to a less than significant level.

RECOMMENDED CONDITIONS OF APPROVAL FOR VERIZON WIRELESS AND AT&T

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted and approved by the Planning Commission on April 22, 2015. Minor modifications to the project may be approved by the Community Development Director if they are consistent with the intent of, and in substantial conformance with, this approval.
2. The Use Permits for the operation of the Verizon Wireless and AT&T facilities, as approved, shall be valid for ten (10) years from the date of final approval. Renewal of this permit shall be applied for, six (6) months prior to expiration, to the Planning and Building Department, and shall be accompanied by the renewal application and fees applicable at that time.
3. One administrative review is required five (5) years from the final approval date of this permit. Administrative review will be subject to the fees applicable at that time.

4. Any change in use or intensity not already approved shall require an amendment to the use permit. Amendment to this use permit requires an application for amendment, payment of applicable fees, and consideration at a public hearing.
5. The applicant shall obtain a building permit and install the facilities in accordance with the approved plans and conditions of approval. No site disturbance shall occur, including any grading, until the grading permit (issued as the "hard card" with all necessary information filled out and signatures obtained) has been issued, either concurrently or prior to issuance of a building permit.
6. If a less visually obtrusive/reduced antenna technology becomes available for use during the life of this project, the applicant shall present a redesign incorporating this technology into the project for review by the Community Development Director and any parties that have expressed an interest.
7. The applicant shall maintain all necessary licenses and registrations from the Federal Communications Commission (FCC) and any other applicable regulatory bodies for the operation of the subject facility at this site. The applicant shall supply the Planning Department with evidence of such licenses and registrations. If any required license is ever revoked, the applicant shall inform the Planning Department of the revocation within ten (10) days of receiving notice of such revocation.
8. The applicant shall not enter into a contract with the landowner or lessee which reserves for one company exclusive use of the tower structure or the site for telecommunication facilities.
9. This installation shall be removed in its entirety at that time when this technology becomes obsolete, when the facility is no longer needed to achieve coverage objectives, or if the facility remains inactive for six (6) consecutive months. If any of these circumstances occur, the entire facility, including all antennas and associated equipment, cables, power supplies, etc., shall be removed and the site shall be returned to its pre-construction state. Removal or modification of the facility and associated installations require a demolition/building permit from the Building Inspection Section.
10. There shall be no external lighting associated with the monopine cellular antenna poles. Wireless telecommunication facilities shall not be lighted or marked unless required by the FCC or Federal Aviation Administration (FAA).
11. All grading and construction activities associated with the proposed project shall be limited to 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturday. Construction activities will be prohibited on Sunday and any nationally observed holiday. Noise levels produced by construction activities shall not exceed 80-dBA at any one moment.

12. Prior to the issuance of a building permit, the applicant shall submit color samples for the facilities (including the monopine, antennas, supporting equipment, and walls/fencing). The antennas and all associated pole-mounted equipment shall be painted green to match the faux branches of the monopine. Ground supporting equipment and structures shall utilize earth-toned colors to blend in with the surrounding vegetation and natural environment. Furthermore, all associated facility equipment shall be of non-reflective materials and/or colors. Paint colors shall be subject to the review and approval by the Community Development Director prior to issuance of a building permit. The applicant shall submit photos to the Current Planning Section for color verification after the approved colors have been implemented, but before a final building inspection is scheduled.
13. The applicant shall maintain the monopine and equipment enclosure walls/fencing in good condition and perform repairs as necessary to serve its function as a screening device for the facility and equipment. Any repairs and/or maintenance to the monopine and fence shall be of like color and materials.
14. A landscape/tree planting plan shall be included as part of the building permit plans submitted for review and approval. All landscaping and trees shall be native and drought-tolerant and shall blend in with the surrounding natural environment. Any new landscaping, including new trees, associated with this project shall be maintained throughout the life of the facilities. The applicant shall submit photos to the Current Planning Section for verification that all landscaping/tree plantings have been completed per approved plans.
15. Any necessary utilities leading to, or associated with, the facility shall be placed underground.
16. Building permits shall be issued prior to the start of any construction work associated with this approval.
17. This permit does not allow for the removal of any trees. Removal of any tree with a circumference of 55 inches or greater, as measured 4.5 feet above the ground, shall require additional review by the Community Development Director prior to removal.
18. For future ownership identification purposes, the carrier names shall be posted (durable material and legible print) on the ground equipment enclosures. The applicant shall submit photos to the Current Planning Section verifying compliance with this condition prior to building inspection final.
19. Any temporary wireless telecommunication facilities approved to operate during the interim duration that this project is being approved and constructed shall be removed under valid demolition permits prior to final building inspection of the permanently constructed facilities, or within the timeframe allowed under a separate temporary permit, whichever occurs first.

20. Each carrier shall be required to obtain their own building permit prior to the installation of any proprietary equipment.
21. In addition to any construction plans submitted to the Building Department for permit, one copy of such plans shall be submitted to the Current Planning Section for each commercial carriers' proprietary equipment for their respective Use Permit files.
22. If technically practical and without creating any interruption in commercial service caused by electronic magnetic interference (EMI), floor space, tower space and/or rack space for equipment, the wireless telecommunication facility shall be made available to the County for public safety communication use.
23. Prior to the Current Planning Section's approval of building permits, the applicant for each commercial carrier shall provide the name, title, phone number, mailing address, and e-mail address of one or more contact persons at each commercial carrier's company (Verizon Wireless or AT&T) to whom future correspondences from the County should be addressed. These person(s) will serve as the long-term contact person(s) for the project for the purposes of permit renewal. Should the long-term contact person(s) change, the property owner is responsible for contacting the County to establish new long-term contact person(s).
24. The applicant shall submit the following to the Current Planning Section: Within four (4) working days of the final approval date of this permit, the applicant shall pay an environmental filing fee of \$2,210.00, as required under Fish and Wildlife Code Section 711.4, plus a \$50.00 recording fee. Thus, the applicant shall submit a check in the total amount of \$2,260.00, made payable to San Mateo County, to the project planner to file with the Notice of Determination. Please be aware that the Department of Fish and Wildlife's environmental filing fee increases starting the 1st day of each new calendar year (i.e., January 1, 2016). The fee amount due is based on the date of payment of the fees.

Grading and Erosion Control:

25. The provisions of the San Mateo County Grading Ordinance shall govern all grading activities on the project site.
26. All grading activities and erosion and sediment control measures shall be implemented according to the approved plans prepared by the project engineer of record, PDC Corporation, and approved by the decision maker. Revisions to the approved grading and/or erosion and sediment control plans shall be prepared and signed by the engineer and submitted to the Community Development Director for review and approval.
27. The site is considered a Construction Stormwater Regulated Site. Any grading activities conducted during the wet weather season (October 1 to April 30) will

require monthly erosion and sediment control inspections by the Building Inspection Section, as well as prior authorization from the Community Development Director to conduct grading during the wet weather season.

28. The engineer who prepared the approved grading and drainage plans shall be responsible for the inspection and certification of the grading as required by Section 8606.2 of the Grading Ordinance. The engineer's responsibilities shall include those relating to non-compliance detailed in Section 8606.5 of the Grading Ordinance.
29. Pursuant to San Mateo County Ordinance Section 8605.5, all equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.
30. The applicant shall notify Joe Naras, Watershed Manager for SFPUC, at 650/652-3201, at least 48 hours in advance of the start of any earthwork or grading activities.
31. For the final approval of the grading permit, the property owner shall ensure performance of the following activities within thirty (30) days of the completion of grading at the project site:
 - a. The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval/mitigation measures, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer.
 - b. The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and the Current Planning Section.

Please include the Geotechnical File Number, 10-D-4(c), in all correspondence with the Geotechnical Section of the Planning and Building Department.

National Pollutant Discharge Elimination System (NPDES) Municipal Regional Permit (MRP) Provision C.3. Requirements:

32. A separate C.3 and C.6 Development Review Checklist shall be submitted as part of any building permit submittal.
33. Based on the completed C.3 and C.6 Development Review Checklist submitted by the applicant on October 14, 2014, new and replaced project impervious surface exceeds 10,000 sq. ft., totaling 15,150 sq. ft. The applicant shall prepare a Stormwater Management Plan (SWMP) that includes, at a minimum, exhibit(s)

showing drainage areas and location of Low Impact Development (LID) treatment measures; project watershed; total project site area and total area of land disturbed; total new and/or replaced impervious area; treatment measures and hydraulic sizing calculations; a listing of source control and site design measures to be implemented at the site; hydromodification management measures and calculations, if applicable; NRCS soil type; saturated hydraulic conductivity rate(s) at relevant locations or hydrologic soil type (A, B, C or D) and source of information; elevation of high seasonal groundwater table; a brief summary of how the project is complying with Provision C.3 of the Municipal Regional Permit (MRP); and detailed Maintenance Plan(s) for each site design, source control and treatment measure requiring maintenance. Treatment controls shall be designed and sized to treat runoff from new and/or replaced impervious areas only.

34. LID treatment measures to be shown on final improvement or grading plans shall not differ materially from the LID treatment measures presented on the project plans, approved on April 22, 2015, without written approval from the Planning Department.
35. No treatment measures shall have standing water more than five (5) days, for vector control.
36. The project shall comply with all requirements of the Municipal Regional Stormwater NPDES Permit Provision C.3. Please refer to the San Mateo Countywide Water Pollution Prevention Program's (SMCWPPP) C.3 Stormwater Technical Guidance Manual for assistance in implementing LID measures at the site at http://www.flowstobay.org/bs_new_development.php.
37. Efficient irrigation systems shall be used throughout all landscaped areas in accordance with the Model Water Efficient Landscape Ordinance.
38. The project shall incorporate at least one site design measure, pursuant to Provision C.3.c.i.(2)(a) of the Municipal Regional Permit.
39. Biotreatment measures (including bioretention areas, flow-through planters and non-proprietary tree well filters) shall be sized to treat runoff from 100% of the applicable drainage area (all impervious areas and applicable landscaped areas) using flow- or volume-based sizing criteria as described in the Provision C.3.d of the MRP, or using the simplified sizing method (4% rule of thumb), described in the C.3 Technical Guidance and based on the flow-based sizing criteria in Provision C.3.d.i.(2)(c).
40. Plant species used within the biotreatment measure area shall be consistent with Appendix A of the C.3 Technical Guidance.
41. Biotreatment soil mix for biotreatment measures shall have a minimum percolation rate of 5 inches per hour and a maximum percolation rate of 10 inches per hour,

and shall be in conformance with Attachment L of the MRP, which is included in Appendix K of the C.3 Technical Guidance.

42. Design of biotreatment measures shall be consistent with technical guidance for the applicable type of biotreatment measure provided in Chapter 6 of the C.3 Technical Guidance.
43. The property owner shall comply with the following Operation and Maintenance Agreement Requirements:
 - a. Prior to the final of the building permit for the project, the property owner shall coordinate with the project planner to enter into an Operation and Maintenance Agreement (O&M Agreement) with the County (executed by the Community Development Director) to ensure long-term maintenance and servicing by the property owner of stormwater site design and treatment control measures according to the approved Maintenance Plan(s), for the life of the project. The O&M Agreement shall provide County access to the property for inspection. The Maintenance Agreement(s) shall be recorded for the property.
 - b. The property owner shall be responsible for conducting all servicing and maintenance as described and required by the treatment measure(s) in the Maintenance Plan(s). Maintenance of all site design and treatment control measures shall be the owner's responsibility.
 - c. The property owner is responsible for submitting an Annual Report accompanied by a review fee to the County by December 31 of each year, as required by the O&M Agreement. The property owner is also responsible for the payment of an inspection fee for County inspections of the stormwater facility, conducted as required by the NPDES Municipal Regional Permit.
 - d. Approved Maintenance Plan(s) shall be kept on-site and made readily available to maintenance crews. Maintenance Plan(s) shall be strictly adhered to.
 - e. Site access shall be granted to representatives of the County, the San Mateo County Mosquito and Vector Control District, and the Water Board, at any time, for the sole purpose of performing operation and maintenance inspections of the installed stormwater treatment systems. A statement to that effect shall be made a part of the Maintenance Agreement for the property.
 - f. The property owner shall be required to pay for all County inspections of installed stormwater treatment systems as required by the Regional Water Quality Control Board or the County.

44. Within one (1) week of the installation date of the approved facility, the project civil engineer shall notify Richard Lee, Associate Engineer, Department of Public Works, by email at rlee@smcgov.org or by fax at 650/363-4859. Notice shall include the installation date of the last component of the approved facility and the name of the project civil engineer. The County will perform a final inspection of the approved facility within 45 days of the date of installation.

Condition Nos. 45 through 65 are mitigation measures from the Mitigated Negative Declaration (changes made to the mitigation measures are shown in strike-through and underline format):

45. **Mitigation Measure 1:** The use of reflective materials or reflective paint colors is prohibited.
46. **Mitigation Measure 2:** The monopines shall be maintained in a manner to ensure that they resemble trees to the greatest extent possible. This shall include continual maintenance in the form of repainting and/or repairing any portions of the facilities which do not appear as they did at the time of building permit final inspections.
47. **Mitigation Measure 3:** No new lights of any kind shall be constructed or installed in association with this project, with the exception of lighting deemed necessary to service the ground equipment areas.
48. **Mitigation Measure 4:** The approved exterior light to be installed in the ground equipment lease area shall be designed and located so as to confine direct rays to the fenced equipment area and to prevent glare to the surrounding area. Manufacturer's cut sheets for all exterior lights shall be submitted for review and approval by the Planning Department prior to the issuance of a building permit. All approved exterior lighting shall be inspected and approved by the Planning Department prior to final building inspection.
49. **Mitigation Measure 5:** The applicant shall submit a dust control plan to the Planning and Building Department prior to the issuance of any grading "hard card" or building permit that, at a minimum, includes the "Basic Construction Mitigation Measures" as listed in Table 8-1 of the BAAQMD CEQA Guidelines (May 2011). These measures shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:
 - a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.

- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 - e. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - f. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
 - h. Post a publicly visible sign with the telephone number and person to contact at the County regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air Quality Management District's phone number shall also be visible to ensure compliance with applicable regulations.
50. **Mitigation Measure 6 (2014 Skylawn Phase I Project MND MM 2)**: Prior to initial vegetation removal and/or grading activities ~~in the upland portion of the Phase 1 area~~, a pre-construction clearance survey shall be conducted for the California red-legged frog and San Francisco garter snake by a qualified biologist. Should either species be identified, construction activities shall be immediately halted until the frog or snake leaves the construction zone on its own, or is removed by a qualified biologist in possession of an appropriate permit and authorized by the USFWS. The USFWS shall be immediately notified if either species is observed.
51. **Mitigation Measure 7 (2014 Skylawn Phase I Project MND MM 4)**: If trees or structures are to be removed during the breeding season of native bat species (generally April 1 through August 31 in California), the presence of active bat maternity roosts should be evaluated by a qualified biologist. If the trees/structures to be removed are determined to provide potential bat roosting habitat, a focused survey should then be conducted to determine if an active maternity roost of special-status bats are present. Should an active maternity roost of a special-status bat species be identified, the roost should not be disturbed until the roost is vacated and juveniles have fledged, as determined by the biologist. Once all young have fledged, the tree/structure may be removed.

52. **Mitigation Measure 8 (2014 Skylawn Phase I Project MND MM 5):** If a the ~~construction~~ project ~~would~~ commences anytime during the nesting/breeding season of native bird species potentially nesting on the site (typically February through August in the project region), a pre-construction survey of the project vicinity for nesting birds shall be conducted. This survey shall be conducted by a qualified biologist (i.e., experienced with the nesting behavior of bird species of the region) within two weeks of the commencement of construction activities. The intent of the survey would be to determine if active nests of special-status bird species or other species protected by the Migratory Bird Treaty Act and/or the California Fish and Game Code are present within the construction zone or within 500 ft. of the construction zone. The survey area would include all trees and shrubs in the construction zone and a surrounding 500-ft. area. The survey should be timed such that the last survey is concluded no more than two weeks prior to initiation of construction. If ground disturbance activities are delayed following a survey, then an additional pre-construction survey should be conducted such that no more than two weeks will have elapsed between the last survey and the commencement of ground disturbance activities. If active nests are found in areas that could be directly affected or are within 500 ft. of construction and would be subject to prolonged construction-related noise, a no-disturbance buffer zone shall be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted within them will be determined through consultation with the California Department of Fish and Wildlife (CDFW), taking into account factors such as the following:
- a. Noise and human disturbance levels at the construction site at the time of the survey and the noise and disturbance expected during the construction activity;
 - b. Distance and amount of vegetation or other screening between the construction site and the nest; and
 - c. Sensitivity of individual nesting species and behaviors of the nesting birds.
53. **Mitigation Measure 9:** Any existing significant and/or heritage trees adjacent to areas of ground disturbance shall be protected. Where applicable, the applicant shall establish and maintain tree protection zones which shall be delineated using 6-ft. tall orange plastic fencing, supported by poles, pounded into the ground, located as close to the tree driplines as possible, while still allowing room for construction-related activities to safely continue. The applicant shall maintain tree protection zones free of equipment and material storage and shall not clean any equipment within these areas. Should any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist prior to cutting. Any root cutting shall be monitored by an arborist and shall be documented.

54. **Mitigation Measure 10 (2014 Skylawn Phase I Project MND MM 15):** If archaeological and/or cultural resources are encountered during grading or construction activities, work shall be temporarily halted within 30 ft. of the discovered materials and workers shall avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations. The project applicant or archaeologist shall immediately notify the Current Planning Section of any discoveries made and shall provide the Current Planning Section with a copy of the archaeologist's report and recommendations prior to any further grading or construction activity in the vicinity.
55. **Mitigation Measure 11 (2014 Skylawn Phase I Project MND MM 17):** A discovery of a paleontological specimen during any phase of the project shall result in a work stoppage in the vicinity of the find until it can be evaluated by a professional paleontologist. Should loss or damage be detected, additional protective measures or further action (e.g., resource removal), as determined by a professional paleontologist, shall be implemented to mitigate the impact.
56. **Mitigation Measure 12 (2014 Skylawn Phase I Project MND MM 18):** Use existing roads to the maximum extent feasible to avoid additional surface disturbance.
57. **Mitigation Measure 13 (2014 Skylawn Phase I Project MND MM 19):** During all phases of the project, keep equipment and vehicles within the limits of the previously disturbed areas of the project site. All areas to remain undisturbed shall be delineated on the Erosion Control Plan and the plan shall include measures, such as a fence or other kind of barrier, to demarcate the "limit of disturbance." The property owner shall demonstrate the implementation of these measures prior to issuance of the grading permit "hard card."
58. **Mitigation Measure 14 (2014 Skylawn Phase I Project MND MM 20):** The property owner, applicant, and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately and the County coroner shall be notified immediately. If the coroner determines that the remains are Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.
59. **Mitigation Measure 15:** All construction and grading techniques and methods of the geotechnical report by Mid Pacific Engineering, Inc., dated January 16, 2014, and any subsequently approved report amendments, shall be implemented for the project.

60. **Mitigation Measure 16 (2014 Skylawn Phase I Project MND MM 25)**: The applicant shall obtain a grading permit “hard card” from the Planning and Building Department prior to commencement of any grading or construction activities.
61. **Mitigation Measure 17 (2014 Skylawn Phase I Project MND MM 26)**: Prior to beginning any land disturbance or construction, the applicant shall submit an Erosion and Sediment Control Plan to include the proposed measures of the Conceptual Erosion Control Plan and additional measures as follows for review and approval by the San Mateo County Planning and Building Department. The plan must be fully implemented and inspected by County Planning and Building Department staff prior to the commencement of any construction and/or grading activities and shall be maintained throughout the duration of the project. Erosion control measure deficiencies, as they occur, shall be immediately corrected. The goal is to prevent sediment and other pollutants from leaving the project site and to protect all exposed earth surfaces from erosive forces. Said plan shall adhere to the San Mateo Countywide Water Pollution Prevention Program (SMCWPPP) “General Construction and Site Supervision Guidelines,” including:
- a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
 - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - d. Using sediment controls or filtration to remove sediment when dewatering the site and obtaining all necessary permits.
 - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees and drainage courses.
 - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - h. Performing clearing and earth-moving activities only during dry weather.

- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilizing designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. The contractor shall train and provide instructions to all employees and subcontractors regarding the construction best management practices. Additional best management practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - m. Show protection for all existing trees within the limits of disturbance. Protection measures shall include a minimum 6-ft. tall orange plastic fencing staked around the driplines of the existing trees.
 - n. Show silt fencing (including details for installation) to be installed along the downslope side of the new access road and below the area of grading associated with the County ISD facility.
 - o. Provide a designated area for parking of construction vehicles, using aggregate over geo-textile fabric.
 - p. Show areas for stockpiling. Cover temporary stockpiles using anchored down plastic sheeting. For longer storage, use seeding and mulching, soil blankets or mats.
 - q. Show location of garbage and/or debris dumpster(s), and portable toilets.
62. **Mitigation Measure 18 (2014 Skylawn Phase I Project MND MM 27)**: The applicant shall submit a grading and drainage plan (including calculations) to the Planning and Building Department and the Department of Public Works prior to the issuance of any project-related grading or building permits. The grading and drainage plan shall include all requirements listed in Grading Ordinance Section 8604.1.a.5 (*Application Requirements*). The drainage plan shall also include a narrative describing the type, size, and location of all permanent stormwater controls to be utilized in order to ensure compliance with the County's Drainage Policy, the San Mateo Countywide Water Pollution Prevention Plan (SMCWPPP) "General Construction and Site Supervision Guidelines," and National Pollutant Discharge Elimination System (NPDES) Permit Provision C.3.

63. **Mitigation Measure 19 (2014 Skylawn Phase I Project MND MM 28)**: Unless approved in writing and in advance by the Community Development Director, no grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion. The applicant shall ~~submit a letter Request for Winter Grading Form, along with the submittal items required by the form, to the Current Planning Section, no less than 30 days prior to the issuance of the grading permit hard card, which illustrates identifies the approximate grading schedule, including but not limited to start and end dates at least two (2) weeks prior to commencement of grading, stating the date when erosion controls will be installed, date when grading operations will begin, anticipated end date of grading operations, and date of revegetation prior to the issuance of a grading permit hard card.~~ All submitted schedules shall represent the work in detail and shall project the grading operations through to completion.
64. **Mitigation Measure 20 (2014 Skylawn Phase I Project MND MM 29)**: It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
65. **Mitigation Measure 21**: Noise levels produced by proposed construction activities shall comply with the San Mateo County Noise Ordinance contained in Chapter 4.88 (Noise Regulations) of the County Ordinance Code. Construction activities shall be limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturdays. Construction operations shall be prohibited on Sundays and any national holidays.

Department of Public Works

66. The applicant shall demonstrate, to the satisfaction of the Department of Public Works and the San Mateo County Fire Marshall, that the proposed road access, from the nearest maintained access to the co-location site, meets or exceeds the County's minimum standards for a private access road including provisions for proposed drainage and drainage facilities. The applicant must also demonstrate that appropriate turnouts and a turnaround, and width of road, meeting Fire Marshal requirements, exist or can be provided, if applicable.
67. Prior to the issuance of the Building permit or Planning permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it under the building permit for review and approval by the Department of Public Works. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and

velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.

Geotechnical Section

68. A signed Section I of the Geotechnical Consultant Approval form shall be submitted to the Geotechnical Section prior to issuance of the grading permit "hard card." All plans and material submitted for the building permit shall be to the satisfaction of the Geotechnical Section.

San Mateo County Fire Department

69. Fire Department access shall be to within 150 ft. of all exterior portions of the facilities and all portions of the exterior walls of the first story of any buildings as measured by an approved access route around the exterior of the building or facility. Access shall be 20 ft. wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 ft. on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%. When gravel roads are used, it shall be Class 2 base or equivalent compacted to 95%. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and the weight it will support.
70. Each facility shall have a street address and shall have the number of that address posted at the driveway entrance, or other location as determined by the Fire Marshal, in such a manner that the number is easily and clearly visible from either direction of travel from the street. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a minimum of 6" x 18" and constructed of green reflective metal.
71. A clean agent fire extinguishing system shall be installed and maintained meeting California Fire Code, NFPA 2001, and T-19 requirements.
72. Portable fire extinguishers with a minimum rating of 2A-10BC are required to be placed throughout your project. Contact a licensed/certified fire extinguisher company for proper placement of the required extinguishers. Documentation is required on building plans at the building permit application stage. Proper installation is required prior to Fire's final approval of the building permit.
73. All landscaping plans shall comply with Public Resource Codes 4291, California Code of Regulations Title 19 and the San Mateo County Fire Ordinance for fire

safety clearance. For more information about vegetation clearances and fire resistive plants and trees, visit www.firesafecouncil.org or www.smcfiresafe.org.

74. Any above ground fuel storage shall meet California Fire and Building Code requirements.
75. Maintain around and adjacent to such buildings or structures a fuel break/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures, or to the property line, if the property line is less than 30 feet from any structure.
76. Because of limited access into your property, the San Mateo County Fire Department is requiring the installation of a Knox Box, Knox Key Switch, or Knox Padlock to allow rapid response of emergency vehicles onto your property in case of a fire or medical emergency. For an application or further information, please contact the San Mateo County Fire Marshal's Office at (650) 573-3846.
77. Permanent signage shall be posted on any disconnecting means. Such signage shall be red in color and read "WARNING - This premises is provided with an alternate power source (Generator). Disconnecting of power at this location may not disable the electrical power source." Lettering shall be contrasting to the red background and be a minimum 1/2-inch tall and shall be permanently affixed on each electrical panel subject to back feed from the alternate power source. Any and all disconnects shall require signage as stated herein.
78. Any electrical panel subject to back feed shall have an additional permanent sign, red in color, stating location of alternate power source. Lettering shall be contrasting to the red background and be a minimum 1/2-inch tall and shall be permanently affixed on each electrical panel subject to back feed from the alternate power source. All alternate power sources shall have permanent signage, red in color, posted in a conspicuous place. Lettering shall be contrasting to the red background and be a minimum 1/2-inch tall and shall be permanently affixed. Such signage shall state instructions on how to disconnect power feeding to other electrical panels. Shut-off switches shall be clearly labeled.
79. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection must meet CRC R327 or CBC Chapter 7A requirements.

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County of San Mateo
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL FOR
COUNTY INFORMATION SERVICES DEPARTMENT (ISD)**

Permit or Project File Number: PLN 2014-00019

Hearing Date: April 22, 2015

Prepared By: Summer Burlison
Project Planner

For Adoption By: Planning Commission

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That the Initial Study and Mitigated Negative Declaration are complete, correct and adequate and prepared in accordance with the California Environmental Quality Act (CEQA) and applicable State and County Guidelines. An Initial Study and a Mitigated Negative Declaration were prepared and issued with a public review period from February 18, 2015 to March 9, 2015.
2. That, on the basis of the Initial Study, comments received hereto, and testimony presented and considered at the public hearing, there is no substantial evidence that the project, if subject to the mitigation measures contained in the Mitigated Negative Declaration, will have a significant effect on the environment. The Initial Study and Mitigated Negative Declaration identify potential significant impacts to aesthetics, air quality, biological resources, cultural resources, geology and soils, climate change, hydrology and water quality, and noise. The mitigation measures contained in the Mitigated Negative Declaration have been included as conditions of approval in this attachment. As proposed and mitigated, the project would not result in any significant environmental impacts.
3. That the mitigation measures identified in the Mitigated Negative Declaration, agreed to by the applicant, placed as conditions on the project, and identified as part of this public hearing, have been incorporated as conditions of project approval (Condition Nos. 2 through 17 below).
4. That the Initial Study and Mitigated Negative Declaration reflect the independent judgment of the County.

For the Architectural Review Approval, Find:

5. That the proposed project is in compliance with the architectural design standards for the Junipero Serra (I-280) State Scenic Corridor as evidenced by compliance with the applicable General Plan Visual Quality Policies related to promoting good design, site relationship and aesthetic considerations to minimize the appearance of utilities in scenic corridors and impacts to public views. The monopine antenna pole will help to minimize adverse visual impacts of utility structures from public viewpoints along I-280 and Highway 92. Furthermore, the consolidated monopines will be more aesthetically pleasing to visitors of the cemetery than the existing spread-out telecommunication facilities. New landscaping around the project area will help to create a more natural environment for the monopines to blend into and will prevent the monopines from standing out along the skyline. Mitigation measures have been incorporated as conditions of approval to ensure adverse visual impacts are reduced to a less than significant level.

RECOMMENDED CONDITIONS OF APPROVAL FOR COUNTY ISD

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted and certified as part of the mitigated negative declaration by the Planning Commission on April 22, 2015. Minor modifications to the project may be approved by the Community Development Director if they are consistent with the intent of, and in substantial conformance with, the certified mitigated negative declaration.

Condition Nos. 2 through 17 are mitigation measures from the Mitigated Negative Declaration that are applicable to the County ISD facility (changes made to the mitigation measures are shown in strike-through and underline format):

2. **Mitigation Measure 1:** The use of reflective materials or reflective paint colors is prohibited.
3. **Mitigation Measure 2:** The monopines shall be maintained in a manner to ensure that they resemble trees to the greatest extent possible. This shall include continual maintenance in the form of repainting and/or repairing any portions of the facilities which do not appear as they did at the time of building permit final inspections.
4. **Mitigation Measure 3:** No new lights of any kind shall be constructed or installed in association with this project, with the exception of lighting deemed necessary to service the ground equipment areas.
5. **Mitigation Measure 6 (2014 Skylawn Phase I Project MND MM 2):** Prior to initial vegetation removal and/or grading activities ~~in the upland portion of the~~

Phase 1 area, a pre-construction clearance survey shall be conducted for the California red-legged frog and San Francisco garter snake by a qualified biologist. Should either species be identified, construction activities shall be immediately halted until the frog or snake leaves the construction zone on its own, or is removed by a qualified biologist in possession of an appropriate permit and authorized by the USFWS. The USFWS shall be immediately notified if either species is observed.

6. **Mitigation Measure 7 (2014 Skylawn Phase I Project MND MM 4):** If trees or structures are to be removed during the breeding season of native bat species (generally April 1 through August 31 in California), the presence of active bat maternity roosts should be evaluated by a qualified biologist. If the trees/structures to be removed are determined to provide potential bat roosting habitat, a focused survey should then be conducted to determine if an active maternity roost of special-status bats are present. Should an active maternity roost of a special-status bat species be identified, the roost should not be disturbed until the roost is vacated and juveniles have fledged, as determined by the biologist. Once all young have fledged, the tree/structure may be removed.

7. **Mitigation Measure 8 (2014 Skylawn Phase I Project MND MM 5):** If a the ~~construction project would commence~~ anytime during the nesting/breeding season of native bird species potentially nesting on the site (typically February through August in the project region), a pre-construction survey of the project vicinity for nesting birds shall be conducted. This survey shall be conducted by a qualified biologist (i.e., experienced with the nesting behavior of bird species of the region) within two weeks of the commencement of construction activities. The intent of the survey would be to determine if active nests of special-status bird species or other species protected by the Migratory Bird Treaty Act and/or the California Fish and Game Code are present within the construction zone or within 500 ft. of the construction zone. The survey area would include all trees and shrubs in the construction zone and a surrounding 500-ft. area. The survey should be timed such that the last survey is concluded no more than two weeks prior to initiation of construction. If ground disturbance activities are delayed following a survey, then an additional pre-construction survey should be conducted such that no more than two weeks will have elapsed between the last survey and the commencement of ground disturbance activities. If active nests are found in areas that could be directly affected or are within 500 ft. of construction and would be subject to prolonged construction-related noise, a no-disturbance buffer zone shall be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted within them will be determined through consultation with the California Department of Fish and Wildlife (CDFW), taking into account factors such as the following:

- a. Noise and human disturbance levels at the construction site at the time of the survey and the noise and disturbance expected during the construction activity;
 - b. Distance and amount of vegetation or other screening between the construction site and the nest; and
 - c. Sensitivity of individual nesting species and behaviors of the nesting birds.
8. **Mitigation Measure 9:** Any existing significant and/or heritage trees adjacent to areas of ground disturbance shall be protected. Where applicable, the applicant shall establish and maintain tree protection zones which shall be delineated using 6-ft. tall orange plastic fencing, supported by poles, pounded into the ground, located as close to the tree driplines as possible, while still allowing room for construction-related activities to safely continue. The applicant shall maintain tree protection zones free of equipment and material storage and shall not clean any equipment within these areas. Should any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist prior to cutting. Any root cutting shall be monitored by an arborist and shall be documented.
 9. **Mitigation Measure 10 (2014 Skylawn Phase I Project MND MM 15):** If archaeological and/or cultural resources are encountered during grading or construction activities, work shall be temporarily halted within 30 ft. of the discovered materials and workers shall avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations. The project applicant or archaeologist shall immediately notify the Current Planning Section of any discoveries made and shall provide the Current Planning Section with a copy of the archaeologist's report and recommendations prior to any further grading or construction activity in the vicinity.
 10. **Mitigation Measure 11 (2014 Skylawn Phase I Project MND MM 17):** A discovery of a paleontological specimen during any phase of the project shall result in a work stoppage in the vicinity of the find until it can be evaluated by a professional paleontologist. Should loss or damage be detected, additional protective measures or further action (e.g., resource removal), as determined by a professional paleontologist, shall be implemented to mitigate the impact.
 11. **Mitigation Measure 12 (2014 Skylawn Phase I Project MND MM 18):** Use existing roads to the maximum extent feasible to avoid additional surface disturbance.
 12. **Mitigation Measure 13 (2014 Skylawn Phase I Project MND MM 19):** During all phases of the project, keep equipment and vehicles within the limits of the previously disturbed areas of the project site. All areas to remain undisturbed shall be delineated on the Erosion Control Plan and the plan shall include

~~measures, such as a include measures such fenced~~ or other kind of barrier, to demarcate the “limit of disturbance.” ~~The property owner shall demonstrate the implementation of these measures prior to issuance of the grading permit “hard eard.”~~

13. **Mitigation Measure 14 (2014 Skylawn Phase I Project MND MM 20)**: The property owner, applicant, and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately and the County coroner shall be notified immediately. If the coroner determines that the remains are Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.

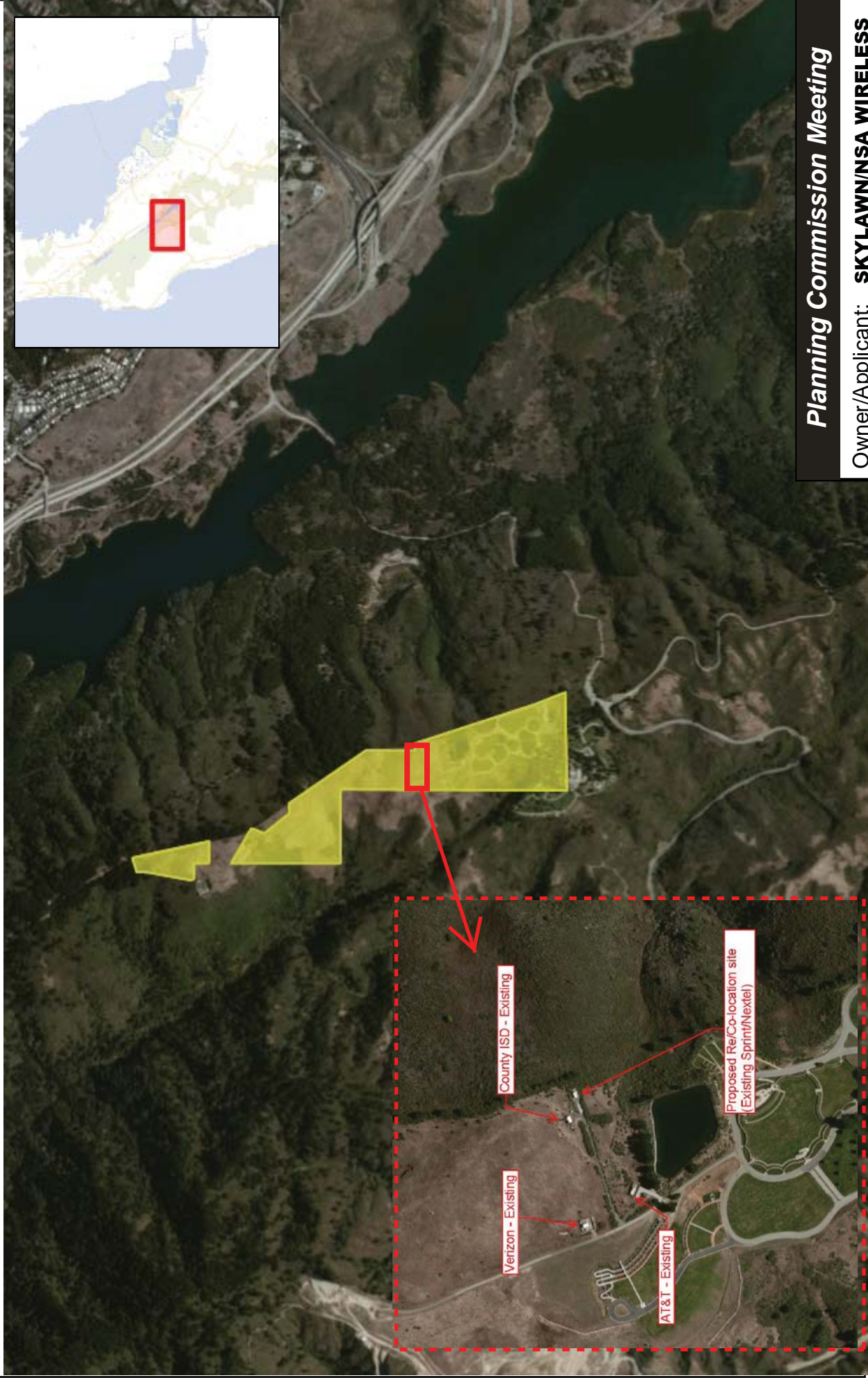
14. **Mitigation Measure 17 (2014 Skylawn Phase I Project MND MM 26)**: Prior to beginning any land disturbance or construction, the applicant County ISD shall implement erosion and sediment control measures to prevent sediment and other pollutants from leaving the project site and to protect all exposed earth surfaces from erosive forces. ~~submit an Erosion and Sediment Control Plan to include the proposed measures of the Conceptual Erosion Control Plan and additional measures as follows for review and approval by the San Mateo County Planning and Building Department. The plan must be fully implemented and inspected by County Planning and Building Department staff prior to the commencement of any construction and/or grading activities and shall be maintained throughout the duration of the project.~~ Erosion control measure deficiencies, as they occur, shall be immediately corrected. ~~The goal is to prevent sediment and other pollutants from leaving the project site and to protect all exposed earth surfaces from erosive forces.~~ Said plan measures shall adhere to the San Mateo Countywide Water Pollution Prevention Program (SMCWPPP) “General Construction and Site Supervision Guidelines,” including:
 - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
 - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals,

wash water or sediments, and non-stormwater discharges to storm drains and watercourses.

- d. Using sediment controls or filtration to remove sediment when dewatering the site and obtaining all necessary permits.
- e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees and drainage courses.
- g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- h. Performing clearing and earth-moving activities only during dry weather.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilizing designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. The contractor shall train and provide instructions to all employees and subcontractors regarding the construction best management practices. Additional best management practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- m. Show protection for all existing trees within the limits of disturbance. Protection measures shall include a minimum 6-ft. tall orange plastic fencing staked around the driplines of the existing trees.
- n. Show silt fencing (including details for installation) to be installed along the downslope side of the new access road and below the area of grading associated with the County ISD facility.
- o. Provide a designated area for parking of construction vehicles, using aggregate over geo-textile fabric.

- p. Show areas for stockpiling. Cover temporary stockpiles using anchored down plastic sheeting. For longer storage, use seeding and mulching, soil blankets or mats.
 - q. Show location of garbage and/or debris dumpster(s), and portable toilets.
15. **Mitigation Measure 19 (2014 Skylawn Phase I Project MND MM 28)**: ~~Unless approved in writing and in advance by the Community Development Director, n~~No grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion. ~~The County ISD shall submit a letter Request for Winter Grading Form, along with the submittal items required by the form, to the Current Planning Section, no less than 30 days prior to the issuance of the grading permit hard card, which illustrates identifyies the approximate grading schedule, including but not limited to start and end dates at least two (2) weeks prior to commencement of grading, stating the date when erosion controls will be installed, date when grading operations will begin, anticipated end date of grading operations, and date of revegetation prior to the issuance of a grading permit hard card.~~ All submitted schedules shall represent the work in detail and shall project the grading operations through to completion.
16. **Mitigation Measure 20 (2014 Skylawn Phase I Project MND MM 29)**: It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
17. **Mitigation Measure 21**: Noise levels produced by proposed construction activities shall comply with the San Mateo County Noise Ordinance contained in Chapter 4.88 (Noise Regulations) of the County Ordinance Code. Construction activities shall be limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturdays. Construction operations shall be prohibited on Sundays and any national holidays.

SSB:jlh – SSBZ0228_WJU.DOCX




Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**

File Numbers: PLN 2014-00019

Attachment: B

36,112

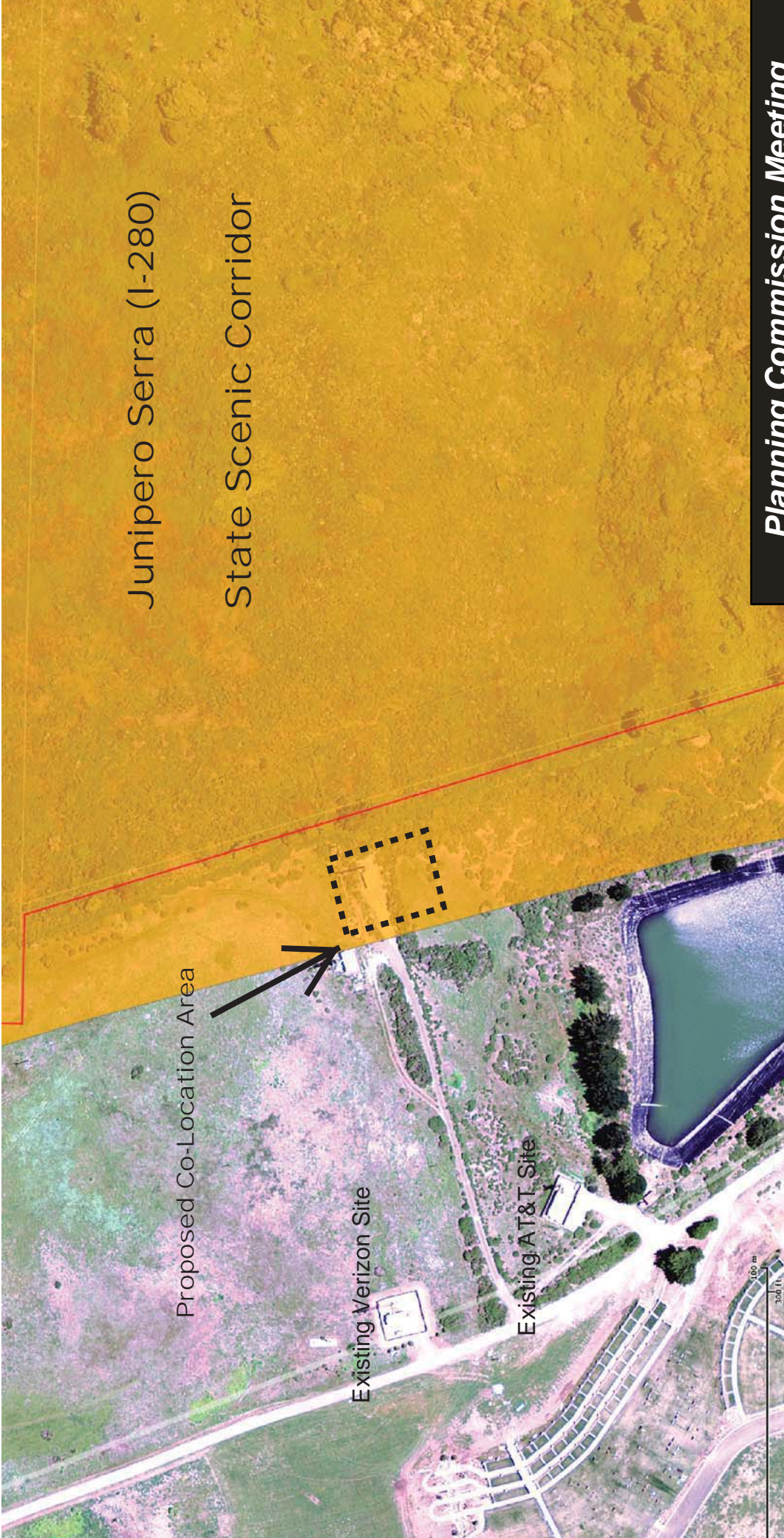


1.14 Miles

0.57

0

1.14



Junipero Serra (I-280)

State Scenic Corridor

Proposed Co-Location Area

Existing Verizon Site

Existing AT&T Site

100 m
300 ft

Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**

File Numbers: PLN 2014-00019

Attachment: C



JES ENGINEERING, INC.
4847 Palm Street, Ste. 201
Walnut Creek, CA 94598
925-938-7199
www.jes-engineering.com

Verizon Wireless
2785 MITCHELL DRIVE
WALNUT CREEK, CA 94598
925-938-7199
JIM GRAHAM
(925) 279-6333

P.S.L. NO. 123547
10800 LIFEMARK ROAD
HALF MOON BAY, CA 94019
COUNTY OF SAN MATEO

EQUIP. ENGINEER:	
SIGNATURE:	
LEASING:	
SIGNATURE:	
ZONING:	
SIGNATURE:	
CONSTRUCTION:	
SIGNATURE:	
RF ENGINEER:	
SIGNATURE:	
OWNER:	
SIGNATURE:	
AGENT:	
SIGNATURE:	
DRAWN BY:	CLM
CHECKED BY:	JES

IND.	DATE	ISSUE
1	12/20/12	FOR REVIEW
2	07/10/13	ACCESS/REDLINES
3	11/14/13	REV ACCESS & REV ACCESS RTE
4	06/03/14	REV ACCESS RTE

SHEET TITLE	SITE SURVEY
SHEET NUMBER	

C-1
UES JOB # 12-117NSA

GENERAL NOTES

DATE OF SURVEY: DECEMBER 19, 2012
SURVEYED BY OR UNDER THE DIRECTION OF: GLEN K. LEWIS
RICE 33349
THE PROPERTY MAP AVAILABLE AT THE TIME OF THIS SURVEY IS THE PROPERTY SHOWN
BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES
BASED ON RECORD INFORMATION AND FOUND MONUMENTATION. THIS IS NOT
FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING
THE SURVEY. THE PROPERTY LINES AND LINES OF TITLE WERE NOT
INVESTIGATED AND NOT SURVEYED EXCEPT AS SHOWN ON THIS PLAN. NO PROPERTY
DESCRIPTION OF PARCEL
STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
PARCEL A:
PORTION OF THE FELZ RANCH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
CHAINS AND 37 LINKS DUE NORTH FROM THE SOUTHWEST CORNER OF THE FELZ
SAID RANCH, 40 CHAINS AND 40 LINKS TO A STAKE ON THE WESTERN BOUNDARY
OF PATRICK TORRES' TRACT; THENCE SOUTH 27° 30' EAST 15 CHAINS AND 78
3 CHAINS AND 86 LINKS THENCE SOUTH 42° WEST 2 CHAINS; THENCE SOUTH 87°
30' WEST 4 CHAINS AND 52 LINKS; THENCE SOUTH 79° WEST
SOUTH 71° 15' WEST 14 CHAINS AND 96 LINKS; THENCE SOUTH 33° 15' EAST 3
CHAINS AND 32 LINKS TO THE POINT OF BEGINNING. THE POINT OF BEGINNING
THENCE SOUTH 71° 15' WEST 9 CHAINS AND 58 LINKS TO THE PLACE OF BEGINNING.
PARCEL B:
FROM A POINT OF BEGINNING BEING THE MOST WESTERLY POST ON A LINE RUNNING
DUE EAST AND WEST 3 CHAINS AND 19 LINKS (ALSO PART OF THE DIVISION
DEPARTMENT AT THE SOUTHEASTERN CORNER OF THE PARCEL OF LAND DESIGNATED
THENCE NORTH 13 CHAINS AND 50 LINKS; THENCE NORTH 39° 45' WEST 35 CHAINS
AND 71 LINKS; THENCE NORTH 20° 20' EAST 4 CHAINS; THENCE NORTH 60° 40' WEST
CHAINS; THENCE SOUTH 18 CHAINS AND 23 LINKS TO
BOUNDARY AS FOLLOWS: SOUTH 22° 30' EAST 4 CHAINS 88.5 LINKS (248.75') THENCE
EAST (ALONG THE DIVISION BETWEEN SECTIONS 11 AND 14) 9 CHAINS 78.2 LINKS
(593.62') TO THE POINT OF BEGINNING.
TOGETHER WITH THAT CERTAIN REAL PROPERTY DESCRIBED AS FOLLOWS: BY ONE
ALFRED BAREL, TO ONE MADAMARA; RUNNING THENCE NORTH 39° 45' WEST 27° 21'
THE LAND OF SAID MADAMARA AND TO A STAKE; THENCE ALONG THE WESTERLY
THE FELZ RANCH.
PARCEL C:
BEGINNING AT A STAKE ON THE SOUTHWEST CORNER OF THE TRACT OF LAND
SOUTH 17° 45' EAST 10.70 CHAINS TO A STAKE ON THE NORTH LINE OF THE
SOUTH 77° 45' EAST 3.91 CHAINS; THENCE SOUTH 16° 40' EAST TO CHAINS
CHAINS; THENCE WEST 5.09 CHAINS; THENCE NORTH 14° 10' WEST 0.71 CHAINS;
THENCE NORTH 10° 20' EAST 12.17 CHAINS; THENCE NORTH 8.20 CHAINS TO THE
POINT OF BEGINNING, BEING PORTION OF THE FELZ RANCH.
PARCEL D:
BEGINNING AT A STAKE AT THE NORTHEASTLY CORNER OF THE TRACT OF LAND
OCCUPIED BY AND DESCRIBED AS THE WILSTY TRACT AND RUNNING THENCE NORTH
50 LINKS; THENCE WEST 2 CHAINS AND 19 LINKS; THENCE NORTH 14 CHAINS AND 50
SOUTH 30 CHAINS AND 9 LINKS; THENCE EAST 29 CHAINS; THENCE SOUTH 16
SOUTH 30 CHAINS AND 9 LINKS; THENCE EAST 29 CHAINS; THENCE SOUTH 16
THENCE ALONG SAID TROWELS EAST BOUNDARY AS FOLLOWS: SOUTH 23° 30' EAST
EAST 4 CHAINS AND 84 LINKS; SOUTH 45° WEST 2 CHAINS; SOUTH 88° 30' WEST 1
CHAINS AND 52 LINKS; SOUTH 78° WEST 1 CHAINS AND 1 LINK; SOUTH 50° 30' WEST 1
3° 15' WEST 14 CHAINS AND 96 LINKS; SOUTH 33° 15' WEST 4 CHAINS AND 52
TO S.W. WILSTY'S NORTHERLY LINE; THENCE ALONG SAID LINE NORTH 71° 45' EAST 8
EAST 4 CHAINS AND 34 LINKS TO THE PLACE OF BEGINNING, BEING PART OF THE
RANCHO DE TELZ.
PARCEL E:
EXCEPTING THEREFROM 30 ACRES NORTH OF THE NORTHERLY LINE OF
(WHICH EXCEPTED PORTION CONSTITUTES PARCEL W HEREIN)
AND PARCEL D) THE UNDIVIDED AND UNOWNED INTEREST OF FELZ RANCH,
THE FELZ RANCHO MARKED "F-4", ACCORDING TO THE OFFICIAL SURVEY OF SAID
RANCHO, CHAIN AND 37
LINKS; THENCE NORTH 71° 15' EAST 6 CHAINS AND 50 LINKS; THENCE NORTH 71° 45'
THENCE NORTH 88° 45' EAST 3 CHAINS AND 54 LINKS; THENCE SOUTH 21° 30' EAST
TO A STAKE ON THE SOUTHERLY BOUNDARY LINE OF SAID FELZ RANCHO; THENCE
WEST AND ALONG SAID LINE 28 CHAINS AND 34 LINKS TO THE POINT OF BEGINNING.
APR. 008-000-025-4

SITE NAME & NUMBER: "SKYLINE-RELO" P.S.L. 123547
SITE ADDRESS: 10800 LIFEMARK ROAD 94019
SAN MATEO COUNTY
ASSESSOR'S PARCEL NUMBER: 056-550-020
APPLICANT: NSA WIRELESS
2070 DROW CANYON PLACE STE 355
94685
(925) 244-1800

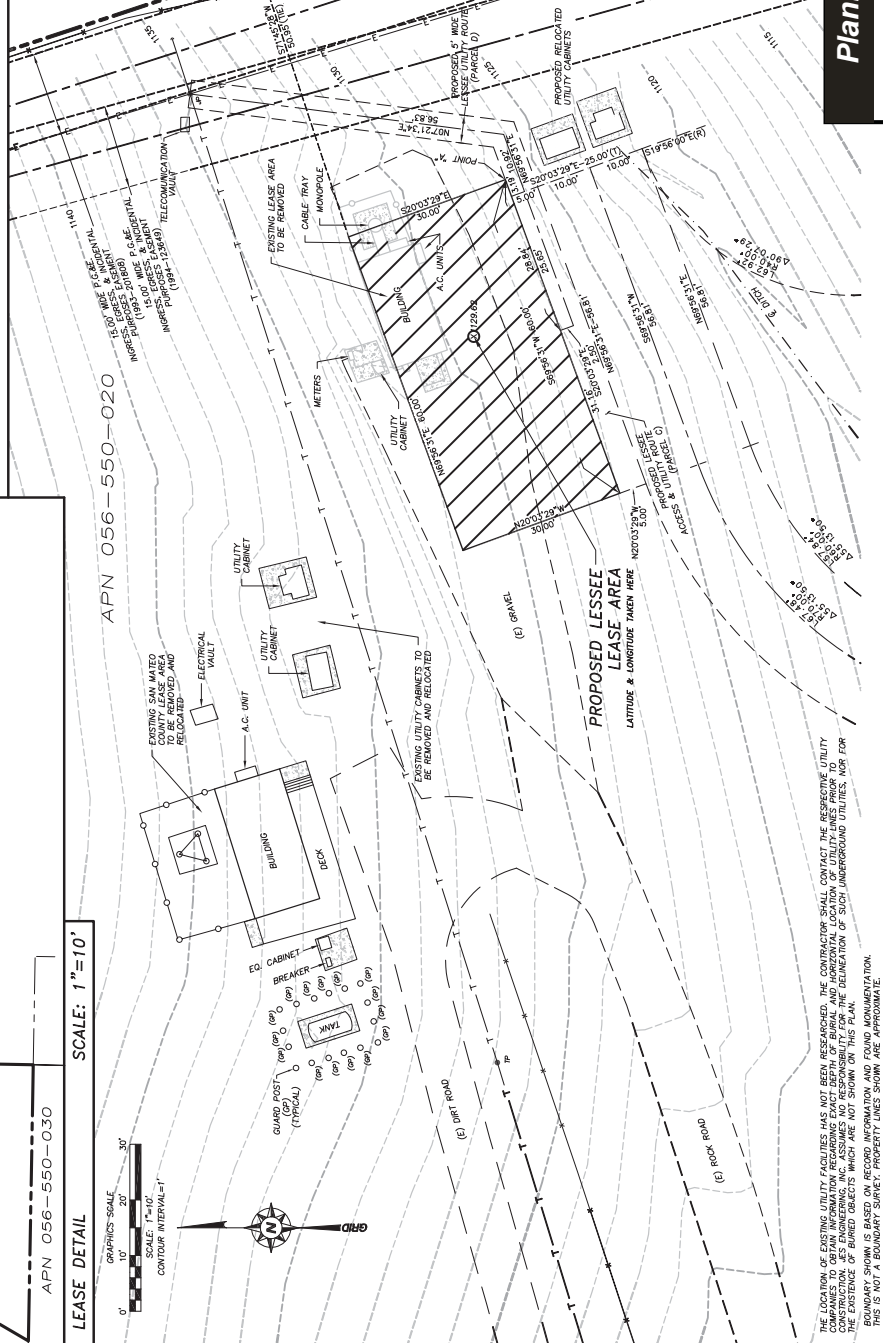
ELEVATIONS SHOWN ARE BASED ON STATIC GPS SURVEY. STATIC DATA PROCESSED
THROUGH INGS OPUS SYSTEM (NATIONAL GEODETIC SURVEY ONLINE POSITIONING USER
SERVICE) ELEVATION AT BENCHMARK MARK AS 1137.50 FEET, NAD 86.

Planning Commission Meeting
Owner/Applicant: **SKYLAW/NSA WIRELESS**
File Numbers: **PLN 2014-00019**
Attachment: **D.1**

VICINITY MAP



OVERALL VIEW



THE LOCATION OF EXISTING UTILITY FACILITIES HAS NOT BEEN RESEARCHED. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY
COMPANIES TO OBTAIN INFORMATION REGARDING EXACT DEPTH OF BURIAL AND HORIZONTAL LOCATION OF UTILITY LINES PRIOR TO
THE EXISTENCE OF BURIED FACILITIES. THERE ARE NO SIGNIFICANT OBSTRUCTIONS TO THE DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR
BOUNDARY SHOWN IS BASED ON RECORD INFORMATION AND FOUND MONUMENTATION.
THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN ARE APPROXIMATE.



CLIENT:
verizon wireless
 2785 MITCHELL DRIVE
 WALNUT CREEK, CA 94596

PDC CORPORATION

13222 DANIELSON ST., SUITE 200
 TEL: (925) 938-2928
 FAX: (925) 938-2927

VZN #123547
SKYLINE RE-LO

1800 LIFEMARK ROAD
 HALF MOON BAY, CA 94019

SITE INFO:

PROFESSIONAL SEAL
 IT IS A VIOLATION OF LAW FOR ANY
 PERSON, UNLESS THEY ARE ACTING
 UNDER THE DIRECTION OF A LICENSED
 PROFESSIONAL ENGINEER, TO ALIEN THIS
 DOCUMENT.

REV.	DATE	DESCRIPTION
11	10/09/14	ADD SAN MATEO COUNTY LEASE AREA
10	09/17/14	ADD SAN MATEO COUNTY LEASE AREA
9	06/25/14	MOVE SAN MATEO COUNTY LEASE AREA
8	02/24/14	REVISIONS TO WINDSHIELD WIPER FAUC
7	01/22/14	CORRECTIONS
6	12/23/13	ADD SAN MATEO COUNTY LEASE AREA

ENLARGED SITE
 PLAN

A-2

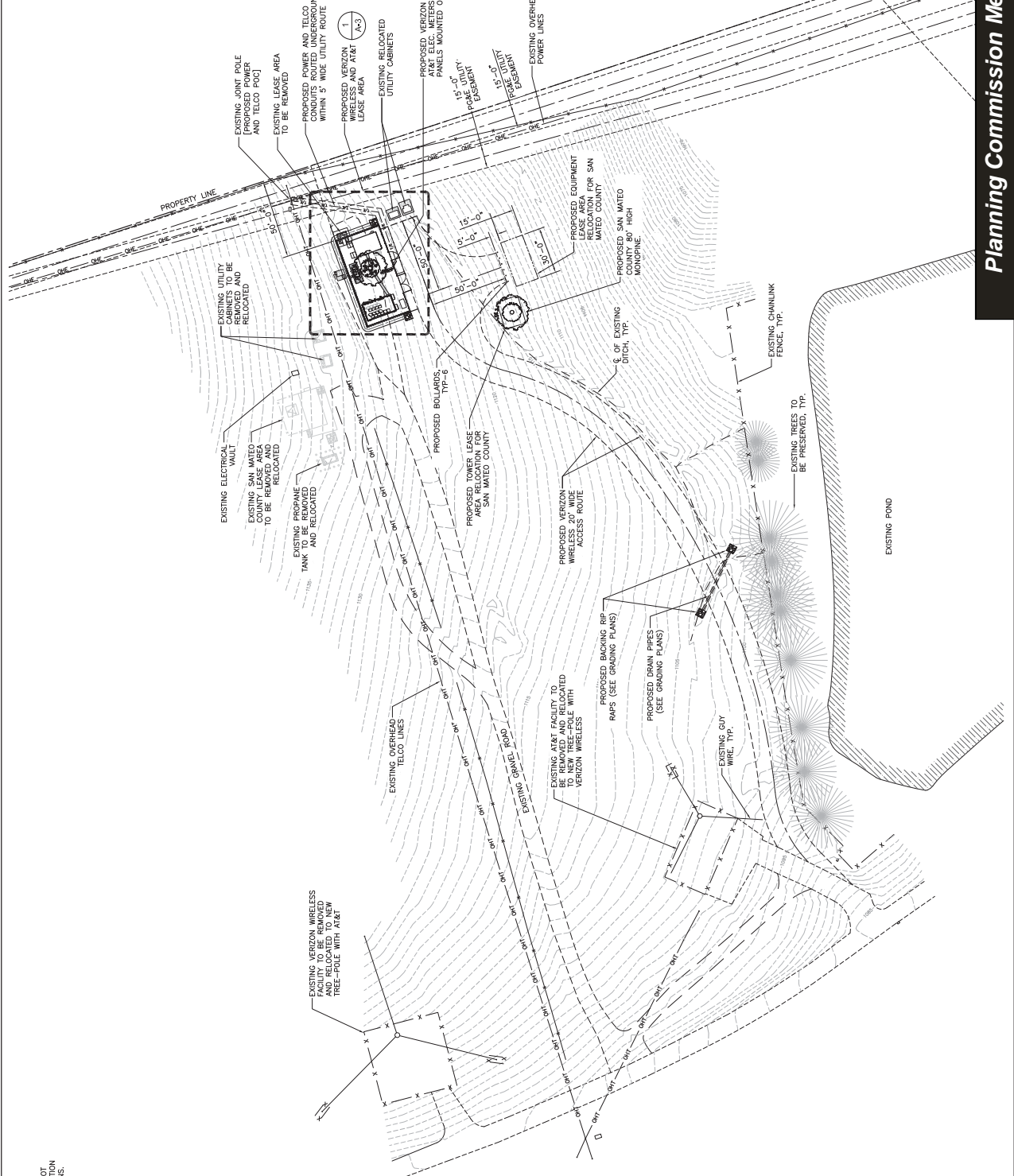
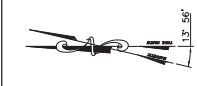
SHEET TITLE

Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**

File Numbers: **PLN 2014-00019**

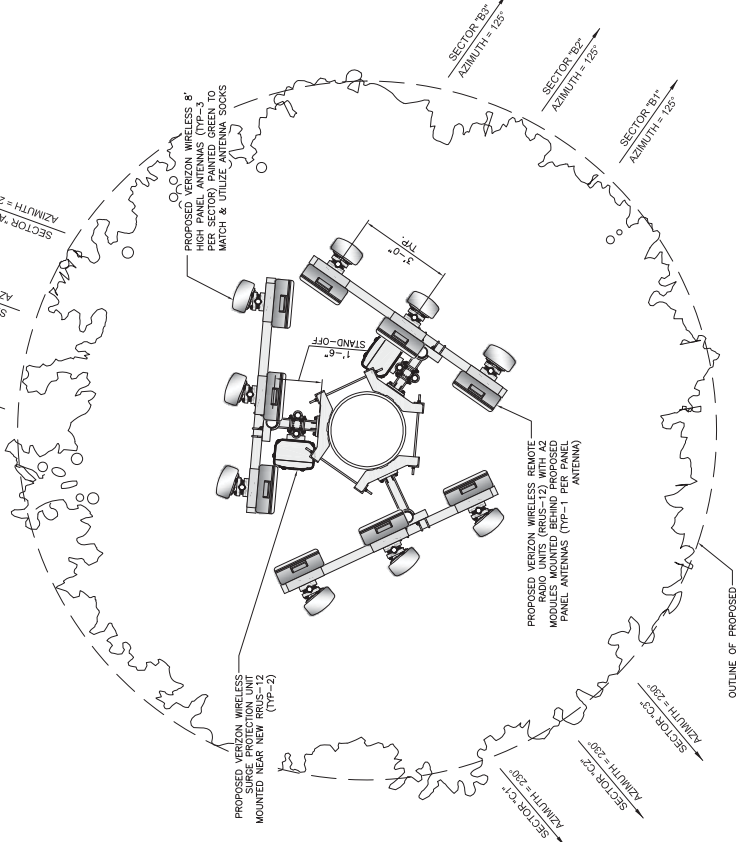
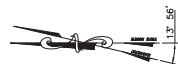
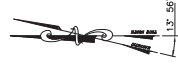
Attachment: **E**



SCALE NOTE:
 IF DIMENSIONS SHOWN ON PLAN DO NOT
 SCALE CORRECTLY, CHECK FOR REDUCTION
 OR ENLARGEMENT FROM GRADING PLANS.

ENLARGED SITE PLAN

SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT
SCALE CORRECTLY, CHECK FOR REDUCTION
OR ENLARGEMENT FROM ORIGINAL PLANS.



CLIENT:
PDC CORPORATION
13222 DANIELSON ST., SUITE 200
WALNUT CREEK, CA 94596
TEL: (925) 938-2928
FAX: (925) 938-2927

PROJECT ENGINEER:
VZN #123547
SKYLINE RE-LO
10800 LIEBMARK ROAD
HALF MOON BAY, CA 94019

SITE INFO:

PROFESSIONAL SEAL:
IT IS A VIOLATION OF LAW FOR ANY
PERSON, UNLESS THEY ARE ACTING
UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALIEN THIS
DOCUMENT.

REV.	DATE	DESCRIPTION
11	10/09/14	ADD VERIZON WIRELESS REMOTE RADIO UNITS (RRUS-12) WITH A2 MODULES AND 12 PER SECTOR ANTENNAS
10	09/17/14	ADD VERIZON WIRELESS REMOTE RADIO UNITS (RRUS-12) WITH A2 MODULES AND 12 PER SECTOR ANTENNAS
9	08/29/14	MOVE 5M COUNTY LEASE AREA
8	02/24/14	ADD VERIZON WIRELESS REMOTE RADIO UNITS (RRUS-12) WITH A2 MODULES AND 12 PER SECTOR ANTENNAS
7	01/22/14	CORRECTIONS
6	12/23/13	ADD VERIZON WIRELESS REMOTE RADIO UNITS (RRUS-12) WITH A2 MODULES AND 12 PER SECTOR ANTENNAS

SITE NAME: SKYLINE RE-LO
SITE NO.: 123547
DATE: 10/09/14
SCALE: AS NOTED
DESIGNED BY: JPM
CHECKED BY: WFT

ANTENNA PLANS
SHEET TITLE

A-4
SHEET NO.

Planning Commission Meeting
Owner/Applicant: **SKYLAW/NSA WIRELESS**
File Numbers: **PLN 2014-00019**
Attachment: **G**

AT&T ANTENNA PLAN | **1** | **VERIZON WIRELESS ANTENNA PLAN**
SCALE: 3/4" = 1'-0"
DATE: 10/09/14

PENDING



CLIENT:
verizonwireless
 2785 MITCHELL DRIVE
 WALNUT CREEK, CA 94596

PDC CORPORATION

13225 DANIELSON ST., SUITE 200
 TEL: (925) 938-2928
 FAX: (925) 938-2927

VZN #123547
SKYLINE RE-LO

18910 LEBANON ROAD
 HALF MOON BAY, CA 94019

SITE INFO:

PROFESSIONAL SEAL:
 I, **_____**, A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALIEN THIS DOCUMENT.

REV.	DATE	DESCRIPTION
11	10/09/14	ADD PROPOSED MONOPINE BRANCHES
10	09/17/14	ADD PROPOSED MONOPINE BRANCHES
9	06/25/14	MOVE 5M COUNTY LEASE AREA
8	02/24/14	ADD 10' WIDE ACCESS ROUTE
7	01/22/14	ADD 10' WIDE ACCESS ROUTE
6	12/23/13	ADD 10' WIDE ACCESS ROUTE

REV. DATE DESCRIPTION

SITE NAME: SKYLINE RE-LO
 SITE NO.: 123547
 DATE: 10/09/14
 SCALE: AS NOTED
 DESIGNED BY: JPM
 CHECKED BY: WJ

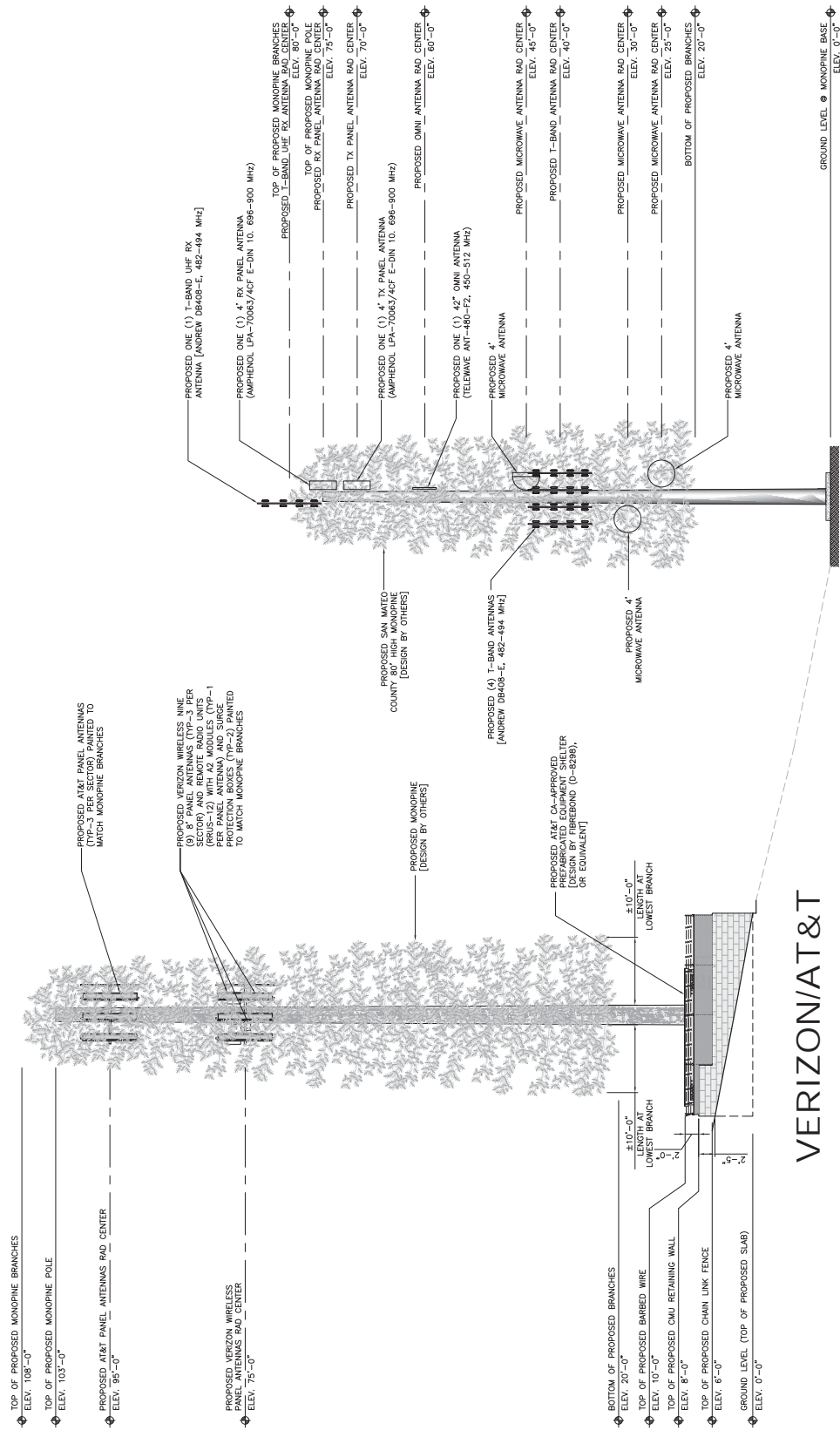
WEST ELEVATION

SHEET TITLE

A-5

SHEET NO.:

SCALE NOTE:
 IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.



WEST ELEVATION

Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**
 File Numbers: **PLN 2014-00019**
 Attachment: **H.1**



verizonwireless
2785 MITCHELL DRIVE
WALNUT CREEK, CA 94596

PDC CORPORATION
CID

13225 DANIELSON ST., SUITE 200
TEL: (925) 938-2928
FAX: (925) 938-2927

CLIENT:

VZN #123547
SKYLINE RE-LO

1890 LIEBERMAN ROAD
HALF MOON BAY, CA 94019

PROJECT ENGINEER:

SITE INFO:

PROFESSIONAL SEAL:
IT IS A VIOLATION OF LAW FOR ANY
PERSON, UNLESS THEY ARE ACTING
UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER THIS
DOCUMENT.

11	10/09/14	ADD PROPOSED MONOPINE TO SKYLINE
10	09/17/14	ADD PROPOSED MONOPINE TO SKYLINE
9	06/25/14	MOVE S.M. COUNTY LEASE AREA
8	02/25/14	REUSE ACCESS ROUTE
7	01/22/14	REUSE 10' WIDE MONOPINE FENCE
6	12/23/13	WALNUT COUNTY LEASE AREA
5	12/23/13	WALNUT COUNTY LEASE AREA
4	12/23/13	WALNUT COUNTY LEASE AREA
3	12/23/13	WALNUT COUNTY LEASE AREA
2	12/23/13	WALNUT COUNTY LEASE AREA
1	12/23/13	WALNUT COUNTY LEASE AREA

REV. DATE DESCRIPTION

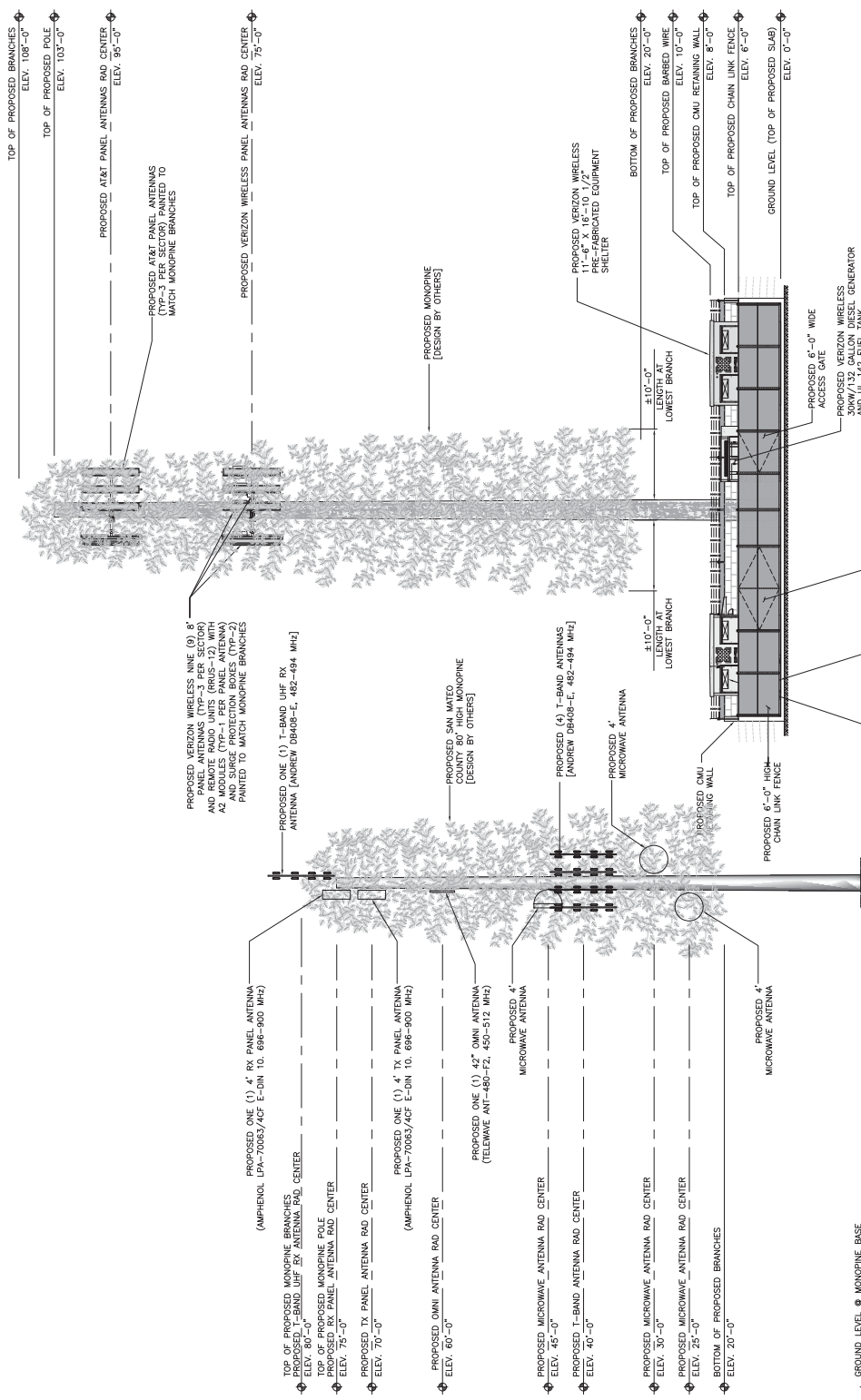
SITE NAME: SKYLINE RE-LO
SITE NO.: 123547
DATE: 10/09/14 SCALE: AS NOTED
DESIGNED BY: JHM CHECKED BY: WT

ELEVATIONS

A-6

SHEET TITLE

SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT
SCALE CORRECTLY, CHECK FOR REDUCTION
OR ENLARGEMENT FROM ORIGINAL PLANS.



COUNTY ISD
SEE ATTACHMENT H.3
FOR EQUIPMENT DETAIL

VERIZON/AT&T

Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**

File Numbers: **PLN 2014-00019**

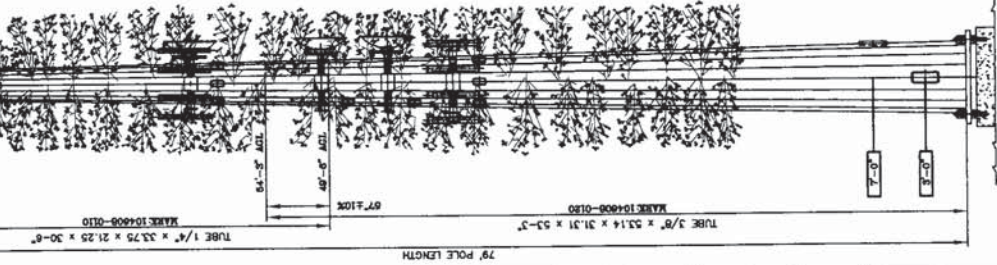
Attachment: **H.2**

SOUTH ELEVATION

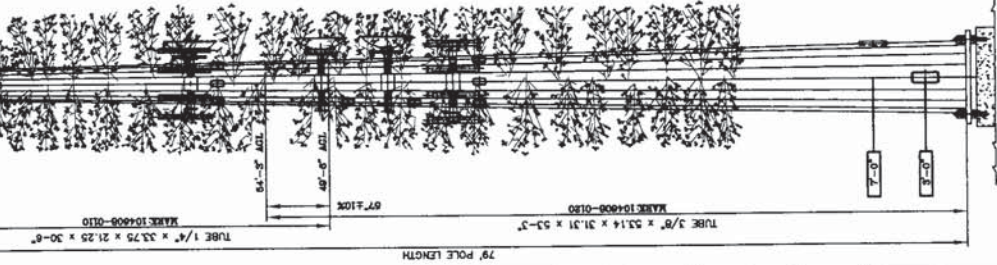
COUNTY ISD EQUIPMENT DETAILS

NOTICE: ALL PARTS ARE TO BE INVENTORIED AND ANY SHORTAGES REPORTED WITHIN 48 HOURS OF DELIVERY. SHORTAGES REPORTED AFTER THIS TIME PERIOD WILL BE CHARGED TO THE CONTRACTOR. CALL 800/369-6690 ASK FOR THE CONTRACTS DEPARTMENT

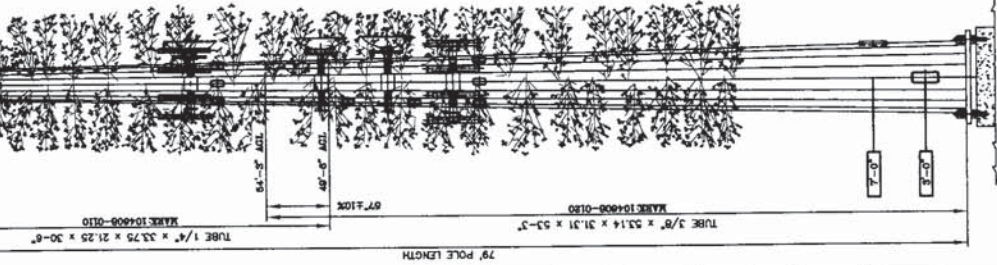
STANDOFF-18M-2'
77'-0" AGL. C1012900



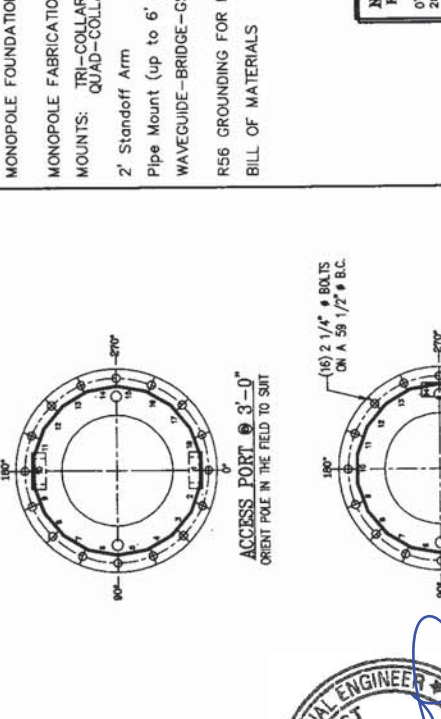
18M-MOUNT-MONO (5' & SMALLER)
STANDOFF-18M-2'
80'-0" AGL. C1012902



18M-MOUNT-MONO (5' & SMALLER)
80'-0" AGL. C1012900



FUTURE 2 BRANCH OFF ARM
40'-0" AGL.



REGISTERED PROFESSIONAL ENGINEER
AMT. R. HERBST
78733
CIVIL
STATE OF CALIFORNIA
6/10/14

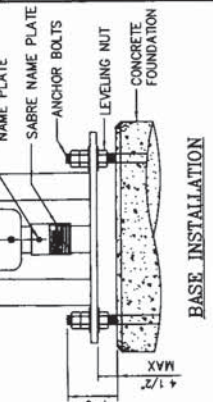
NOTE:
FACTORY APPLIED PAINT.
0' - 20' AGL. CLADDING
20' - 80' AGL. PAINT

DRAWING LIST

MONOPOLE ERECTION	104608-MM
MONOPOLE FOUNDATION(S)	104608-F1 104608-F2
MONOPOLE FABRICATION	104608-01
MOUNTS: TRI-COLLAR QUAD-COLLAR	C1012300 C10110202
2' Standoff Arm	C10114002
Pipe Mount (up to 6' Dish)	C10117006
WAVEGUIDE-BRIDGE-GS-BP 2'X10' 1 LVL. TRAPEZ 2-18'	C20135005 C20145002
R56 GROUNDING FOR MONOPOLE	C30150025
BILL OF MATERIALS	BOM-1

BOLT INSTALLATION DETAILS

1. INSTALLATION OF BOLTS: BOLTS FOR TOWERS AND ANTENNAS SHALL BE INSTALLED WITH THE NUTS FACING TO THE OUTSIDE AND/OR TO THE TOP OF THE TOWER, UNLESS PROHIBITED BY LACK OF CLEARANCE.
2. TIGHTENING OF BOLTS: ALL HIGH STRENGTH BOLTS SHALL BE TIGHTENED TO A SNUG-TIGHT CONDITION, AS DEFINED BY AISC.
3. NUT LOCKING DEVICE: ALL NUTS SHALL BE EQUIPPED WITH SOME TYPE OF NUT LOCKING DEVICE. SEE THE INDIVIDUAL DRAWINGS FOR THE TYPE OF NUT LOCKING DEVICE TO BE USED FOR EACH INDIVIDUAL APPLICATION.



Sabre Industries
Towers and Poles

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OWNER/APPLICANT:	SKYLAWN/NSA WIRELESS
FILE NUMBERS:	PLN 2014-00019
ATTACHMENT:	H.3

Planning Commission Meeting

Owner/Applicant: SKYLAWN/NSA WIRELESS


File Numbers: PLN 2014-00019

Attachment: H.3

APPLICANT:

 2795 MICHEL POKE
 WALNUT CREEK, CA 94598

PROJECT INFORMATION:
VZN #123547
SKYLINE -RE-LO
 1630A HESKAMP ROAD
 HALFMOON BAY, CA 94019
 SAN MATEO COUNTY

REV.	DATE	DESCRIPTION	BY
0	11/17/13	FINAL SUBMITAL	FR
1	12/02/13	ADDRESS COMMENTS	FR
2	12/19/13	REVISED ACCESS ROUTE	FR
3	06/17/14	RE-LO ACCESS ROUTE	FR
4	07/17/14	RE-LO ACCESS ROUTE	FR
5	09/09/14	AREA RELOCATION	FR
6	09/29/14	JOB S.D. NOTE	FR

CONSULTANT:

FRANCISCO & ASSOCIATES
 12000 TOWER ROAD, SUITE 200
 WILMINGTON, CA 92690
 TEL: (650) 688-2828
 FAX: (650) 688-2827
 EMAIL: rfrancisco@francisco.net

ENGINEER:

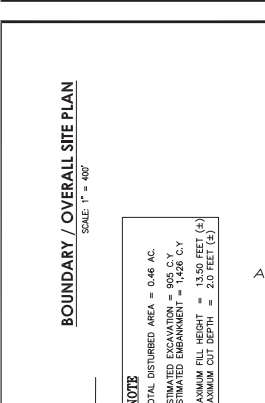
POC CORPORATION
 13225 ANTELOPE BLVD, SUITE 200
 POWAY, CA 92064
 TEL: (619) 688-2828
 FAX: (619) 688-2827



LICENSER:
 STATE OF CALIFORNIA
 DIVISION OF PROFESSIONAL REGULATION

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
GP-1



GRADING / BUILDING ON SITE

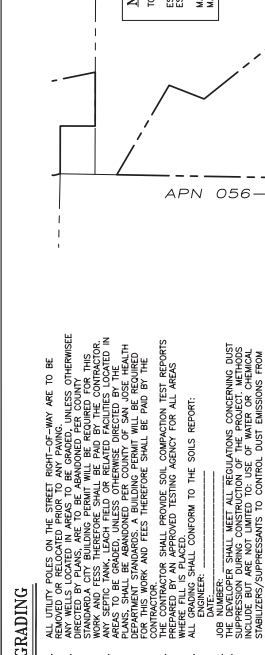
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF THE SPECIFICATIONS ENTITLED BY THE COUNTY OF SAN MATEO, STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL SECURE AN ENCROACHMENT PERMIT FOR ANY OFF-SITE CONSTRUCTION.
- ALL PERMITS INCLUDING ENCROACHMENT AND BARBAREE PLANS SHALL BE KEPT ON-SITE AT ALL TIMES.
- CONTRACTOR AT LAST 24 HOURS BEFORE THE INSPECTION SERVICES WILL BE PROVIDED TO THE UNDERGROUND UTILITIES DEPARTMENT.
- CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICES ALERT, TOLL FREE AT 1-800-487-3872, PRIOR TO ACCEPTANCE, BOND RELEASES, AND A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR SHALL SUBMIT ALL CHANGES AND ACTUAL FIELD CONDITIONS TO THE ENGINEER AS PER DRAWINGS AND CERTIFIED AS SUCH BY THE DEVELOPER'S ENGINEER.
- CONTRACTOR'S WORK SHALL SHUT OFF CONSTRUCTION EQUIPMENT WHEN NOT IN USE.
- ANY EXISTING SECTION CORNER, QUARTER SECTION CORNER, PROPERTY CORNER, OR OTHER MARKERS IN THE COURSE OF THE WORK COVERED BY THESE CONSTRUCTION PLANS, SHALL BE RESET TO THE SATISFACTION OF THE CITY ENGINEER. A SURVEYING SHALL CERTIFY THE PLACEMENT OR REPLACEMENT OF ALL MARKERS GOVERNING SUCH PLACEMENT OR REPLACEMENTS. PLACEMENT/REPLACEMENT CERTIFICATIONS SHALL BE COMPLETED BEFORE FINAL ACCEPTANCE OF THE CONSTRUCTION.
- ANY EXISTING BOUNDARY, STRIPING, AND STENCILING AND/OR SIGNAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR IN ACCORDANCE WITH THE COUNTY OF SAN JOSE STANDARDS AND AS DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DEPARTMENT AT 415.742.2800, CROSS WALKS, ETC. DAMAGED OR PAID BY THE WORK. THE CITY ENGINEERING DEPARTMENT SHALL BE ADVISED OF ALL LOGS, TYPES, DATES AND SCHEDULE OF WORK.

GENERAL NOTES

- EXCESS SOILS TO BE TRUCKED OFFSITE TO A COUNTY APPROVED LOCATION.
- EXCESS MATERIAL TO BE SCALED ON-SITE.

CONSTRUCTION NOTES & QUANTITY ESTIMATES

NOTE	ITEM	ESTIMATED QUANTITIES	UNIT
1	CONSTRUCT 30" ACCESS GRAVEL ROAD (CLASS II BASE @ 50% COMPACTION), 10' THK	10,320	SF
2	CONSTRUCT 3.0" CONCRETE T-CURB PER DETAIL OR SHEET 2	114	LF
3	CONSTRUCT RETAINING WALLS PER ARCHITECTURAL PLANS	120	LF
4	CONSTRUCT NO. 2 BIDDING BRHP (5.5x2.7" THK)	5.0	CY
5	REMOVE EXISTING EQUIPMENT AREA	1	LS
6	CONSTRUCT 18" RCP S.D (CLASS IV)	42	LF



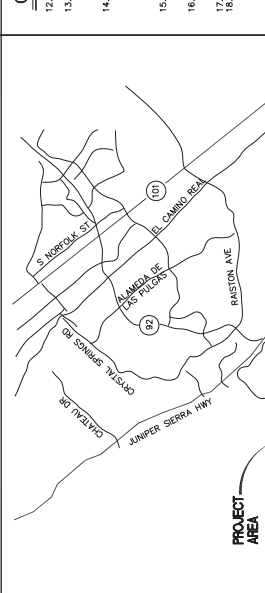
GRADING / BUILDING ON SITE

- ALL GRADING SHALL COMPLY WITH CALIFORNIA BUILDING CODE.
- THE CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE COUNTY OF SAN MATEO AND PAY PERMIT FEES. FOR PERMIT PURPOSES ONLY:
- ESTIMATED EXCAVATION: 805 C.Y. (4)
- ESTIMATED EMBANKMENT: 1,426 C.Y. (4)
- A LETTER FROM THE RESPONSIBLE CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO THE COUNTY ENGINEER CONFORMED TO THE APPROVED GRADING PLAN.
- THE COUNTY OF SAN JOSE BUILDING DEPARTMENT FOR ANY LOT WITH SIX (6) INCHES OR MORE OF FILL PRIOR TO ISSUANCE OF A PERMIT.
- ALL FIRE HYDRANTS ARE TO BE IN PLACE AND WORKING BEFORE ANY FILL IS USED TO SUPPORT THE FOUNDATIONS OF ANY BUILDING OR STRUCTURE SHALL BE PLACED UNDER THE DIRECTION OF A REGISTERED PROFESSIONAL ENGINEER.
- THE GEO-TECHNICAL REPORT PREPARED FOR PROJECT, AND THE FULL REPORT SHALL BE SUBMITTED TO THE GEO-TECHNICAL ENGINEER OR HIS QUALIFIED REPRESENTATIVE.
- IN THE EVENT ARCHAEOLOGICAL RESOURCES ARE UNearth OR DISCOVERED, THE CONTRACTOR SHALL CEASE AND THE COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE NOTIFIED IMMEDIATELY. THAT PROCEDURES REQUIRED BY STATE LAW CAN BE IMPLEMENTED.
- TEMPORARY SIGNS: PRIOR TO COMMENCING WORK ON ANY HOMES (BASE ROOM) IS PLACED ON STREETS, WHOEVER COMES FIRST, AT THE PROJECT SITE, SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TEMPORARY SIGNAGE. THE SIGNAGE SHALL BE PLACED ON THE PRIMARY STREET NAME SIGNS TO THE FOLLOWING SHALL INSTALL SIGNAGE:
- TEMPORARY SIGNAGE SHALL BE OF STEEL OR ALUMINUM BACKING WITH THICKNESS BETWEEN 0.007" AND 0.125".
- SIGN BACKING MATERIAL SHALL BE 6" IN HEIGHT, 18" IN WIDTH, AND 1/2" THICK. THE SIGNAGE SHALL BE PLACED ON A WHITE BACKGROUND. THE SIGNAGE SHALL BE PLACED ON A NUMBER HEIGHT SHALL BE 4" MINIMUM. BLOCK NUMBERS SHALL BE 2" MINIMUM HEIGHT.



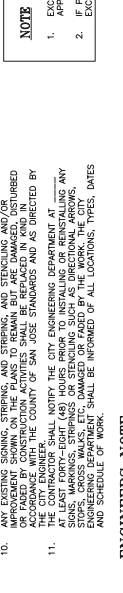
CONSTRUCTION NOTES & QUANTITY ESTIMATES

NOTE	ITEM	ESTIMATED QUANTITIES	UNIT
1	CONSTRUCT 30" ACCESS GRAVEL ROAD (CLASS II BASE @ 50% COMPACTION), 10' THK	10,320	SF
2	CONSTRUCT 3.0" CONCRETE T-CURB PER DETAIL OR SHEET 2	114	LF
3	CONSTRUCT RETAINING WALLS PER ARCHITECTURAL PLANS	120	LF
4	CONSTRUCT NO. 2 BIDDING BRHP (5.5x2.7" THK)	5.0	CY
5	REMOVE EXISTING EQUIPMENT AREA	1	LS
6	CONSTRUCT 18" RCP S.D (CLASS IV)	42	LF



GRADING / BUILDING ON SITE

- ALL GRADING SHALL COMPLY WITH CALIFORNIA BUILDING CODE.
- THE CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE COUNTY OF SAN MATEO AND PAY PERMIT FEES. FOR PERMIT PURPOSES ONLY:
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- ALL FIRE HYDRANTS ARE TO BE IN PLACE AND WORKING BEFORE ANY FILL IS USED TO SUPPORT THE FOUNDATIONS OF ANY BUILDING OR STRUCTURE SHALL BE PLACED UNDER THE DIRECTION OF A REGISTERED PROFESSIONAL ENGINEER.
- THE GEO-TECHNICAL REPORT PREPARED FOR PROJECT, AND THE FULL REPORT SHALL BE SUBMITTED TO THE GEO-TECHNICAL ENGINEER OR HIS QUALIFIED REPRESENTATIVE.
- IN THE EVENT ARCHAEOLOGICAL RESOURCES ARE UNearth OR DISCOVERED, THE CONTRACTOR SHALL CEASE AND THE COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE NOTIFIED IMMEDIATELY. THAT PROCEDURES REQUIRED BY STATE LAW CAN BE IMPLEMENTED.
- TEMPORARY SIGNS: PRIOR TO COMMENCING WORK ON ANY HOMES (BASE ROOM) IS PLACED ON STREETS, WHOEVER COMES FIRST, AT THE PROJECT SITE, SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TEMPORARY SIGNAGE. THE SIGNAGE SHALL BE PLACED ON THE PRIMARY STREET NAME SIGNS TO THE FOLLOWING SHALL INSTALL SIGNAGE:
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- SIGN BACKING MATERIAL SHALL BE 6" IN HEIGHT, 18" IN WIDTH, AND 1/2" THICK. THE SIGNAGE SHALL BE PLACED ON A WHITE BACKGROUND. THE SIGNAGE SHALL BE PLACED ON A NUMBER HEIGHT SHALL BE 4" MINIMUM. BLOCK NUMBERS SHALL BE 2" MINIMUM HEIGHT.



CONSTRUCTION NOTES & QUANTITY ESTIMATES

NOTE	ITEM	ESTIMATED QUANTITIES	UNIT
1	CONSTRUCT 30" ACCESS GRAVEL ROAD (CLASS II BASE @ 50% COMPACTION), 10' THK	10,320	SF
2	CONSTRUCT 3.0" CONCRETE T-CURB PER DETAIL OR SHEET 2	114	LF
3	CONSTRUCT RETAINING WALLS PER ARCHITECTURAL PLANS	120	LF
4	CONSTRUCT NO. 2 BIDDING BRHP (5.5x2.7" THK)	5.0	CY
5	REMOVE EXISTING EQUIPMENT AREA	1	LS
6	CONSTRUCT 18" RCP S.D (CLASS IV)	42	LF

Owner/Applicant: **SKYLAWN/NSA WIRELESS**
 File Numbers: **PLN 2014-00019**
 Attachment: **1.1**

Planning Commission Meeting

APPLICANT:



2785 MICHEL DRIVE
WALNUT CREEK, CA 94598

PROJECT INFORMATION:
VZN #123547
SKYLINE -RE-LO
1650N HESKAMP ROAD
HALFMOON BAY, CA 94019
SAN MATEO COUNTY

REVISIONS:

REV.	DATE	DESCRIPTION	BY
0	11/17/13	FINAL SUBMITTAL	FR
1	12/26/13	ADDRESS COMMENTS	FR
2	12/26/13	PROPOSED ACCESS ROUTE	FR
3	06/17/14	REVISIONS TO PROPOSED ACCESS ROUTE	FR
4	07/17/14	REVISIONS TO PROPOSED ACCESS ROUTE	FR
5	09/26/14	REVISIONS TO PROPOSED ACCESS ROUTE	FR
6	09/26/14	ADD S.D. NOTE	FR

CONSULTANT:
RF FRANCISCO & Associates
12000 TOWN CENTER DRIVE, SUITE 200
FOLSOM, CA 95630
TEL: (916) 938-2200
FAX: (916) 938-2202
EMAIL: rfassociates@verizon.net

ENGINEER:
GP CORPORATION
13225 QUINCY DRIVE, SUITE 200
POWELL, CA 95068
TEL: (958) 688-2828
FAX: (958) 688-2827



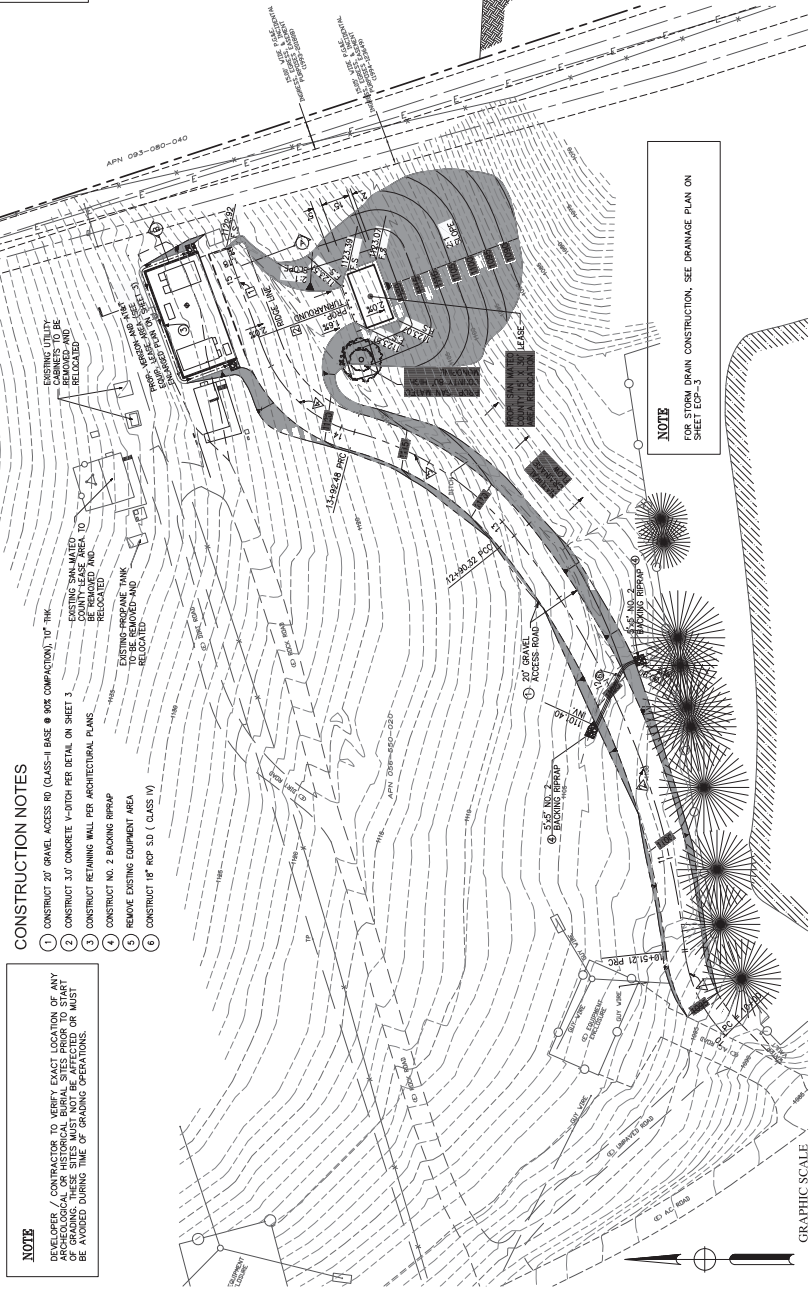
W.P. & S.P. P.
No. 50864
State of California
Civil
WES BARRY, Exp. Date 8-26-16

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
GP-2

Planning Commission Meeting
Owner/Applicant: **SKYLAWN/NSA WIRELESS**
File Numbers: **PLN 2014-00019**
Attachment: **1.2**

NOTE
ALL MANUFACTURED SLOPES SHALL BE RE-VEGETATE BY THE CONTRACTOR WITH NATIVE PLANTS AND SEED MIXES FOR SLOPE STABILIZATION.



- CONSTRUCTION NOTES**
- 1 CONSTRUCT 20' GRAVEL ACCESS RD (CLASS-II BASE @ 90% COMPACTION), 10" RH-
 - 2 CONSTRUCT 3.0' CONCRETE V-DITCH PER DETAIL ON SHEET 3
 - 3 CONSTRUCT RETAINING WALL PER ARCHITECTURAL PLANS
 - 4 CONSTRUCT NO. 2 BACKING BRPAP
 - 5 REMOVE EXISTING EQUIPMENT AREA
 - 6 CONSTRUCT 18" POP S.D. (CLASS IV)

NOTE
BEFORE ANY CONTRACTING TO VERIFY EXACT LOCATIONS OF ANY ARCHAEOLOGICAL OR HISTORICAL BURIAL SITES PRIOR TO START OF GRADING. THESE SITES MUST NOT BE AFFECTED OR MUST BE AVOIDED DURING TIME OF GRADING OPERATIONS.

NOTE
EXISTING UTILITY LOCATIONS TO BE MAINTAINED TO BE RECORDED AND RELOCATED.

NOTE
EXISTING PROPRANE TANK TO BE MAINTAINED TO BE RECORDED AND RELOCATED.

NOTE
EXISTING STORM DRAIN CONSTRUCTION, SEE DRAINAGE PLAN ON SHEET GP-3

NOTE
ACCESS ROAD WIDE DESIGNED TO CARRY 75,000 LBS PER HOUR LUBRICATION REQUIREMENTS.

NOTE
CONC. V-DITCH WITH 1 1/2" X 1 1/2" 17 GAGE STUCCO NETTING.

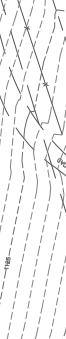
DATA TABLE

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1	56.81'	S69°56'31"E
2	56.82'	S69°57'28"E

CURVE TABLE

CURVE	LEN	BEARING	LENGTH
1	38°54'21"	76°00'	51.21'
2	32°37'09"	420°00'	239.11'
3	35°13'50"	160°00'	104.48'
4	35°13'50"	330°00'	104.48'

GRAPHIC SCALE
1" = 10'-0"



APPLICANT:
verizonwireless
 2795 MICHEL DRIVE
 WALNUT CREEK, CA 94598


PROJECT INFORMATION:
VZN #123547
SKYLINE -RE-LO
 16501 HESBURN ROAD
 HALFMOON BAY, CA 94019
 SAN MATEO COUNTY

REV.	DATE	DESCRIPTION	BY
0	11/17/13	PANEL SUBMITTAL	FR
1	12/26/13	ADDRESS COMMENTS	FR
2	12/19/13	LOGS COMMENTS	FR
3	06/17/14	PROPOSED ACCESS PROFILE	FR
4	07/17/14	REVISIONS TO PERMITS	FR
5	09/09/14	PERMITS/PERMITS LEASE	FR
6	09/29/14	AREA RELOCATION	FR

CONSULTANT:
RF FRANCISCO & Associates
 2200 TOWER ROAD, SUITE 200
 FOLSOM, CA 95630
 TEL: (916) 988-2828
 FAX: (916) 988-2827
 EMAIL: rf@franciscoandassociates.com

ENGINEER:
CPD
 POC CORPORATION
 13228 DANVILLE BLVD, SUITE 200
 POWAY, CA 92064
 TEL: (619) 688-2828
 FAX: (619) 688-2827

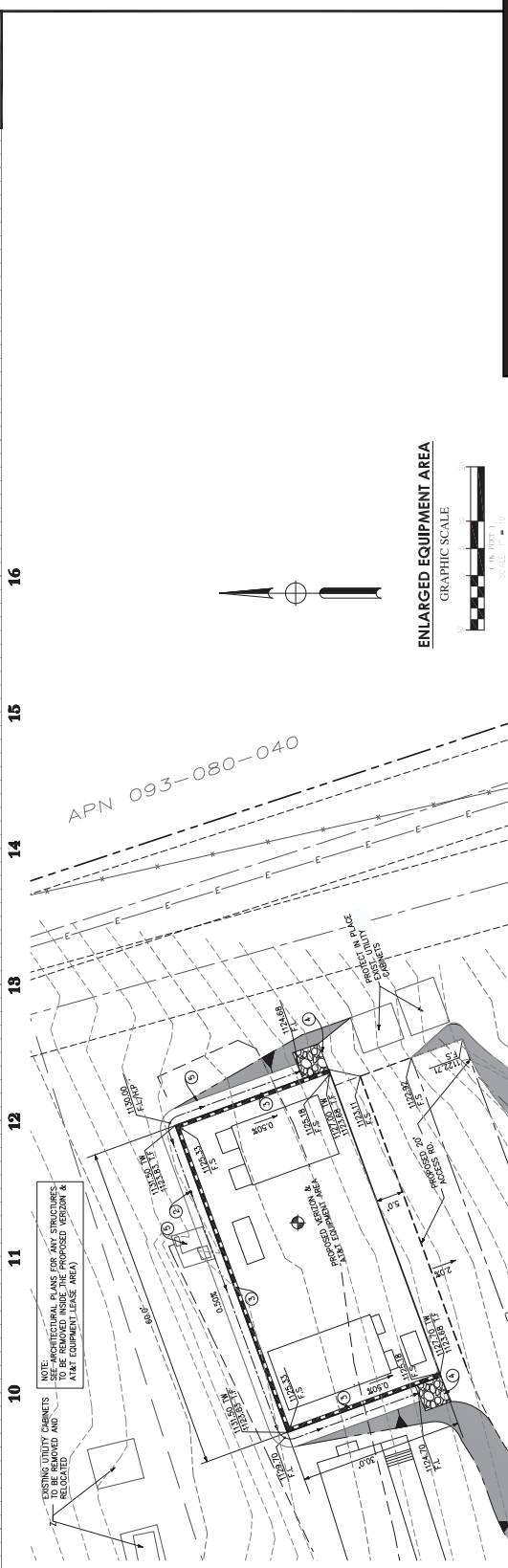
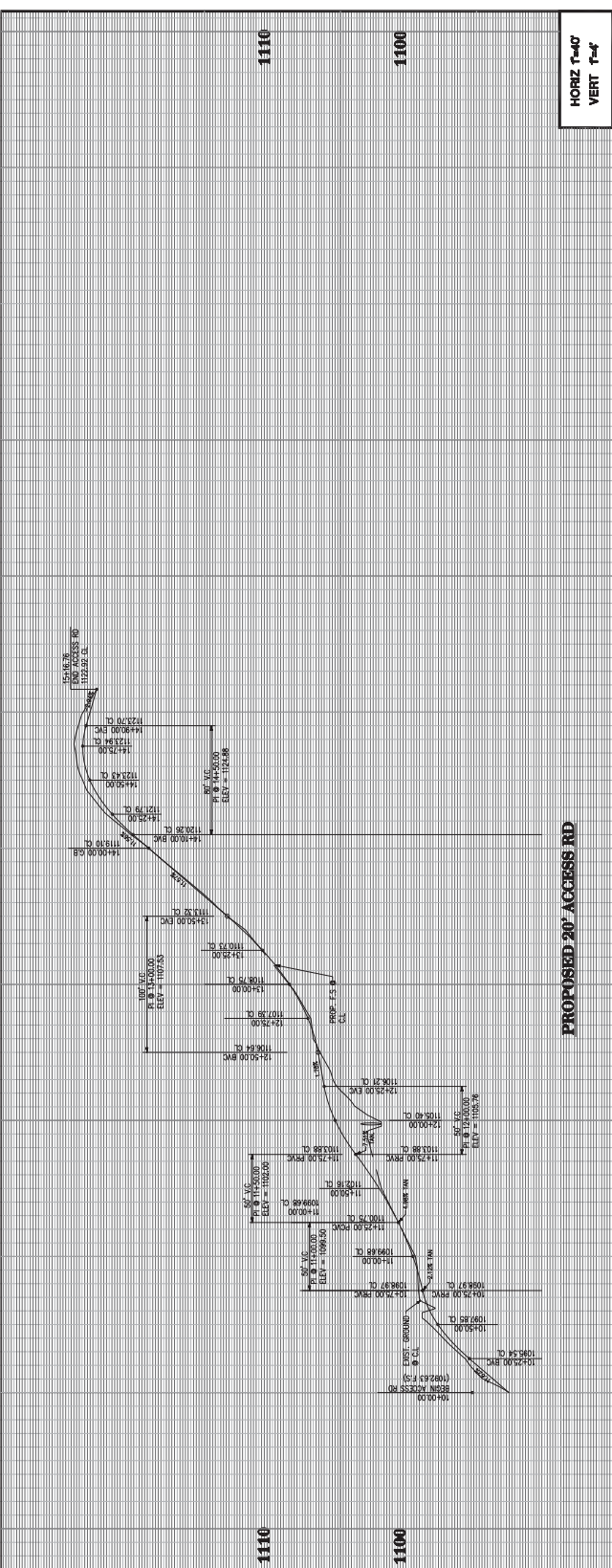
LICENSER:



W.P. & E.P. P.
 REG. NO. 10000 EXP. DATE 8-31-16

SHEET TITLE:
 GRADING PLAN

SHEET NUMBER:
GP-3
 SHEET 3 OF 3



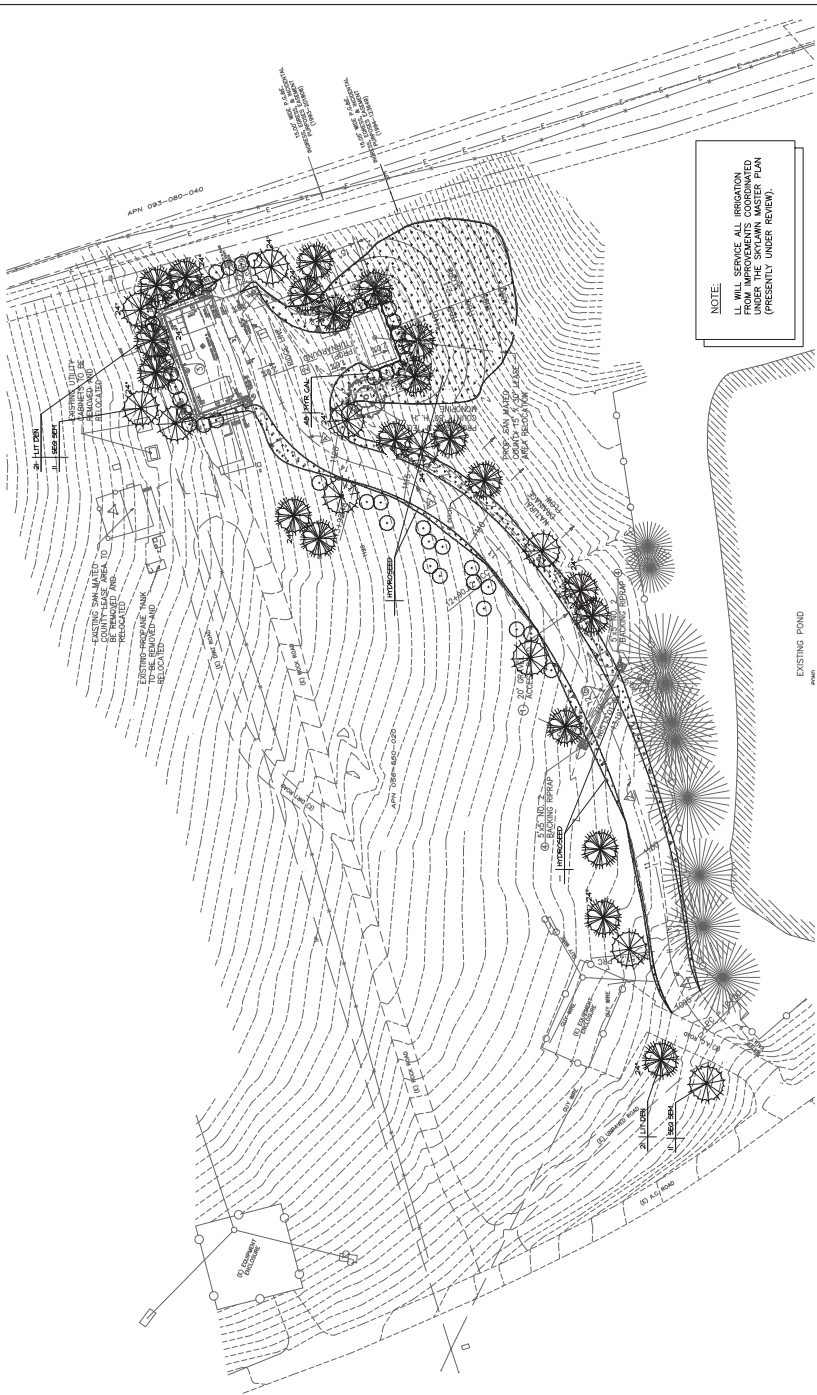
Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**

File Numbers: **PLN 2014-00019**

Attachment: **I.3**

SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT
SCALE CORRECTLY, CHECK FOR REDUCTION
ON ENLARGEMENT FROM ORIGINAL PLOTTING.



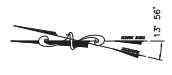
P L A N T I N G L E G E N D

SYMBOL	DESCRIPTION	SIZE	QTY
	LIT ORN LINDSEY PERPETUUS	9" DIA	14
	24" BOX		1
	360 SPT SEVILLA BERTONENSIS	18" DIA	7
	24" BOX		4
	5 8" CAL MIRA CALIFORNICA		48
	CALIFORNIA MAX MTRILE		1

PLANTING LEGEND

ALL NEW LANDSCAPE WILL BE MAINTAINED BY THE LANDLORD

NOTE:
ILL WILL SERVICE ALL IRRIGATION FROM IMPROVEMENTS COORDINATED FROM THE LANDSCAPE PLAN (PRESSURE UNDER REVIEW).



PDC CORPORATION
CID
13225 DANIELSON ST., SUITE 200
WANTHAUP, CA 94089
TEL: (650) 948-2928
FAX: (650) 948-2827

VZN #123547
SKYLINE RE-LO
10200 LEMARK ROAD
HALF MOON BAY, CA 94019



DMLA
LANDSCAPE ARCHITECTURE
PROFESSIONAL SEAL

IT IS A VIOLATION OF LAW FOR ANY
PERSON TO REPRODUCE OR TRANSMIT
THIS DOCUMENT OR TO ALTER THIS
PROFESSIONAL DOCUMENT.

REV.	DATE	DESCRIPTION
4	10/27/14	NOTE 5M COUNTY-LAKE AREA
3	10/24/14	REVISE ACCESS ROUTE
2	12/19/13	MONITOR REVISION
1	12/19/13	CLIENT REVISIONS
0	10/27/13	ISSUE LANDSCAPE DRAWINGS

SITE NAME: SKYLINE RE-LO
SITE NO.: 123547
DATE: 09/09/14
SCALE: AS NOTED
DESIGNED BY: DMLA
CHECKED BY: DMLA

PLANTING PLAN

SHEET TITLE:
L-1
SHEET NO.:

Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**

File Numbers: **PLN 2014-00019**

Attachment: **J.1**

PLANTING PLAN

APPLICANT:
verizonwireless
 2795 MICHEL DRIVE
 WALNUT CREEK, CA 94598

PROJECT INFORMATION:
VZN #123547
SKYLINE -RE-LO
 1630A HESBANK ROAD
 HALFMOON BAY, CA 94019
 SAN MATEO COUNTY

REVISIONS:

NO.	DATE	DESCRIPTION	BY
0	09/26/14	FINAL SUBMITTAL	FR

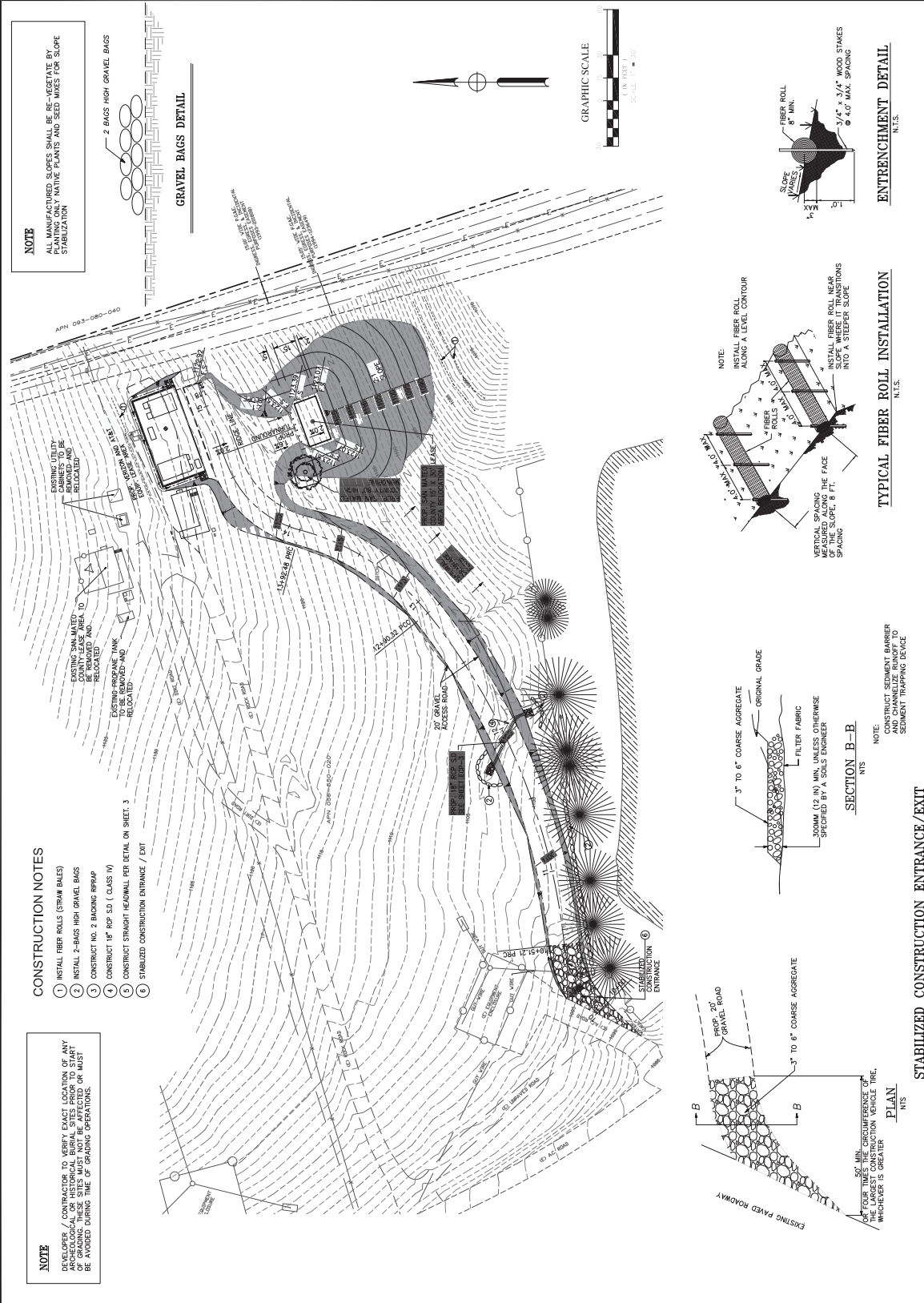
CONSULTANT:
RFR FRANCISCO & ASSOCIATES
 1000 TOWER ROAD, SUITE 200
 WILSON, CA 92095
 TEL: (650) 688-2828
 FAX: (650) 688-2877
 EMAIL: rfrassociates@rfr.com

ENGINEER:
CD PDC CORPORATION
 13228 SANDHURST DRIVE, SUITE 200
 POWAY, CA 92064
 TEL: (619) 688-2828
 FAX: (619) 688-2877

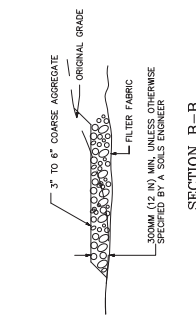
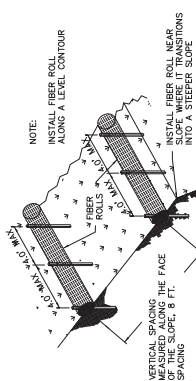
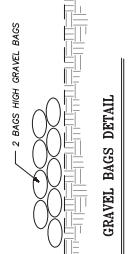
LICENSER:

 SHEET TITLE:
EROSION CONTROL PLAN

SHEET NUMBER:
ECP-2



NOTE
 ALL MANUFACTURED SLOPES SHALL BE RE-VEGETATE BY PLANTING ONLY NATIVE PLANTS AND SEED MIXES FOR SLOPE STABILIZATION



- CONSTRUCTION NOTES**
1. INSTALL FIBER ROLLS (STRAW BALES)
 2. INSTALL 2-BAGS HIGH GRAVEL BAGS
 3. CONSTRUCT NO. 2 BAKING RIPRAP
 4. CONSTRUCT 18" RCP S.D. (CLASS IV)
 5. CONSTRUCT STRAIGHT SEGMENT PER DETAIL ON SHEET 3
 6. STABILIZED CONSTRUCTION ENTRANCE / EXIT

NOTE
 BEFORE ANY CONTRACTORS TO VERIFY EXACT LOCATION OF ANY ARCHAEOLOGICAL OR HISTORICAL BURIAL SITES PRIOR TO START OF GRADING. THESE SITES MUST NOT BE AFFECTED OR MUST BE AVOIDED DURING TIME OF GRADING OPERATIONS.

Owner/Applicant: **SKYLAWN/NSA WIRELESS**
 File Numbers: **PLN 2014-00019**
 Attachment: **L.2**

STABILIZED CONSTRUCTION ENTRANCE/EXIT
 N.T.S.

APPLICANT:
verizonwireless
 2795 MICHEL DRIVE
 WALNUT CREEK, CA 94598

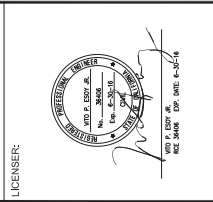
PROJECT INFORMATION:
VZN #123547
SKYLINE -RE-LO
 18501 HESBANK ROAD
 HALF MOON BAY, CA 94019
 SAN MATEO COUNTY

REVISIONS:

REV.	DATE	DESCRIPTION	BY
0	09/26/14	FINAL SUBMITAL	FR

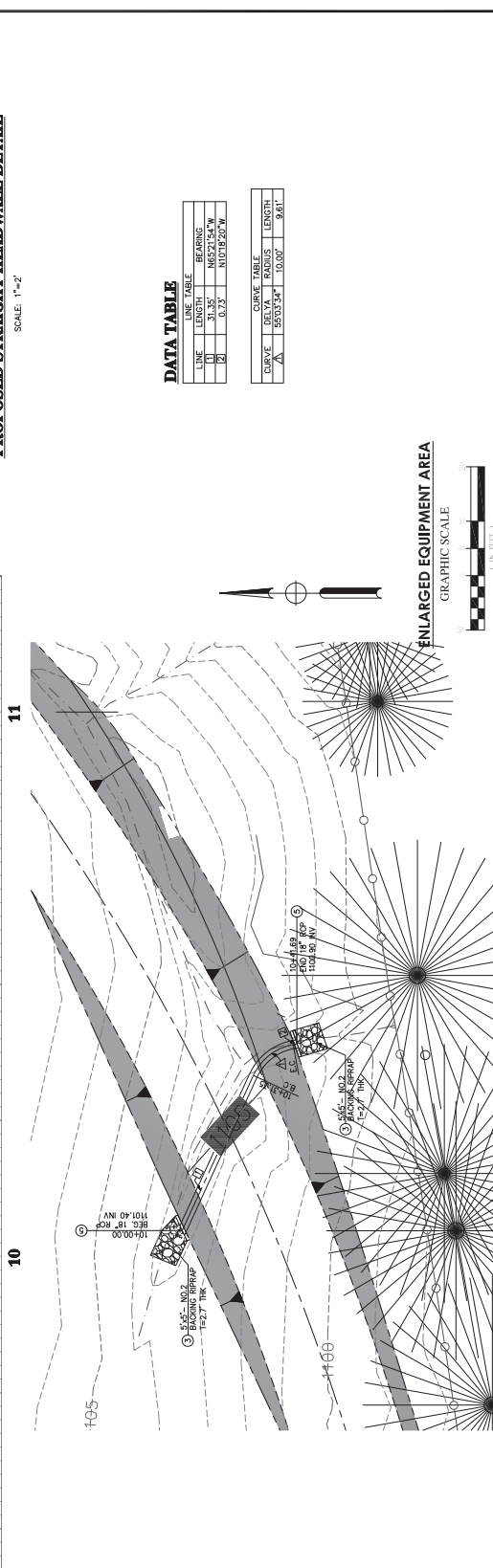
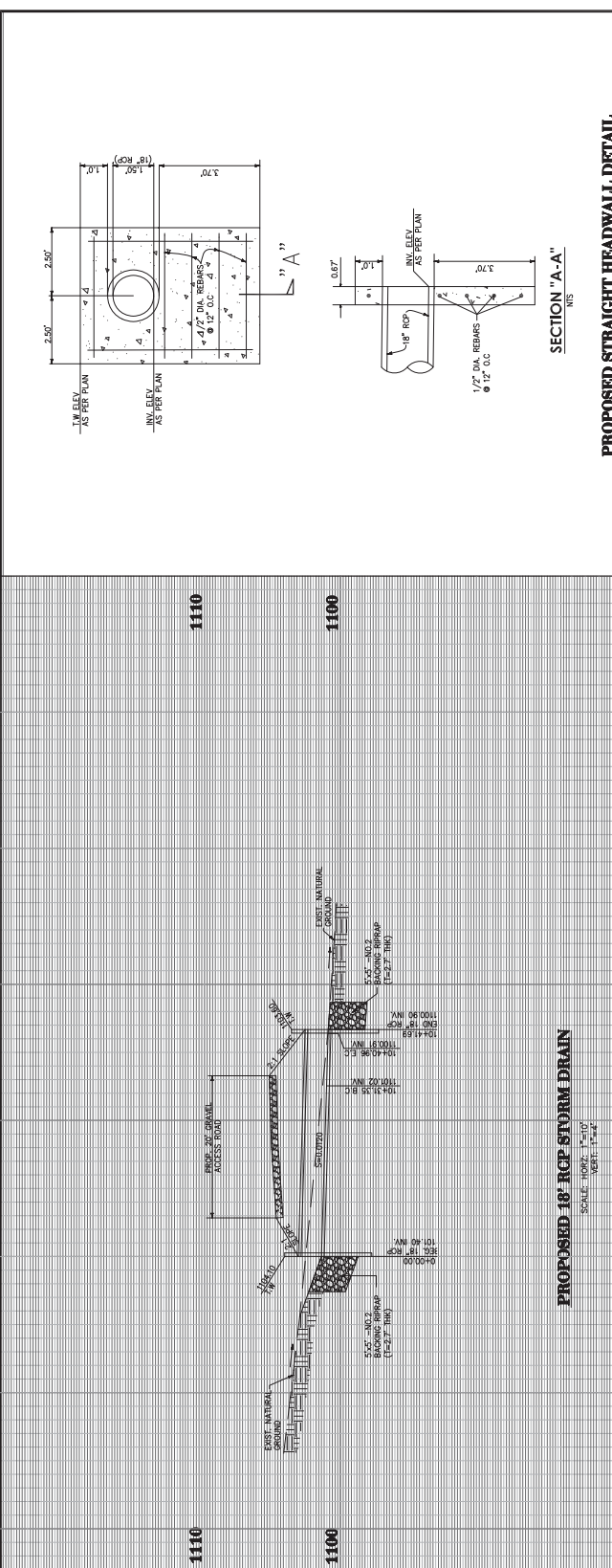
CONSULTANT:
RFR RFR FRANCISCO & ASSOCIATES
 1000 MARKET STREET, SUITE 200
 WILSON, CA 94095
 TEL: (650) 688-2828
 FAX: (650) 688-2877
 EMAIL: rfrassociates@rfr.com

ENGINEER:
cj3 POC CORPORATION
 13229 ANSELMO DRIVE, SUITE 200
 POWAY, CA 92064
 TEL: (619) 688-2828
 FAX: (619) 688-2877



SHEET TITLE:
DRAINAGE PLAN

SHEET NUMBER:
ECP-3



DATA TABLE

LINE	TABLE	BEARING
1	1	N85°21'54\" W
2	2	N10°18'20\" W

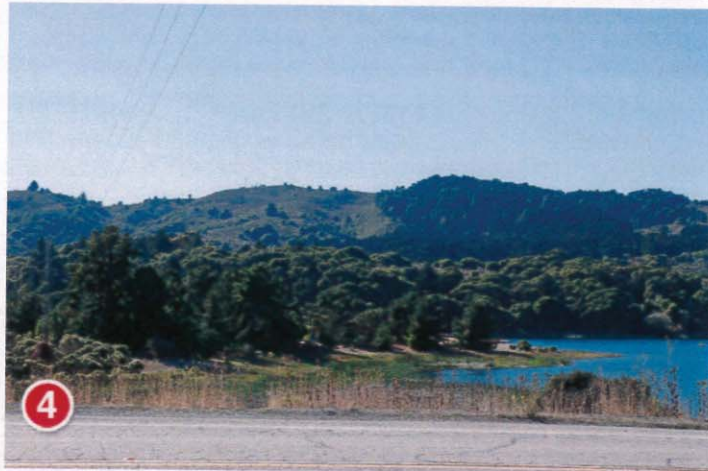
CURVE	DELTA	RADIUS	LENGTH
A	35°13'34\"	10.00'	9.61'

Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**

File Numbers: **PLN 2014-00019**

Attachment: **M**

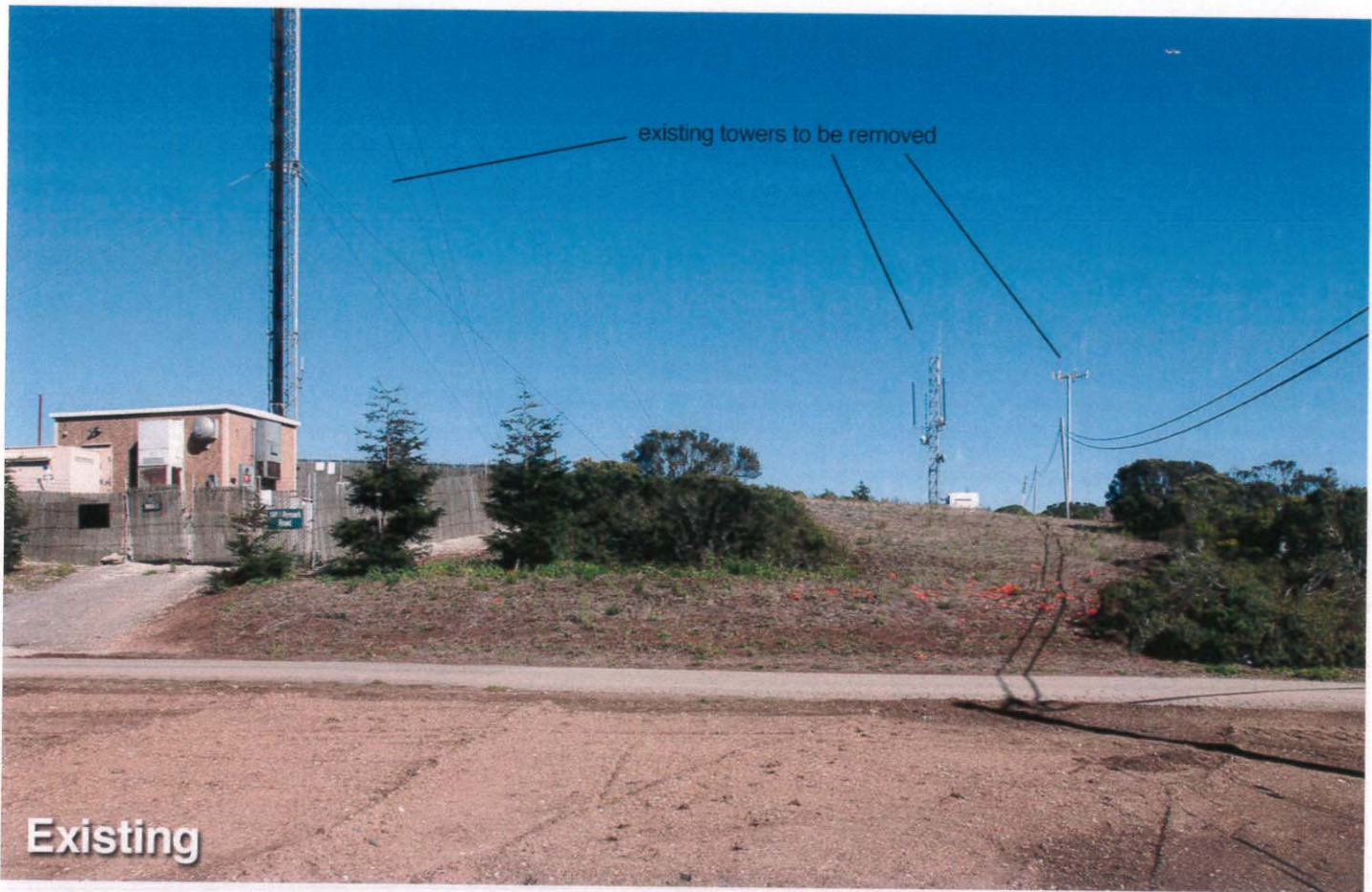


Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**

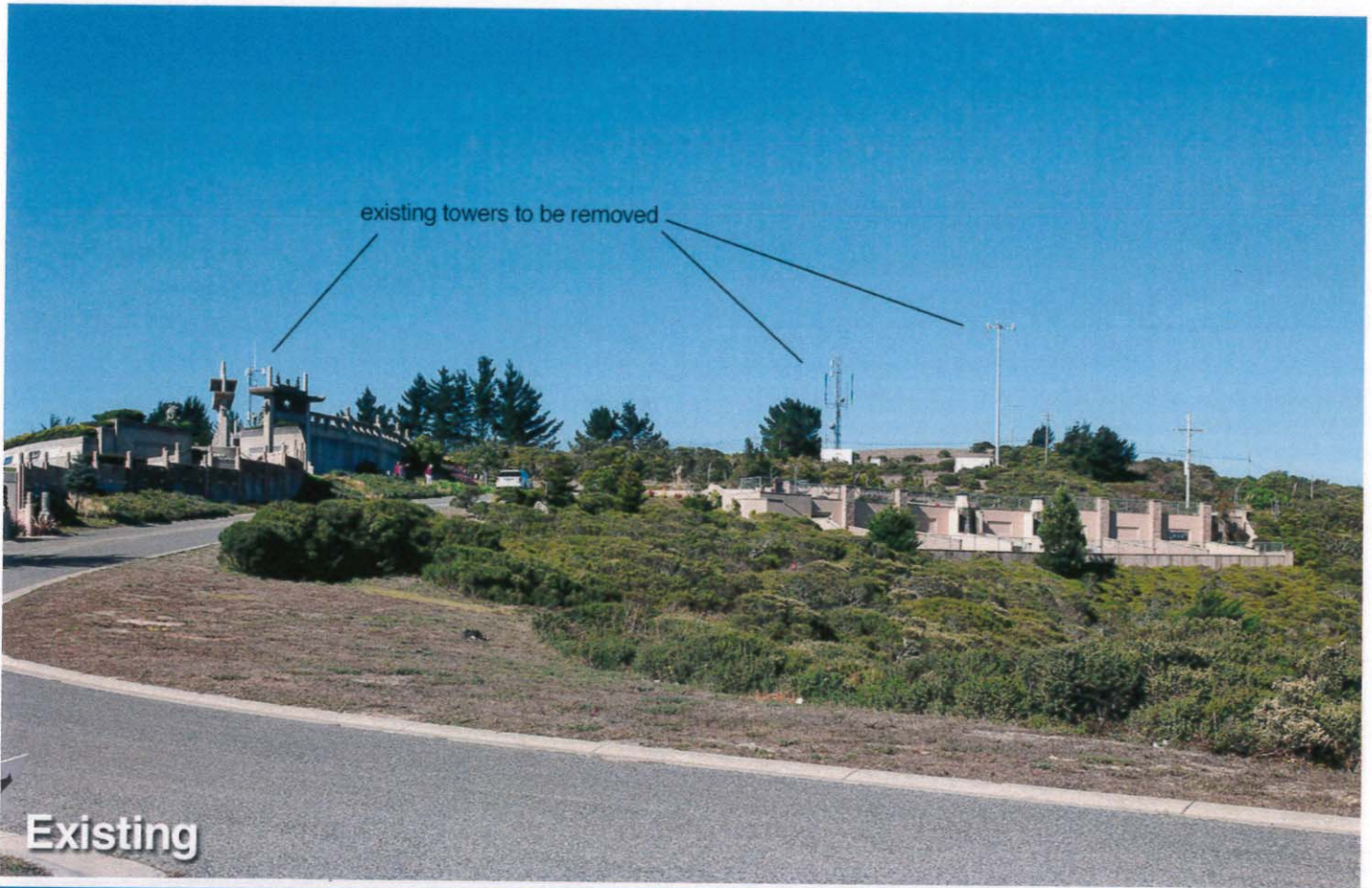
File Numbers: PLN 2014-00019

Attachment: N.1

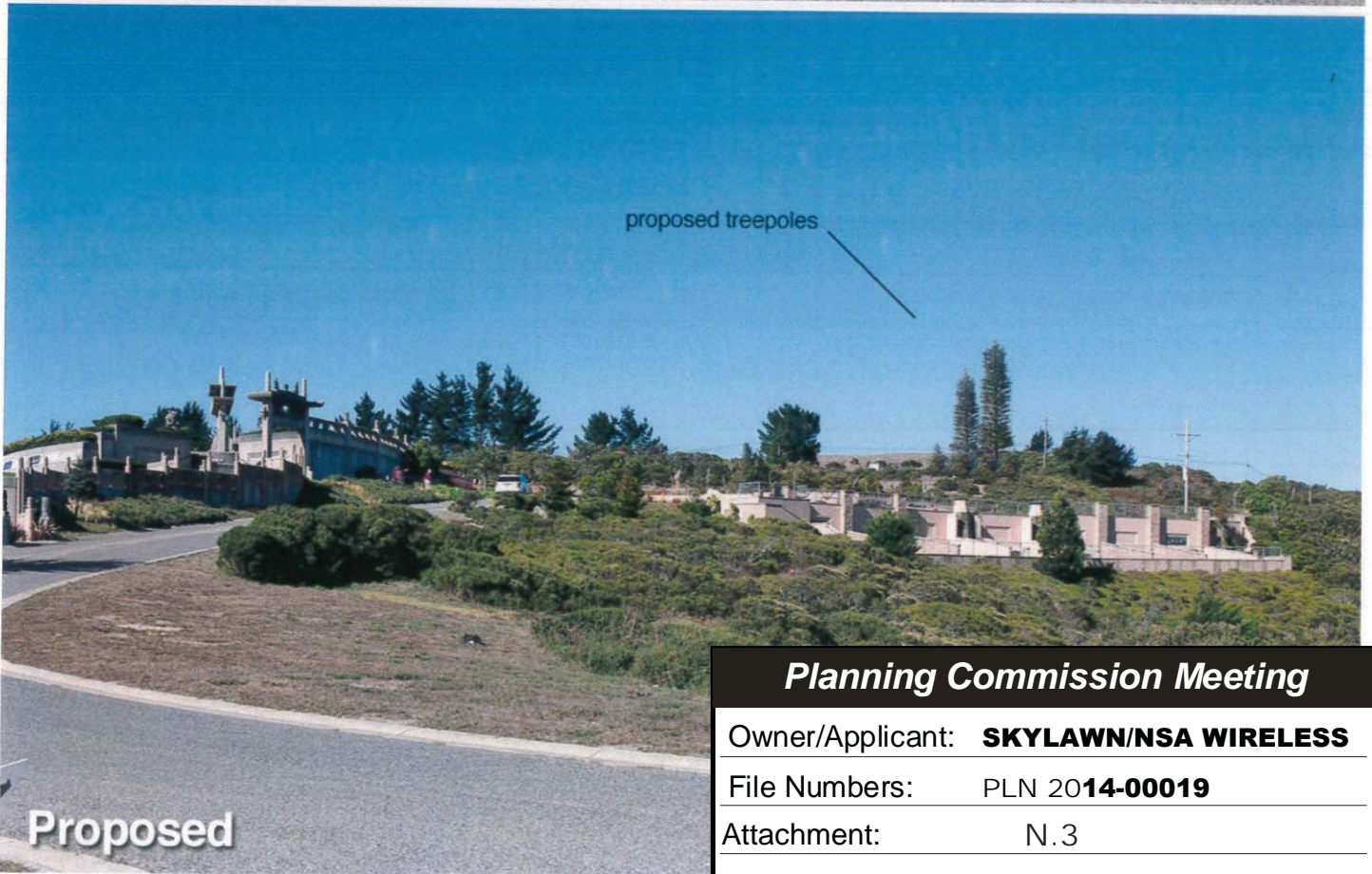


Planning Commission Meeting

Owner/Applicant:	SKYLAWN/NSA WIRELESS
File Numbers:	PLN 2014-00019
Attachment:	N.2



Existing



Proposed

Planning Commission Meeting

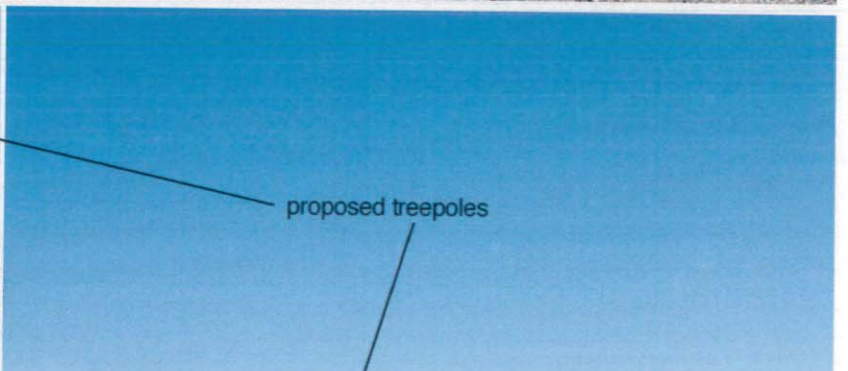
Owner/Applicant: **SKYLAWN/NSA WIRELESS**

File Numbers: **PLN 2014-00019**

Attachment: **N.3**



Existing



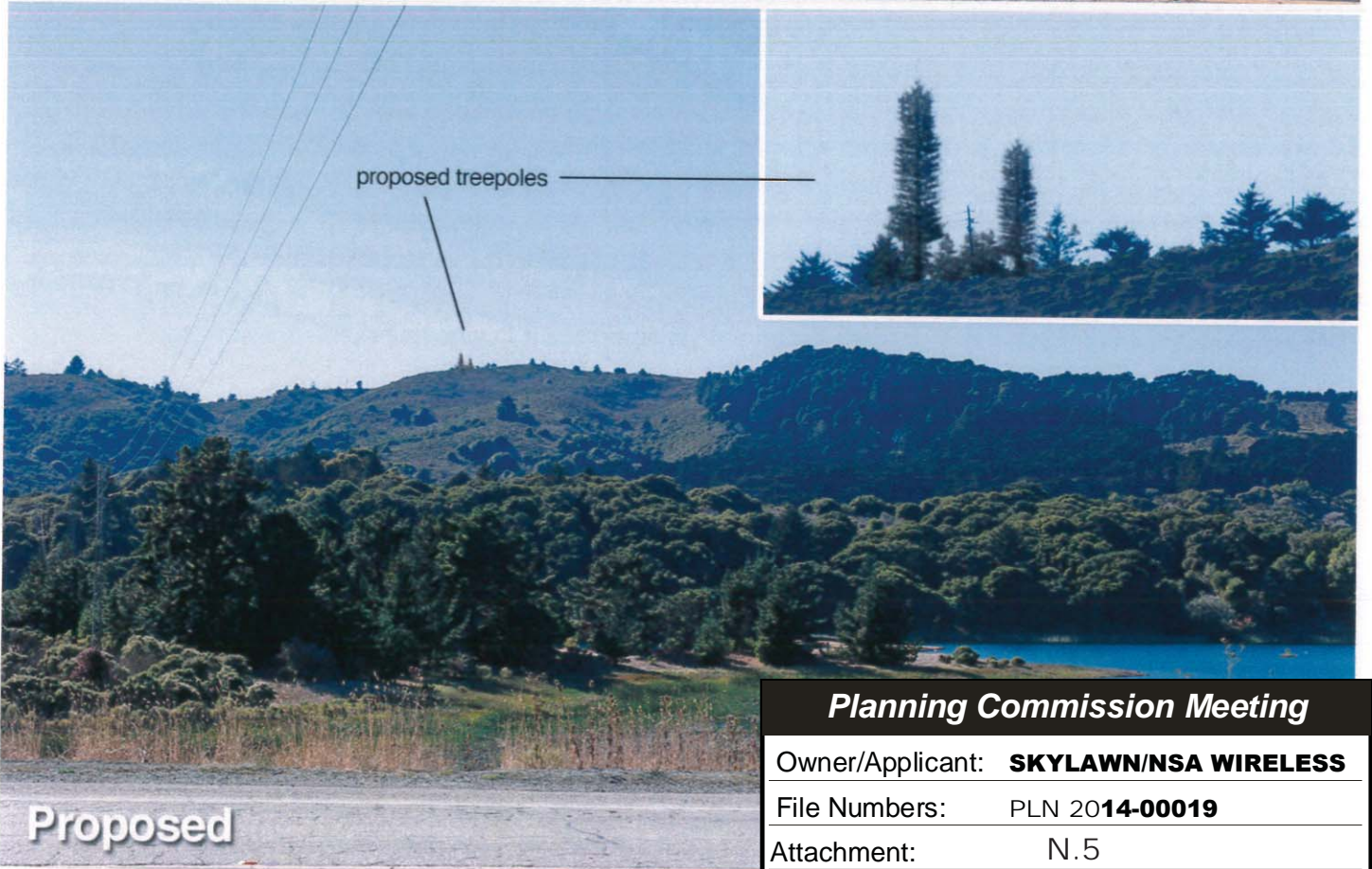
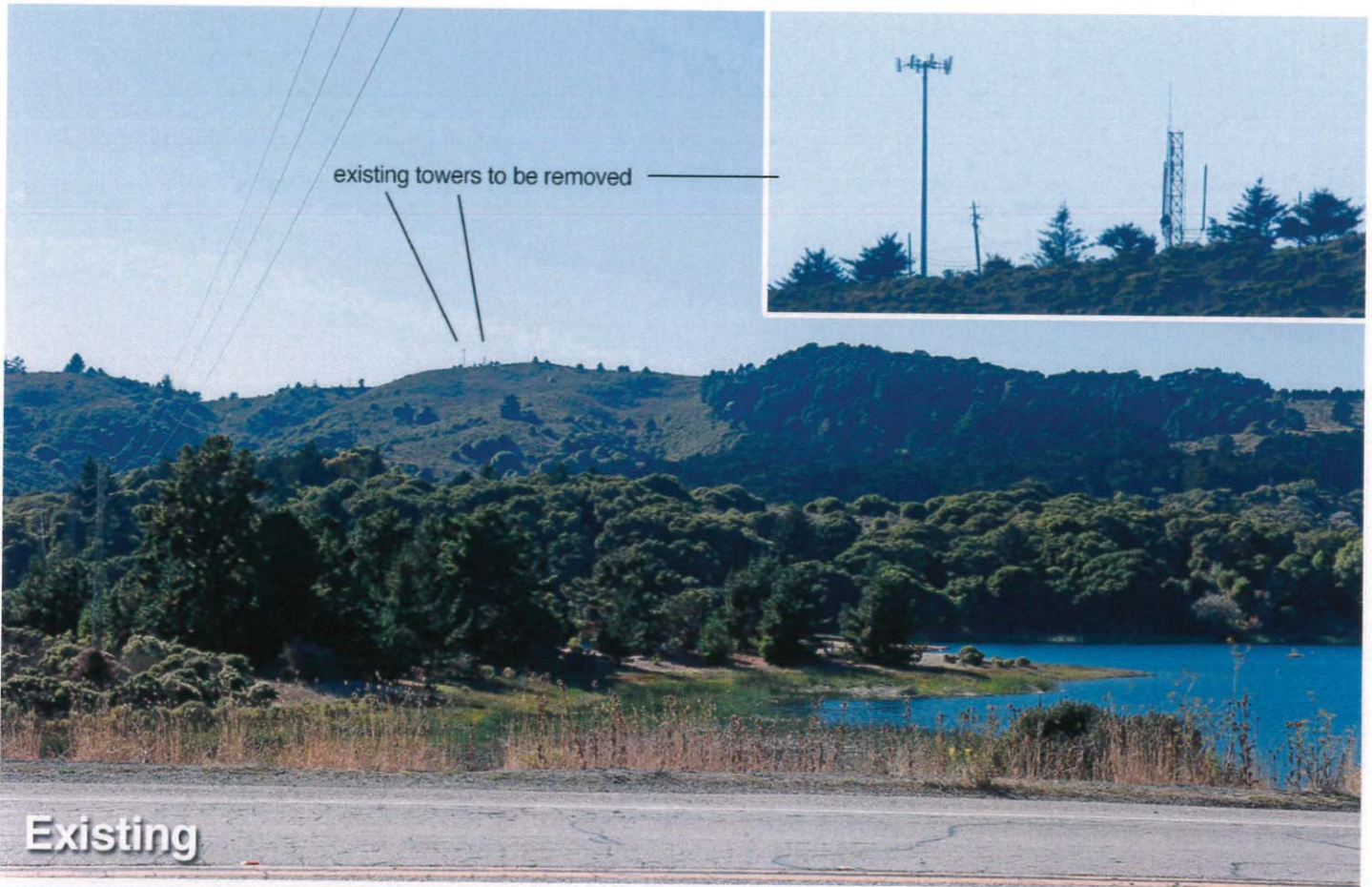
Proposed

Planning Commission Meeting	
Owner/Applicant:	SKYLAWN/NSA WIRELESS
File Numbers:	PLN 2014-00019
Attachment:	N.4

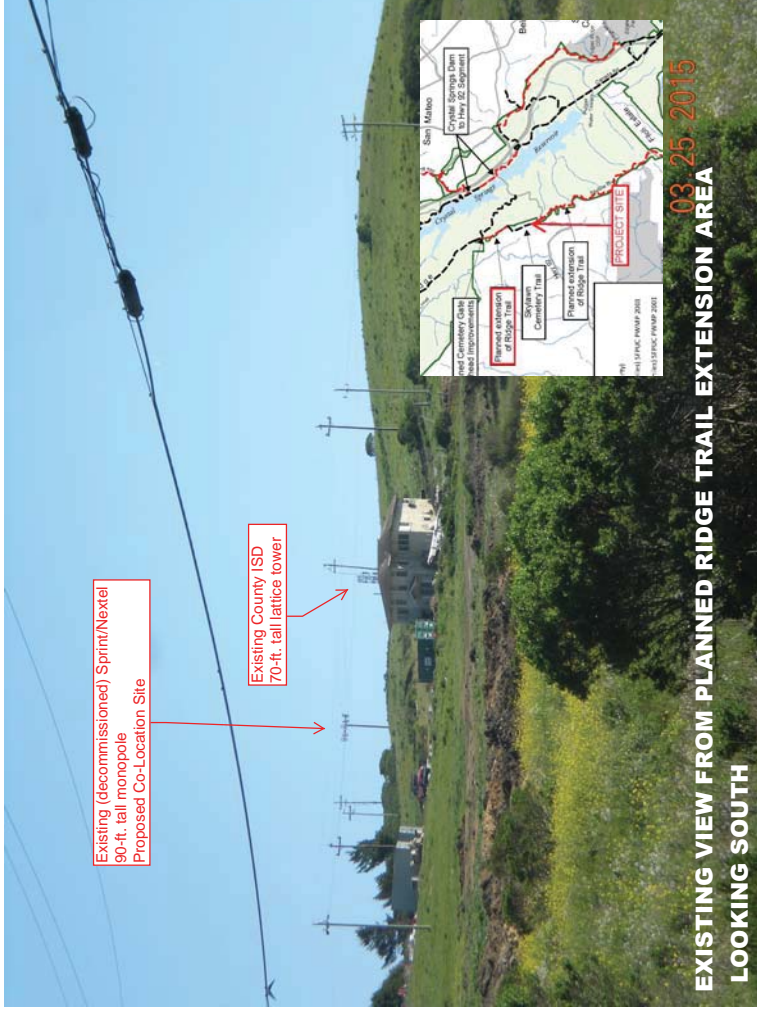
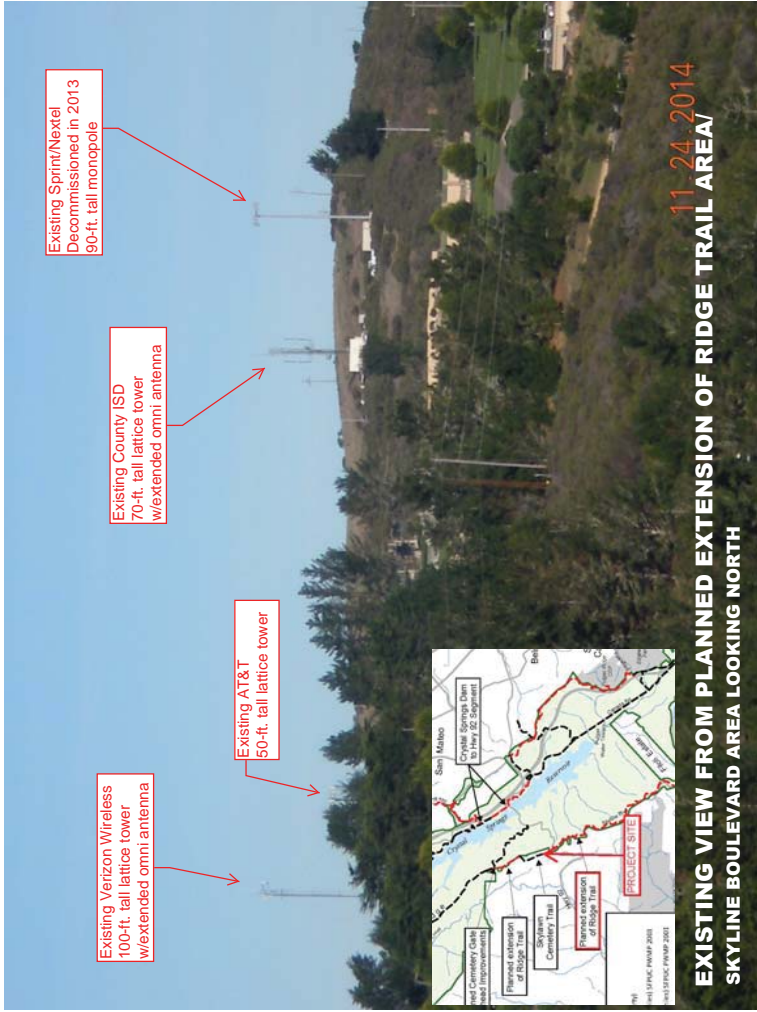


Skyline Re-lo Site # 123547

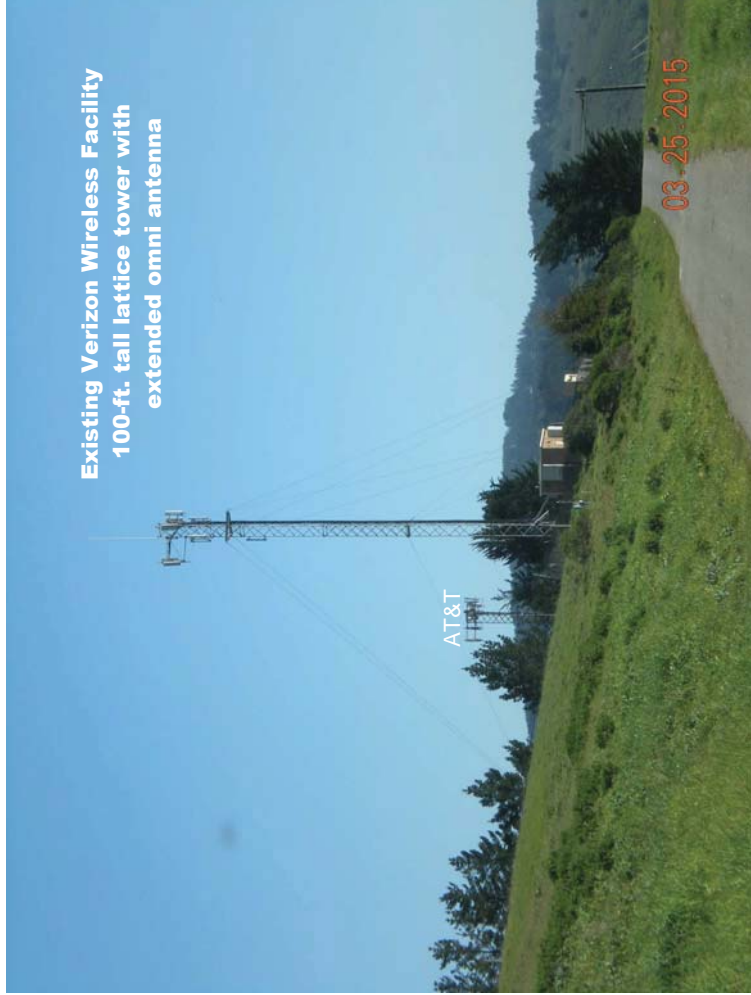
Looking North from Skyline Blvd.



Planning Commission Meeting	
Owner/Applicant:	SKYLAWN/NSA WIRELESS
File Numbers:	PLN 2014-00019
Attachment:	N.5



Planning Commission Meeting	
Owner/Applicant:	SKYLAWN/NSA WIRELESS
File Numbers:	PLN 2014-00019
Attachment:	O.1



Existing Verizon Wireless Facility
100-ft. tall lattice tower with
extended omni antenna

AT&T

03-25-2015



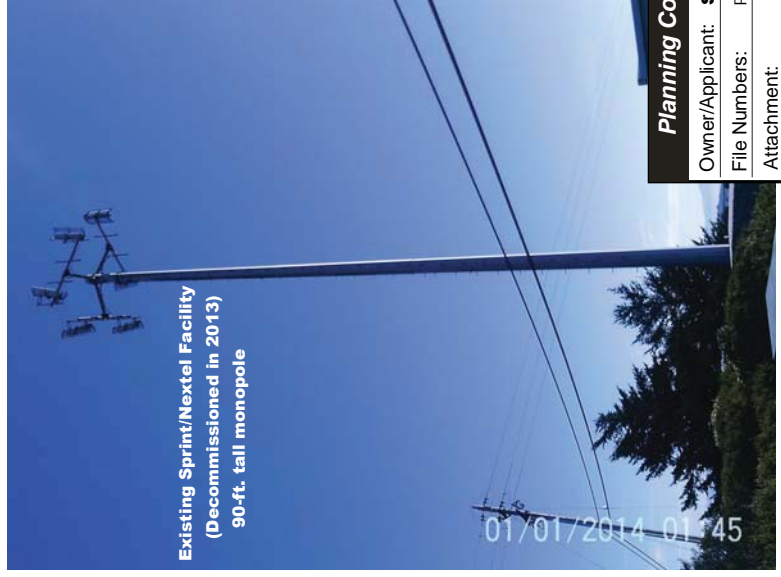
Existing AT&T Facility
50-ft. tall lattice tower

01/01/2014 01:51



Existing County ISD Facility
70-ft. tall lattice tower
w/extended omni antenna

01/01/2014 01:42



Existing Sprint/Nextel Facility
(Decommissioned in 2013)
90-ft. tall monopole

01/01/2014 01:45

Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**

File Numbers: **PLN 2014-00019**

Attachment: **Q.2**

**Verizon Wireless • Proposed Base Station (Site No. 123547 “Skyline Relo”)
10600 Lifemark Road • Half Moon Bay, California**

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 123547 “Skyline Relo”) proposed to be located at 10600 Lifemark Road in Half Moon Bay, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

Executive Summary

Verizon proposes to install directional panel antennas on a tall pole to be installed near the south end of Cahill Ridge Road in Half Moon Bay. The proposed operation will comply with the FCC guidelines limiting public exposure to RF energy.

Prevailing Exposure Standards

The U.S. Congress requires that the Federal Communications Commission (“FCC”) evaluate its actions for possible significant impact on the environment. A summary of the FCC’s exposure limits is shown in Figure 1. These limits apply for continuous exposures and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. The most restrictive FCC limit for exposures of unlimited duration to radio frequency energy for several personal wireless services are as follows:

Wireless Service	Frequency Band	Occupational Limit	Public Limit
Microwave (Point-to-Point)	5,000–80,000 MHz	5.00 mW/cm ²	1.00 mW/cm ²
BRS (Broadband Radio)	2,600	5.00	1.00
WCS (Wireless Communication)	2,300	5.00	1.00
AWS (Advanced Wireless)	2,100	5.00	1.00
PCS (Personal Communication)	1,950	5.00	1.00
Cellular	870	2.90	0.58
SMR (Specialized Mobile Radio)	855	2.85	0.57
700 MHz	700	2.40	0.48
[most restrictive frequency range]	30–300	1.00	0.20

General Facility Requirements

Base stations typically consist of two distinct parts: the electronic transceivers (also called “radios” or “channels”) that are connected to the traditional wired telephone lines, and the passive antennas that send the wireless signals created by the radios out to be received by individual subscriber units. The transceivers are often located at ground level and are connected to the antennas by coaxial cables. A small antenna for reception of GPS signals is also required, mounted with a clear view of the sky. Because of the short wavelength of the frequencies assigned by the FCC for wireless services, the



HAMMETT & EDISON, INC.
CONSULTING ENGINEERS
SAN FRANCISCO

Planning Commission Meeting

Owner/Applicant: **SKYLAWN/NSA WIRELESS**
File Numbers: **PLN 2014-00019**
Attachment: **P**

**Verizon Wireless • Proposed Base Station (Site No. 123547 “Skyline Relo”)
10600 Lifemark Road • Half Moon Bay, California**

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**Verizon Wireless • Proposed Base Station (Site No. 123547 “Skyline Relo”)
10600 Lifemark Road • Half Moon Bay, California**

antennas require line-of-sight paths for their signals to propagate well and so are installed at some height above ground. The antennas are designed to concentrate their energy toward the horizon, with very little energy wasted toward the sky or the ground. This means that it is generally not possible for exposure conditions to approach the maximum permissible exposure limits without being physically very near the antennas.

Computer Modeling Method

The FCC provides direction for determining compliance in its Office of Engineering and Technology Bulletin No. 65, “Evaluating Compliance with FCC-Specified Guidelines for Human Exposure to Radio Frequency Radiation,” dated August 1997. Figure 2 attached describes the calculation methodologies, reflecting the facts that a directional antenna’s radiation pattern is not fully formed at locations very close by (the “near-field” effect) and that at greater distances the power level from an energy source decreases with the square of the distance from it (the “inverse square law”). The conservative nature of this method for evaluating exposure conditions has been verified by numerous field tests.

Site and Facility Description

Based upon information provided by Verizon, including zoning drawings by PDC Corporation, dated October 6, 2014, it is proposed to install nine Andrew Model SBNHH-1D65C directional panel antennas on a new 103-foot steel pole, configured to resemble a pine tree, to be installed at the end of the dirt access road near the south end of Cahill Ridge Road in Half Moon Bay. The antennas would be mounted with up to 9° downtilt at an effective height of about 75 feet above ground and would be oriented in groups of three toward 20°T, 125°T, and 230°T. The maximum effective radiated power in any direction would be 13,900 watts, representing simultaneous operation at 4,160 watts for AWS, 4,670 watts for PCS, 2,320 watts for cellular, and 2,750 watts for 700 MHz service.

Proposed to be located on the same pole are similar antennas for use by AT&T Mobility, and located on other poles nearby are a variety of antennas for use in other radio services.

Study Results

For a person anywhere at ground, the maximum RF exposure level due to the proposed Verizon operation by itself is calculated to be 0.023 mW/cm², which is 3.5% of the applicable public exposure limit. The maximum calculated level at the second-floor elevation of any nearby building would be 4.7% of the public exposure limit. It should be noted that these results include several “worst-case” assumptions and therefore are expected to overstate actual power density levels. Because of the low power density levels from the proposed Verizon operation, it is excluded under FCC Rules Section 1.1307(b)(1) Table 1 and 1.1307(b)(3) from having to consider the effects of other, collocated stations



**Verizon Wireless • Proposed Base Station (Site No. 123547 "Skyline Relo")
10600 Lifemark Road • Half Moon Bay, California**

at the site in determining its own compliance with FCC exposure guidelines in publicly accessible areas.

No Recommended Mitigation Measures

Due to their mounting locations, the Verizon antennas would not be accessible to the general public, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. It is presumed that the carriers will, as FCC licensees, take adequate steps to ensure that their employees or contractors receive appropriate training and comply with FCC occupational exposure guidelines whenever work is required near the antennas themselves.

Conclusion

Based on the information and analysis above, it is the undersigned's professional opinion that operation of the base station proposed by Verizon Wireless at 10600 Lifemark Road in Half Moon Bay, California, will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations.

Authorship

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration No. E-20309, which expires on March 31, 2015. This work has been carried out under her direction, and all statements are true and correct of her own knowledge except, where noted, when data has been supplied by others, which data she believes to be correct.

October 9, 2014



Andrea L. Bright

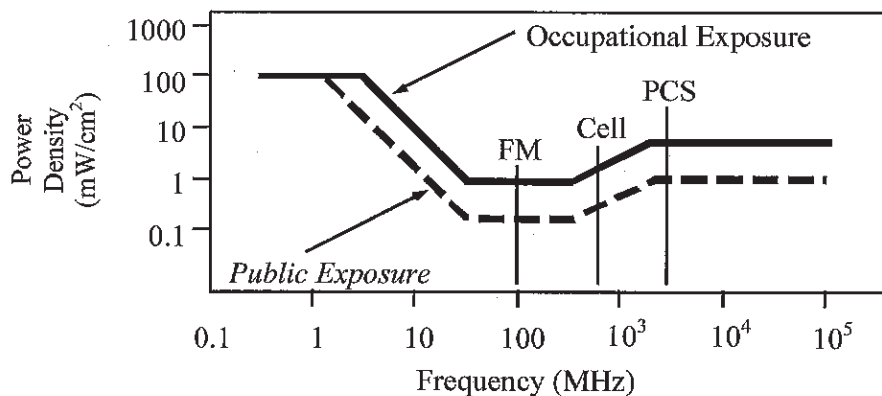
Andrea L. Bright, P.E.
707/996-5200

FCC Radio Frequency Protection Guide

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The FCC adopted the limits from Report No. 86, “Biological Effects and Exposure Criteria for Radiofrequency Electromagnetic Fields,” published in 1986 by the Congressionally chartered National Council on Radiation Protection and Measurements (“NCRP”). Separate limits apply for occupational and public exposure conditions, with the latter limits generally five times more restrictive. The more recent standard, developed by the Institute of Electrical and Electronics Engineers and approved as American National Standard ANSI/IEEE C95.1-2006, “Safety Levels with Respect to Human Exposure to Radio Frequency Electromagnetic Fields, 3 kHz to 300 GHz,” includes similar limits. These limits apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health.

As shown in the table and chart below, separate limits apply for occupational and public exposure conditions, with the latter limits (in *italics* and/or dashed) up to five times more restrictive:

Frequency Applicable Range (MHz)	Electromagnetic Fields (<i>f</i> is frequency of emission in MHz)					
	Electric Field Strength (V/m)		Magnetic Field Strength (A/m)		Equivalent Far-Field Power Density (mW/cm ²)	
0.3 – 1.34	614	<i>614</i>	1.63	<i>1.63</i>	100	<i>100</i>
1.34 – 3.0	614	<i>823.8/f</i>	1.63	<i>2.19/f</i>	100	<i>180/f²</i>
3.0 – 30	1842/f	<i>823.8/f</i>	4.89/f	<i>2.19/f</i>	900/f ²	<i>180/f²</i>
30 – 300	61.4	<i>27.5</i>	0.163	<i>0.0729</i>	1.0	<i>0.2</i>
300 – 1,500	3.54√ <i>f</i>	<i>1.59√f</i>	√ <i>f</i> /106	<i>√f/238</i>	f/300	<i>f/1500</i>
1,500 – 100,000	137	<i>61.4</i>	0.364	<i>0.163</i>	5.0	<i>1.0</i>



Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits, and higher levels also are allowed for exposures to small areas, such that the spatially averaged levels do not exceed the limits. However, neither of these allowances is incorporated in the conservative calculation formulas in the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) for projecting field levels. Hammett & Edison has built those formulas into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radio sources. The program allows for the description of buildings and uneven terrain, if required to obtain more accurate projections.



RFR.CALC™ Calculation Methodology

Assessment by Calculation of Compliance with FCC Exposure Guidelines

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The maximum permissible exposure limits adopted by the FCC (see Figure 1) apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits.

Near Field.

Prediction methods have been developed for the near field zone of panel (directional) and whip (omnidirectional) antennas, typical at wireless telecommunications base stations, as well as dish (aperture) antennas, typically used for microwave links. The antenna patterns are not fully formed in the near field at these antennas, and the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) gives suitable formulas for calculating power density within such zones.

For a panel or whip antenna, power density $S = \frac{180}{\theta_{BW}} \times \frac{0.1 \times P_{net}}{\pi \times D \times h}$, in mW/cm²,

and for an aperture antenna, maximum power density $S_{max} = \frac{0.1 \times 16 \times \eta \times P_{net}}{\pi \times h^2}$, in mW/cm²,

- where θ_{BW} = half-power beamwidth of the antenna, in degrees, and
 P_{net} = net power input to the antenna, in watts,
 D = distance from antenna, in meters,
 h = aperture height of the antenna, in meters, and
 η = aperture efficiency (unitless, typically 0.5-0.8).

The factor of 0.1 in the numerators converts to the desired units of power density.

Far Field.

OET-65 gives this formula for calculating power density in the far field of an individual RF source:

$$\text{power density } S = \frac{2.56 \times 1.64 \times 100 \times RFF^2 \times ERP}{4 \times \pi \times D^2}, \text{ in mW/cm}^2,$$

- where ERP = total ERP (all polarizations), in kilowatts,
RFF = relative field factor at the direction to the actual point of calculation, and
D = distance from the center of radiation to the point of calculation, in meters.

The factor of 2.56 accounts for the increase in power density due to ground reflection, assuming a reflection coefficient of 1.6 (1.6 x 1.6 = 2.56). The factor of 1.64 is the gain of a half-wave dipole relative to an isotropic radiator. The factor of 100 in the numerator converts to the desired units of power density. This formula has been built into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radiation sources. The program also allows for the description of uneven terrain in the vicinity, to obtain more accurate projections.



COUNTY OF SAN MATEO, PLANNING AND BUILDING DEPARTMENT

FEB 18 2015

NOTICE OF INTENT TO ADOPT MITIGATED NEGATIVE DECLARATION

A notice, pursuant to the California Environmental Quality Act of 1970, as amended (Public Resources Code 21,000, et seq.), that the following project: Skylawn Telecommunication Facilities Co-Location, when adopted and implemented, will not have a significant impact on the environment.

FILE NO.: PLN 2014-00019

PROPERTY OWNER: Northstar Memorial Group, c/o Rick Miller

APPLICANT: Verizon Wireless, c/o James Singleton of NSA Wireless

ASSESSOR'S PARCEL NO.: 056-550-020

LOCATION: Skylawn Memorial Park, 100 Lifemark Road, North Skyline Area

PROJECT DESCRIPTION

The project applicant requests a Resource Management (RM) Permit, Use Permit, Grading Permit, and Architectural Review to relocate and consolidate three existing telecommunication facilities to the eastern portion of Skylawn Memorial Park cemetery. Specifically, the project would (1) co-locate two existing, separate wireless telecommunication facilities (Verizon Wireless and AT&T) onto a new 108-ft. tall "monopine" cellular antenna pole that would be located within a shared 30-ft. x 60-ft. ground equipment area; and (2) co-locate a separate existing emergency communication facility owned and operated by the County of San Mateo Information Services Department (County ISD) onto a second new 80-ft. tall "monopine" cellular antenna pole with its own 15-ft. x 30-ft. ground equipment lease area, to be located approximately 60 ft. south of the Verizon and AT&T site. The project would also include the construction of a new 20-ft. wide gravel access road leading from Lifemark Road to the new co-location area, approximately 500 ft. away. Additionally, new landscaping is proposed around the project area including numerous Tanbark Oak, Coast Redwood, and California Wax Myrtle trees. A total of 2,331 cubic yards (c.y.) of grading is proposed for the project, including 905 c.y. of cut and 1,426 c.y. of fill to construct the new access road and re-contour and vegetate the downslope side of the new permanently located County ISD facility.

The co-location project is located within Skylawn Memorial Park's 42-acre Phase I Project Area of the cemetery, along the eastern ridgeline of the Park and is necessary for the previously approved cemetery expansion. The proposed co-location area was the former site of a Sprint/Nextel wireless telecommunication facility that was decommissioned in 2013 and is planned to be removed by April 2015. The new co-location area would be east of the existing telecommunication facilities and would be located within the Junipero Serra (I-280) State Scenic Corridor.

Planning Commission Meeting	
Owner/Applicant:	SKYLAWN/NSA WIRELESS
File Numbers:	PLN 2014-00019
Attachment:	Q

FINDINGS AND BASIS FOR A NEGATIVE DECLARATION

The Current Planning Section has reviewed the initial study for the project and, as proposed and mitigated and based upon substantial evidence in the record, finds that:

1. The project will not adversely affect water or air quality or increase noise levels substantially.
2. The project will not have adverse impacts on the flora or fauna of the area.
3. The project will not degrade the aesthetic quality of the area.
4. The project will not have adverse impacts on traffic or land use.
5. In addition, the project will not:
 - a. Create impacts which have the potential to degrade the quality of the environment.
 - b. Create impacts which achieve short-term to the disadvantage of long-term environmental goals.
 - c. Create impacts for a project which are individually limited, but cumulatively considerable.
 - d. Create environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

The County of San Mateo has, therefore, determined that the environmental impact of the project is less than significant.

MITIGATION MEASURES included in the project to avoid potentially significant effects:

Mitigation Measure 1: The use of reflective materials or reflective paint colors is prohibited.

Mitigation Measure 2: The monopines shall be maintained in a manner to ensure that they resemble trees to the greatest extent possible. This shall include continual maintenance in the form of repainting and/or repairing any portions of the facilities which do not appear as they did at the time of building permit final inspections.

Mitigation Measure 3: No new lights of any kind shall be constructed or installed in association with this project, with the exception of lighting deemed necessary to service the ground equipment areas.

Mitigation Measure 4: The approved exterior light to be installed in the ground equipment lease area shall be designed and located so as to confine direct rays to the fenced equipment area and to prevent glare to the surrounding area. Manufacturer's cut sheets for all exterior lights shall be submitted for review and approval by the Planning Department

prior to the issuance of a building permit. All approved exterior lighting shall be inspected and approved by the Planning Department prior to final building inspection.

Mitigation Measure 5: The applicant shall submit a dust control plan to the Planning and Building Department prior to the issuance of any grading “hard card” or building permit that, at a minimum, includes the “Basic Construction Mitigation Measures” as listed in Table 8-1 of the BAAQMD CEQA Guidelines (May 2011). These measures shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer’s specifications. All equipment shall be checked by a certified visible emissions evaluator.
- h. Post a publicly visible sign with the telephone number and person to contact at the County regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air Quality Management District’s phone number shall also be visible to ensure compliance with applicable regulations.

Mitigation Measure 6 (2014 MND Mitigation Measure 2): Prior to initial vegetation removal and/or grading activities in the upland portion of the Phase 1 area, a pre-construction clearance survey shall be conducted for the California red-legged frog and San Francisco garter snake by a qualified biologist. Should either species be identified, construction activities shall be immediately halted until the frog or snake leaves the construction zone on its own, or is removed by a qualified biologist in possession of an appropriate permit and authorized by the USFWS. The USFWS shall be immediately notified if either species is observed.

Mitigation Measure 7 (2014 MND Mitigation Measure 4): If trees or structures are to be removed during the breeding season of native bat species (generally April 1 through

August 31 in California), the presence of active bat maternity roosts should be evaluated by a qualified biologist. If the trees/structures to be removed are determined to provide potential bat roosting habitat, a focused survey should then be conducted to determine if an active maternity roost of special-status bats are present. Should an active maternity roost of a special-status bat species be identified, the roost should not be disturbed until the roost is vacated and juveniles have fledged, as determined by the biologist. Once all young have fledged, the tree/structure may be removed.

Mitigation Measure 8 (2014 MND Mitigation Measure 5): If a construction project would commence anytime during the nesting/breeding season of native bird species potentially nesting on the site (typically February through August in the project region), a pre-construction survey of the project vicinity for nesting birds shall be conducted. This survey shall be conducted by a qualified biologist (i.e., experienced with the nesting behavior of bird species of the region) within two weeks of the commencement of construction activities. The intent of the survey would be to determine if active nests of special-status bird species or other species protected by the Migratory Bird Treaty Act and/or the California Fish and Game Code are present within the construction zone or within 500 ft. of the construction zone. The survey area would include all trees and shrubs in the construction zone and a surrounding 500-ft. area. The survey should be timed such that the last survey is concluded no more than two weeks prior to initiation of construction. If ground disturbance activities are delayed following a survey, then an additional pre-construction survey should be conducted such that no more than two weeks will have elapsed between the last survey and the commencement of ground disturbance activities. If active nests are found in areas that could be directly affected or are within 500 ft. of construction and would be subject to prolonged construction-related noise, a no-disturbance buffer zone shall be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted within them will be determined through consultation with the California Department of Fish and Wildlife (CDFW), taking into account factors such as the following:

- a. Noise and human disturbance levels at the construction site at the time of the survey and the noise and disturbance expected during the construction activity;
- b. Distance and amount of vegetation or other screening between the construction site and the nest; and
- c. Sensitivity of individual nesting species and behaviors of the nesting birds.

Mitigation Measure 9: Any existing significant and/or heritage trees adjacent to areas of ground disturbance shall be protected. Where applicable, the applicant shall establish and maintain tree protection zones which shall be delineated using 6-ft. tall orange plastic fencing, supported by poles, pounded into the ground, located as close to the tree driplines as possible, while still allowing room for construction-related activities to safely continue. The applicant shall maintain tree protection zones free of equipment and material storage and shall not clean any equipment within these areas. Should any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist prior to cutting. Any root cutting shall be monitored by an arborist and shall be documented.

Mitigation Measure 10 (2014 MND Mitigation Measure 15): If archaeological and/or cultural resources are encountered during grading or construction activities, work shall be

temporarily halted within 30 ft. of the discovered materials and workers shall avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations. The project applicant or archaeologist shall immediately notify the Current Planning Section of any discoveries made and shall provide the Current Planning Section with a copy of the archaeologist's report and recommendations prior to any further grading or construction activity in the vicinity.

Mitigation Measure 11 (2014 MND Mitigation Measure 17): A discovery of a paleontological specimen during any phase of the project shall result in a work stoppage in the vicinity of the find until it can be evaluated by a professional paleontologist. Should loss or damage be detected, additional protective measures or further action (e.g., resource removal), as determined by a professional paleontologist, shall be implemented to mitigate the impact.

Mitigation Measure 12 (2014 MND Mitigation Measure 18): Use existing roads to the maximum extent feasible to avoid additional surface disturbance.

Mitigation Measure 13 (2014 MND Mitigation Measure 19): During all phases of the project, keep equipment and vehicles within the limits of the previously disturbed areas of the project site. All areas to remain undisturbed shall be delineated on the Erosion Control Plan and the plan shall include measures, such as a fence or other kind of barrier, to demarcate the "limit of disturbance." The property owner shall demonstrate the implementation of these measures prior to issuance of the grading permit "hard card."

Mitigation Measure 14 (2014 MND Mitigation Measure 20): The property owner, applicant, and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately and the County coroner shall be notified immediately. If the coroner determines that the remains are Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.

Mitigation Measure 15: All construction and grading techniques and methods of the geotechnical report by Mid Pacific Engineering, Inc., dated January 16, 2014, and any subsequently approved report amendments, shall be implemented for the project.

Mitigation Measure 16 (2014 MND Mitigation Measure 25): The applicant shall obtain a grading permit "hard card" from the Planning and Building Department prior to commencement of any grading or construction activities.

Mitigation Measure 17 (2014 MND Mitigation Measure 26): Prior to beginning any land disturbance or construction, the applicant shall submit an Erosion and Sediment Control Plan to include the proposed measures of the Conceptual Erosion Control Plan and additional measures as follows for review and approval by the San Mateo County Planning and Building Department. The plan must be fully implemented and inspected by County Planning and Building Department staff prior to the commencement of any construction and/or grading activities and shall be maintained throughout the duration of the project. Erosion control measure deficiencies, as they occur, shall be immediately corrected. The

goal is to prevent sediment and other pollutants from leaving the project site and to protect all exposed earth surfaces from erosive forces. Said plan shall adhere to the San Mateo Countywide Water Pollution Prevention Program (SMCWPPP) "General Construction and Site Supervision Guidelines," including:

- a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
- b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
- c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- d. Using sediment controls or filtration to remove sediment when dewatering the site and obtaining all necessary permits.
- e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees and drainage courses.
- g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- h. Performing clearing and earth-moving activities only during dry weather.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilizing designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. The contractor shall train and provide instructions to all employees and subcontractors regarding the construction best management practices. Additional best management practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- m. Show protection for all existing trees within the limits of disturbance. Protection measures shall include a minimum 6-ft. tall orange plastic fencing staked around the driplines of the existing trees.

- n. Show silt fencing (including details for installation) to be installed along the downslope side of the new access road and below the area of grading associated with the County ISD facility.
- o. Provide a designated area for parking of construction vehicles, using aggregate over geo-textile fabric.
- p. Show areas for stockpiling. Cover temporary stockpiles using anchored down plastic sheeting. For longer storage, use seeding and mulching, soil blankets or mats.
- q. Show location of garbage and/or debris dumpster(s), and portable toilets.

Mitigation Measure 18 (2014 MND Mitigation Measure 27): The applicant shall submit a grading and drainage plan (including calculations) to the Planning and Building Department and the Department of Public Works prior to the issuance of any project-related grading or building permits. The grading and drainage plan shall include all requirements listed in Grading Ordinance Section 8604.1.a.5 (*Application Requirements*). The drainage plan shall also include a narrative describing the type, size, and location of all permanent stormwater controls to be utilized in order to ensure compliance with the County's Drainage Policy, the San Mateo Countywide Water Pollution Prevention Plan (SMCWPPP) "General Construction and Site Supervision Guidelines," and National Pollutant Discharge Elimination System (NPDES) Permit Provision C.3.

Mitigation Measure 19 (2014 MND Mitigation Measure 28): Unless approved in writing and in advance by the Community Development Director, no grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion. The applicant shall submit a letter Request for Winter Grading Form, along with the submittal items required by the form, to the Current Planning Section, no less than 30 days prior to the issuance of the grading permit hard card, which illustrates identifies the approximate grading schedule, including but not limited to start and end dates at least two (2) weeks prior to commencement of grading, stating the date when erosion controls will be installed, date when grading operations will begin, anticipated end date of grading operations, and date of revegetation. All submitted schedules shall represent the work in detail and shall project the grading operations through to completion.

Mitigation Measure 20 (2014 MND Mitigation Measure 29): It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.

Mitigation Measure 21: Noise levels produced by proposed construction activities shall comply with the San Mateo County Noise Ordinance contained in Chapter 4.88 (Noise Regulations) of the County Ordinance Code. Construction activities shall be limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturdays. Construction operations shall be prohibited on Sundays and any national holidays.

RESPONSIBLE AGENCY CONSULTATION

None.

INITIAL STUDY

The San Mateo County Current Planning Section has reviewed the Environmental Evaluation of this project and has found that the probable environmental impacts are less than significant. A copy of the initial study is attached.

REVIEW PERIOD: February 18, 2015 to March 9, 2015

All comments regarding the correctness, completeness, or adequacy of this Mitigated Negative Declaration must be received by the County Planning and Building Department, 455 County Center, Second Floor, Redwood City, no later than **5:00 p.m., March 9, 2015.**

CONTACT PERSON

Summer Burlison, Project Planner
Telephone: 650/363-1815
Email: sburlison@smcgov.org



Summer Burlison, Project Planner

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County of San Mateo
Planning and Building Department

INITIAL STUDY
ENVIRONMENTAL EVALUATION CHECKLIST
(To Be Completed by Planning Department)

1. **Project Title:** Skylawn Telecommunication Facilities Co-Location
2. **County File Number:** PLN 2014-00019
3. **Lead Agency Name and Address:** County of San Mateo Planning and Building Department, 455 County Center, Second Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Summer Burlison, 650/363-1815
5. **Project Location:** Skylawn Memorial Park, 100 Lifemark Road, North Skyline Area
6. **Assessor's Parcel Number and Size of Parcel:** 056-550-020 (154.19 acres)
7. **Project Sponsor's Name and Address:** Verizon Wireless, c/o James Singleton of NSA Wireless, 2010 Crown Canyon Place, Suite 355, San Ramon, CA 94583
8. **General Plan Designation:** Open Space
9. **Zoning:** Resource Management (RM)
10. **Description of the Project:** The project applicant, James Singleton of NSA Wireless, representing Verizon Wireless, requests a Resource Management (RM) Permit, Use Permit, Grading Permit, and Architectural Review to relocate and consolidate three existing telecommunication facilities to the eastern portion of Skylawn Memorial Park cemetery. Specifically, the project would (1) co-locate two existing, separate wireless telecommunication facilities (Verizon Wireless and AT&T) onto a new 108-ft. tall "monopine" cellular antenna pole that would be located within a shared 30-ft. x 60-ft. ground equipment area enclosed by an 8-ft. tall concrete masonry unit (CMU) retaining wall (three sides) with chain link fence topping, and 6-ft. tall chain link fencing along the south side; and (2) co-locate a separate existing emergency communication facility owned and operated by the County of San Mateo Information Services Department (County ISD) onto a second new 80-ft. tall "monopine" cellular antenna pole with its own 15-ft. x 30-ft. ground equipment lease area, to be located approximately 60 ft. south of the Verizon and AT&T site (see Site Plan, Attachment B). The project would also include the construction of a new 20-ft. wide gravel access road leading from Lifemark Road, at AT&T's existing telecommunication site, in a northeast direction, to the new co-location area. The new access road would be constructed of Class II base rock (at 95% compaction), and would include a "hammerhead," or "T"-shaped, fire turnaround at its end, between the Verizon/AT&T site (north side) and County ISD site (south side). Additionally, new landscaping is proposed around the project area and includes the planting of numerous Tanbark Oak, Coast Redwood, and California Wax Myrtle trees (see Planting Plan, Attachment G). A total of 2,331 cubic yards (c.y.) of grading is proposed for the co-location project, including 905 c.y. of cut and 1,426 c.y. of fill to construct the new access road and re-contour and vegetate the downslope side of the new permanently located County ISD facility.

The co-location project is located within Skylawn Memorial Park's 42-acre Phase I Project Amendment area (see Background Section [12] below) of the cemetery, along the eastern ridgeline of the Park. The proposed co-location area was the former site of a Sprint/Nextel wireless telecommunication facility (PLN 1999-00550) that consisted of a 90-ft. tall monopole supporting six antennas (that extended an additional 6.5 ft. above the monopole) with a 200 sq. ft. equipment building. This Sprint/Nextel facility was decommissioned in 2013 and is planned to be removed prior to April 30, 2015. Skylawn Memorial Park's Phase I Project Amendment would be constructed concurrently with the construction of this co-location project. Therefore, the existing wireless telecommunication facility sites would be redeveloped with landscape and improvements planned under Skylawn's Phase I Project. The new co-location area would be east of the existing telecommunication facilities and would be located within the Junipero Serra (I-280) State Scenic Corridor.

Telecommunication Facilities

Verizon Wireless and AT&T currently operate separate facilities located approximately 200 ft. apart from each other. The proposed re/co-location would combine these two operators onto one 108-ft. tall monopine located within a new 30-ft. x 60-ft. ground equipment area that would be enclosed by an 8-ft. tall CMU retaining wall on three sides with 6-ft. tall chain link fencing along the south side.

Verizon Wireless

Verizon Wireless's telecommunication facility is currently located at the end of a short driveway turnoff along Lifemark Road, north of the cemetery's existing developed burial grounds. The existing permitted facility (PLN 2006-00271) consists of a 100-ft. tall lattice tower supporting six antennas, with a 20-ft. tall omni antenna extending above the tower; an equipment shelter; and a generator; all located within a fenced lease area.

Verizon Wireless would re/co-locate the site approximately 500 ft. east of its existing location. The re/co-located facility would include nine 8-ft. long panel antennas attached to the 108-ft. tall monopine, nine radio remote units (RRUs), and two surge protection boxes. This equipment would have a Radiation (RAD) center line of 75 ft. above ground and would be painted green to match the color of the monopine (see Elevation Plans, Attachment D). Supporting ground equipment for Verizon would include an 11'-6" x 16'-10 1/2" pre-fabricated equipment shelter mounted on a concrete pad, two GPS antennas mounted onto the equipment shelter, and other supporting telco (telecommunication and data communication) and electrical equipment (e.g., utility panels, pull boxes, cable bridges, and underground conduit); see Lease Area Compound Plan, Attachment C.

AT&T

AT&T's telecommunication facility is currently located at the end of a short driveway turnoff along Lifemark Road, approximately 220 ft. southeast of Verizon's existing facility. AT&T's existing permitted facility (PLN 1999-00552) consists of a 50-ft. tall lattice tower supporting six antennas; an equipment shelter; a generator (located within the equipment shelter); two GPS antennas mounted on the equipment shelter; and a propane tank; all located within a fenced lease area.

AT&T would re/co-locate the site approximately 450 ft. northeast of its existing location. The re/co-located facility would include twelve 8-ft. long panel antennas attached to the 108-ft. tall monopine, along with similar supporting equipment as proposed by Verizon Wireless. AT&T's

equipment would be located 95 ft. above ground (RAD center), which would be 20 ft. above the RAD center of Verizon's antennas, and would also be painted green to match the color of the monopine (see Elevation Plans, Attachment D). Supporting ground equipment for AT&T would include a 10-ft. by 30-ft. pre-fabricated equipment shelter mounted to a concrete pad, one GPS antenna mounted onto the south facing chain link fence (of the perimeter co-location enclosure), and other supporting telco and electrical equipment (e.g., utility panels, pull boxes, cable bridges, and underground conduit); see Lease Area Compound Plan, Attachment C.

County ISD

County ISD's emergency services telecommunication facility is currently located on the north side and near the end of an existing 500-ft. long gravel access road that extends off of Lifemark Road and dead ends at the new co-location area, east of Verizon Wireless and AT&T's existing facilities. County ISD's existing facility consists of a 70-ft. tall transmission tower supporting several omni antennas and microwave dishes adjacent to a 288 sq. ft. equipment shelter located on a wood deck platform; and a 500-gallon propane tank used as a backup emergency power source.

County ISD would re/co-locate the site approximately 120 ft. southeast of its existing location, approximately 60 ft. south of the new 108-ft. tall monopine that would support Verizon Wireless and AT&T. The County's re/co-located facility will include seven antennas (to include panel, omni, and T-Band antennas) and three microwave dishes attached to an 80-ft. tall monopine. These antennas and microwave dishes will be attached to the monopine at varied heights above ground (RAD centers ranging from 25 ft. to 75 ft. above ground). Additionally, one T-Band antenna, 9 ft. in length, will be attached to the top of the 80-ft. tall monopine (80-ft. RAD center). This equipment would be painted green to match the color of the monopine. Supporting ground equipment for the County's facility would include a 15-ft. x 30-ft. ground equipment area for supporting equipment, including a 12-ft. by 24-ft. equipment shelter and relocation of the existing propane tank used as a backup emergency power source.

The County ISD is exempt from Zoning Regulations, per Section 53091 of the California Government Code; however, the project is subject to environmental review under the California Environmental Quality Act (CEQA). Therefore, the County ISD's facility is included in the analysis of this Mitigated Negative Declaration.

11. **Surrounding Land Uses and Setting:** The 154-acre project parcel is part of a larger 521-acre full-service cemetery known as Skylawn Memorial Park. The Park is located just north of the junction of State Highway 92 (San Mateo Road) and State Highway 35 (Skyline Boulevard) and extends northerly along the ridgeline of the adjacent mountain range. The Park property consists of rolling landscaped hills and canyons.

Undeveloped lands, managed by the San Francisco Public Utilities Commission (SFPUC), border the property to the north and east, and include the 23,000-acre San Francisco State Fish and Game Refuge and Watershed area. Privately-owned land that is generally undeveloped (with the exception of limited agricultural uses) borders a portion of the property to the west. At its closest point, the property is located approximately 0.8 miles to the west of Crystal Springs Reservoir.

The wireless telecommunication facilities are located on the eastern ridgeline of Skylawn Memorial Park, north of the Bai Ling Plaza section of the cemetery. The co-location project area encompasses approximately 0.5 acres within Skylawn Memorial Park's previously approved 35-acre Phase I Project (2011) and Skylawn's recently approved 42-acre Phase I

Project Amendment (2014). The co-location project area gently slopes down in a south to southeast direction. The project area is primarily covered with coyote brush. The new co-location area is within the Junipero Serra (I-280) State Scenic Corridor.

- 12. Background:** Skylawn Memorial Park is a full-service cemetery facility that has operated with a County-issued use permit since 1955. The Skylawn property is comprised of two parcels totaling approximately 521 acres, of which 94 acres are currently developed with cemetery-associated uses.

A Master Use Permit for the Park was approved by the County of San Mateo Planning Commission in August 2011 to allow for the continued use and expansion of the property over the next 20 years. A Mitigated Negative Declaration (MND) was certified by the County for the project in 2011. Skylawn's Phase I Project encompasses approximately 35 acres in the eastern portion of the property and includes traditional and natural burials, expansion of utilities, along with grading and re-contouring of land. Up to 50,000 cubic yards of grading was approved by the County under the Park's 2011 Phase I Project.

In April 2014, the County approved an amendment to Skylawn Memorial Park's 2011 Master Use Permit to extend the boundaries of the 35-acre Phase I Project by an additional 7 acres for burials and access improvements, resulting in Skylawn's Phase I Project being a total of 42 acres. The amendment also included approximately 45,000 c.y. of grading along with a revision to the previously approved 2011 Phase I Project of an additional 50,000 c.y. of grading to correct an earthwork calculation discrepancy.

The proposed co-location project would be located within the previously approved 42-acre Phase I Project Area of Skylawn Memorial Park. Therefore, where components of the co-location project have already been analyzed under Skylawn Memorial Park's 2011 Phase I MND or subsequent 2014 Phase I Amendment MND, this initial study analysis will refer to those MNDs, which are available at the County of San Mateo Planning and Building Department.

- 13. Other Public Agencies Whose Approval is Required:** None.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Significant Unless Mitigated" as indicated by the checklist on the following pages.

X	Aesthetics	X	Climate Change		Population/Housing
	Agricultural and Forest Resources		Hazards and Hazardous Materials		Public Services
X	Air Quality	X	Hydrology/Water Quality		Recreation
X	Biological Resources		Land Use/Planning		Transportation/Traffic
X	Cultural Resources		Mineral Resources		Utilities/Service Systems
X	Geology/Soils	X	Noise	X	Mandatory Findings of Significance

EVALUATION OF ENVIRONMENTAL IMPACTS

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. "Negative Declaration: Less Than Significant with Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in 5. below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are "Less Than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used or individuals contacted should be cited in the discussion.

1. AESTHETICS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
1.a. Have a significant adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads?		X		

Discussion: The proposed co-location project area lies just inside the western boundary of the Junipero Serra (Highway I-280) State Scenic Corridor, approximately 1.5 miles west of I-280. The project consists of the installation of a 108-ft. tall monopine and an 80-ft. tall monopine within the State Scenic Corridor. The monopine antenna pole design is intended to help camouflage the telecommunication facilities and minimize adverse visual impacts from public viewpoints. The antennas and equipment mounted to the monopines would be painted green to match the faux branches. Tree plantings are proposed around the project area to prevent the monopines from standing out along the skyline.

The co-location project site's distance away from public viewpoints (outside of the cemetery) and surrounding rural rolling hill topography help to reduce the project's visual impacts. Nonetheless, with its proposed location on the eastern ridge within Skylawn Memorial Park, the project would be most visible from viewing locations along Skyline Boulevard (south of Highway 92), approximately 0.7 miles away from the project site. The project may also be visible from various viewpoints within the Crystal Springs Reservoir area and by passing vehicles on I-280 (see Photo Simulations, Attachment E). The monopines would replace existing bulky utility structures with structures that are intended to blend in with the greater surrounding rural, tree-populated, rolling hills. The monopines would also be more aesthetically pleasing to visitors of the cemetery as the co-location area would be visible from prominent locations within the cemetery. The project would include the planting of numerous Tanbark Oak, Coast Redwood and California Wax Myrtle trees around the new monopines and ground equipment area and along the new access road to help create a natural environment and prevent the new monopines from standing out along the skyline. Furthermore, the project would eliminate adverse visual impacts from the existing spread-out telecommunication facilities that are supported on bulky lattice towers that have more of an industrial appearance.

Skylawn Memorial Park's Phase I Project Amendment would be constructed concurrently with the construction of this co-location project. Therefore, the existing wireless telecommunication facility sites would be redeveloped with landscape and improvements planned under Skylawn's Phase I Project.

Mitigation Measures 1-3 are included to ensure that the project is constructed and maintained in a manner such that the telecommunication facilities and monopines continue to resemble trees. Adherence to these mitigation measures will further minimize any adverse visual impacts from any scenic vistas, public lands, water bodies, or roadways in the area.

Mitigation Measure 1: The use of reflective materials or reflective paint colors is prohibited.

Mitigation Measure 2: The monopines shall be maintained in a manner to ensure that they resemble trees to the greatest extent possible. This shall include continual maintenance in the form of repainting and/or repairing any portions of the facilities which do not appear as they did at the time of building permit final inspections.

<p>Mitigation Measure 3: No new lights of any kind shall be constructed or installed in association with this project, with the exception of lighting deemed necessary to service the ground equipment areas.</p> <p>Source: San Mateo County GIS – Scenic Corridors Map; Photo Simulations; Site Visit.</p>					
1.b.	Significantly damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?		X		
<p>Discussion: The project would not damage or destroy any trees, rock outcroppings, or historic buildings within a State Scenic Highway. The co-location site is within the western edge of the Junipero Serra (I-280) State Scenic Corridor, as identified and discussed in Section 1.a. above. Mitigation Measures 1-3 will help to ensure that view impacts of the project are minimized to a less than significant level.</p> <p>Source: San Mateo County GIS – Scenic Corridors Map; Project Plans; Site Visit.</p>					
1.c.	Significantly degrade the existing visual character or quality of the site and its surroundings, including significant change in topography or ground surface relief features, and/or development on a ridgeline?		X		
<p>Discussion: The co-location project would be located on a gently downhill sloping area of the eastern ridge of Skylawn Memorial Park. The co-located facilities would be located within the Junipero Serra (I-280) State Scenic Corridor. The project would include grading to construct a new access road for limited use to the co-located facilities and to re-contour the downhill side of the new permanently located County ISD monopine and equipment area. It is not expected that grading associated with the project would have a significant visual impact to the area. However, the monopines would be visible from public views along Skyline Boulevard and I-280. See staff's discussion in Section 1.a. above. Mitigation Measures 1-4 would reduce the project's visual impacts on the area to a less than significant level.</p> <p>Source: San Mateo County GIS – Scenic Corridors Map; Project Plans; Site Visit.</p>					
1.d.	Create a new source of significant light or glare that would adversely affect day or nighttime views in the area?		X		
<p>Discussion: No lights are proposed on the new monopines. A new exterior, downward shielded, service light is proposed within the equipment lease area for AT&T. Furthermore, once constructed, the facilities would be unmanned with only routine monthly maintenance visits, or visits in emergency situations. Therefore, any additional light or glare from vehicle maintenance visits would be minimal. To ensure that any service lights in the equipment lease area do not generate significant light pollution or glare to the area, Mitigation Measure 4 has been included.</p> <p>Mitigation Measure 4: The approved exterior light to be installed in the ground equipment lease area shall be designed and located so as to confine direct rays to the fenced equipment area and to prevent glare to the surrounding area. Manufacturer's cut sheets for all exterior lights shall be submitted for review and approval by the Planning Department prior to the issuance of a building</p>					

permit. All approved exterior lighting shall be inspected and approved by the Planning Department prior to final building inspection.

Source: Project Plans.

1.e. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?		X		
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Discussion: The co-location site is within the Junipero Serra (I-280) State Scenic Corridor. See staff's discussion in Sections 1.a.-1.d. above. Mitigation Measures 1-4 would reduce the project's impacts on scenic resources to a less than significant level.

Source: San Mateo County GIS – Scenic Corridors Map; Project Plans; Site Visit.

1.f. If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions?				X
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Discussion: The project site is not located in a Design Review District. Telecommunication facilities are allowed in all zoning districts subject to approval of a use permit, and any other applicable land use permits.

Source: San Mateo County Zoning Map; San Mateo County Zoning Regulations, Chapter 24.5 (Wireless Telecommunication Facilities).

1.g. Visually intrude into an area having natural scenic qualities?		X		
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Discussion: The co-location area is located within the Junipero Serra (I-280) State Scenic Corridor. See staff's discussion in Sections 1.a.-1.d. above. Mitigation Measures 1-4 would reduce the project's visual impacts on the natural scenic qualities of the area.

Source: San Mateo County GIS – Scenic Corridors Map; Project Plans; Site Visit.

2. AGRICULTURAL AND FOREST RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the State's inventory of forestland, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
2.a. For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide				X

<p>Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?</p>				
<p>Discussion: The co-location project area is located outside of the Coastal Zone. The project would have no impact to Prime Farmland, Unique Farmland, or Farmland of Statewide Importance as the project site is classified as "Grazing Land" by the California Department of Conservation Farmland Mapping and Monitoring Program. The grazing land classification is described as "land on which the existing vegetation is suited to the grazing of livestock." Furthermore, the project parcel has been part of a cemetery land use since 1955.</p> <p>Source: California Department of Conservation Farmland Mapping and Monitoring Program Map.</p>				
<p>2.b. Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract?</p>				<p>X</p>
<p>Discussion: The project site is designated Resource Management (RM) by the County Zoning Regulations. While agriculture is a permitted use within the RM Zoning District, the project site is located within the Skylawn Memorial Park cemetery, which has been in operation under a use permit since 1955. Furthermore, as determined in Skylawn Memorial Park's 2011 MND, the co-location project area is not encumbered by any open space easement or Williamson Act contract.</p> <p>Source: San Mateo County Zoning Map; Skylawn Memorial Park's 2011 MND.</p>				
<p>2.c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use?</p>				<p>X</p>
<p>Discussion: As discussed in Section 2.a. above, the project site would not have any impact to Farmland. The project area has not been and is not currently farmed. Furthermore, the project area does not contain forestland.</p> <p>Source: California Department of Conservation Farmland Mapping and Monitoring Program Map; Site Visit.</p>				
<p>2.d. For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?</p>				<p>X</p>
<p>Discussion: The project site is not located within the Coastal Zone and does not consist of Class I or Class II soils. As identified in Skylawn Memorial Park's 2011 MND, soils in the project area generally consist of erosive silty loams on moderate to steep slopes, and are rated by the National Resource Conservation Service as Class III through Class VII Agricultural Soils. The project site consists of soils with limitations that make them generally unsuitable for cultivation. Therefore, the soils are not considered good for artichokes or Brussels sprouts, or any other crop cultivation.</p>				

Source: National Resource Conservation Service, Soils Survey; San Mateo County Zoning Map; Skylawn Memorial Park's 2011 MND.

2.e. Result in damage to soil capability or loss of agricultural land?

X

Discussion: The project would not result in damage to soil capability or loss of agricultural land. The project site has not been and is currently not farmed. Furthermore, the soil types are not suitable to support agriculture. See staff's discussion in Sections 2.a. and 2.d. above.

Source: California Department of Conservation Farmland Mapping and Monitoring Program Map; Skylawn Memorial Park's 2011 MND; Site Visit.

2.f. Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?

X

Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.

Discussion: The project site does not contain forestland, timberland, or Timberland Production. The project site is zoned Resource Management (RM). The co-location of telecommunication facilities is an allowed use in the RM Zoning District subject to approval of a use permit, and any other applicable land use permits.

Source: San Mateo County Zoning Map; San Mateo County Zoning Regulations, Chapter 24.5 (Wireless Telecommunication Facilities); Site Visit.

3. AIR QUALITY. Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
3.a. Conflict with or obstruct implementation of the applicable air quality plan?		X		

Discussion: The Bay Area 2010 Clean Air Plan (CAP), developed by the Bay Area Air Quality Management District (BAAQMD), is the applicable air quality plan for San Mateo County. The CAP was created to improve Bay Area air quality and to protect public health and the climate. The BAAQMD's 2011 CEQA Guidelines suggest lead agencies consider the following when determining whether a project would conflict with or obstruct the implementation of the applicable air quality plan:

1. Does the project support the primary goals of the Air Quality Plan?
2. Does the project include applicable control measures from the Air Quality Plan?

3. Does the project disrupt or hinder implementation of any Air Quality Plan control measures?

The project would not conflict with or obstruct the implementation of the BAAQMD's 2010 CAP. Once constructed, the permanent project would have minimal impacts to the air quality standards set forth for the region by the BAAQMD, as the telecommunication facilities would not generate significant levels of air emissions. During project construction, air emissions would be generated from site grading, construction equipment, and construction worker vehicles. However, any such construction-related emissions would be temporary and localized. Therefore, implementation of the project would not disrupt or hinder the implementation of any Air Quality Plan control measures.

The BAAQMD has established thresholds of significance for construction emissions and operational emissions. As defined in the BAAQMD's 1999¹ CEQA Guidelines, the BAAQMD does not require quantification of construction emissions due to the number of variables that can impact the calculation of construction emissions. Instead, the BAAQMD emphasizes implementation of all feasible control measures to minimize emissions from construction activities. The BAAQMD provides a list of construction-related control measures that they have determined when fully implemented would significantly reduce construction-related air emissions to a less than significant level. These control measures have been combined into Mitigation Measure 5 below.

Mitigation Measure 5: The applicant shall submit a dust control plan to the Planning and Building Department prior to the issuance of any grading "hard card" or building permit that, at a minimum, includes the "Basic Construction Mitigation Measures" as listed in Table 8-1 of the BAAQMD CEQA Guidelines (May 2011). These measures shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
- h. Post a publicly visible sign with the telephone number and person to contact at the County regarding dust complaints. This person shall respond and take corrective action within 48

¹ Thresholds of Significance are from the BAAQMD's 1999 CEQA Guidelines since the BAAQMD's last adopted 2010 Thresholds of Significance are currently under appeal by the BAAQMD with the California Supreme Court related to the BAAQMD's failure to comply with CEQA when adopting the Thresholds. Until this appeal is decided upon, the BAAQMD identifies on their CEQA Guidelines website <http://www.baaqmd.gov/Divisions/Planning-and-Research/CEQA-Guidelines.aspx> that lead agencies may continue to rely on the Air District's 1999 Thresholds of Significance and make determinations regarding the significance of an individual project's air quality impacts based on the substantial evidence in the record for that project.

hours. The Bay Area Air Quality Management District's phone number shall also be visible to ensure compliance with applicable regulations.

The BAAQMD's 1999 CEQA Guidelines thresholds of significance for operational emissions is as follows:

Pollutant	lb./day
ROG	80
NO _x	80
PM ₁₀	80

Once constructed, the primary source of air emissions associated with the operation of the wireless telecommunication facilities would be limited to monthly vehicle maintenance visits, as daily operation of the facilities requires no on-site management. The BAAQMD's screening criteria require that a detailed air quality analysis be conducted for projects generating more than 2,000 vehicle trips per day because the associated emissions could be above the BAAQMD thresholds of significance. Table 6 of the BAAQMD's 1999 CEQA Guidelines provides projections of various land use categories that could have the potential to generate a significant level of emissions (above 80 lb./day of ROG, NO_x, PM₁₀, as listed in Table 1 above). While the BAAQMD has no guiding land use comparisons for air emissions associated with the operation of wireless telecommunication facilities, a perspective for land use intensity that has the potential to generate a significant level of emissions is provided in Table 6 of the BAAQMD's 1999 CEQA Guidelines which identifies that it would take 320 single-family residences with a trip generation of 9.4 trips per dwelling per day to exceed the 80 lb./day NO_x threshold. The operation of unmanned wireless telecommunication facilities at the subject site would be much less intense than the single-family residential example. Therefore, it can be concluded that project operation would not exceed any air emission thresholds of significance.

Source: BAAQMD CEQA Guidelines, December 1999; BAAQMD CEQA Guidelines, May 2011; BAAQMD 2010 Clean Air Plan; Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND; Project Plans.

3.b. Violate any air quality standard or contribute significantly to an existing or projected air quality violation?		X		
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Discussion: The project would not violate any construction-related or operational air quality standard or contribute significantly to an existing or projected air quality violation. The implementation of Mitigation Measure 5 would further ensure that any air quality impacts generated from the project are reduced to a less than significant level. See staff's discussion in Section 3.a. above.

Source: BAAQMD CEQA Guidelines, December 1999; BAAQMD CEQA Guidelines, May 2011; BAAQMD 2010 Clean Air Plan; Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND; Project Plans.

3.c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			X	
<p>Discussion: The project would increase the amount of construction emissions at the project site; however, the co-location project would be constructed concurrently during the construction of Skylawn Memorial Parks Phase I Project Amendment. When viewed relative to the significant amount of construction analyzed under Skylawn Memorial Park's 2011 MND and 2014 MND, it can be reasonably concluded that project emissions would not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is in non-attainment under an applicable Federal or State ambient air quality standard.</p> <p>Source: Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND.</p>				
3.d. Expose sensitive receptors to significant pollutant concentrations, as defined by BAAQMD?				X
<p>Discussion: The project site is located in a remote, rural area with no sensitive receptors (schools, residences, etc.) located within the project vicinity. Therefore, the project would not expose sensitive receptors to pollutant concentrations.</p> <p>Source: Google Earth, 2015.</p>				
3.e. Create objectionable odors affecting a significant number of people?			X	
<p>Discussion: The project would not create objectionable odors, such as those typically associated with industrial land uses (i.e., wastewater treatment facilities, refineries, landfills). The project has the potential to generate odors associated with construction and grading activities. However, any such odors would be temporary and would be expected to be minimal. While the surrounding cemetery receives visitors throughout the day, such visits are typically made for a relatively short period of time. Therefore, construction- or grading-related odors would not have a significant impact on large numbers of people over an extended duration of time.</p> <p>Source: Project Plans; Project Location.</p>				
3.f. Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on-site or in the surrounding area?		X		
<p>Discussion: The project could result in short-term, grading-related dust associated with project construction and grading. Mitigation Measure 5 will ensure that dust particulates generated during project implementation are minimized.</p> <p>Source: Project Plans.</p>				

4. BIOLOGICAL RESOURCES. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
4.a. Have a significant adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?		X		

Discussion: Skylawn Memorial Park's 2011 MND and 2014 MND provided detailed discussion of the biological resources present in Skylawn's Phase I Project Area, or "Near-Term Development Area" (as referred to in Skylawn's 2014 MND). The co-location project disturbs approximately 0.5 acres within Skylawn's approved Near-Term Development Area. Therefore, this section refers to the analysis of biological impacts from Skylawn's 2011 MND and 2014 MND, which have determined that special-status plant and wildlife species could be impacted by construction activities in the project area. However, the incorporation of mitigation measures would reduce any biological impacts to a less than significant level.

Summary of Special-Status Plants

According to Skylawn's 2014 MND, a rare plant survey of the Near-Term Development Area by Jane Valerius Environmental Consulting on June 28, 2013 cited that no special-status plant species were observed and that the area is highly disturbed and comprised of ruderal (i.e., weedy), non-native plants, many of which are noxious weeds. Based on the negative survey results, absence of habitat types associated with locally occurring special-status plant species, and the highly disturbed condition of the area, Jane Valerius Environmental Consulting (July 2013) concluded that no further surveys for rare plants are recommended for the Near-Term Development Area. Therefore, a conclusion can be drawn that the co-location project, located within Skylawn's Near-Term Development Area, would not have any significant impact on special-status plants.

Summary of Special-Status Wildlife

Skylawn's 2011 MND identified that the following special-status wildlife species have the potential to occur in Skylawn's Phase I Project Area: California red-legged frog, San Francisco garter snake, Bay checkerspot butterfly, San Francisco dusky-footed woodrat, and hoary bat. Raptors and other common bird species protected by the Migratory Bird Treaty Act and/or California Fish and Game Code could also nest on or near the site.

Based on project updates under Skylawn's 2014 MND, the proposed Near-Term Development Area is characterized as an area that has endured a high level of disturbance and consisted, in part, of very weedy and highly disturbed grasslands. Therefore, it was determined under Skylawn's 2014 MND that construction activities in the Near-Term Development Area (which includes the subject co-location project area) would not impact the Bay checkerspot butterfly because suitable habitat (i.e., native grasslands) is not present. Construction activities in the Near-Term Development Area (which includes the co-location project area) would also be less likely to impact the California red-legged frog and San Francisco garter snake due to the project area's distance away from any wetlands and that habitat disturbance would be limited to highly disturbed, weedy habitats. Also, the

San Francisco dusky-footed woodrat would be less likely to be impacted in the Near-Term Development Area (which includes the co-location project area) due to the absence of dense coastal scrub habitat.

Nonetheless, there is a potential that the co-location project could impact special-status wildlife. Therefore, the below applicable mitigation measures from Skylawn's 2014 MND (with edits for applicability to the co-location project) are included to reduce potential impacts on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service (USFWS):

Mitigation Measure 6 (2014 MND Mitigation Measure 2): Prior to initial vegetation removal and/or grading activities in the upland portion of the Phase 1 area, a pre-construction clearance survey shall be conducted for the California red-legged frog and San Francisco garter snake by a qualified biologist. Should either species be identified, construction activities shall be immediately halted until the frog or snake leaves the construction zone on its own, or is removed by a qualified biologist in possession of an appropriate permit and authorized by the USFWS. The USFWS shall be immediately notified if either species is observed.

Mitigation Measure 7 (2014 MND Mitigation Measure 4): If trees or structures are to be removed during the breeding season of native bat species (generally April 1 through August 31 in California), the presence of active bat maternity roosts should be evaluated by a qualified biologist. If the trees/structures to be removed are determined to provide potential bat roosting habitat, a focused survey should then be conducted to determine if an active maternity roost of special-status bats are present. Should an active maternity roost of a special-status bat species be identified, the roost should not be disturbed until the roost is vacated and juveniles have fledged, as determined by the biologist. Once all young have fledged, the tree/structure may be removed.

Mitigation Measure 8 (2014 MND Mitigation Measure 5): If a construction project would commence anytime during the nesting/breeding season of native bird species potentially nesting on the site (typically February through August in the project region), a pre-construction survey of the project vicinity for nesting birds shall be conducted. This survey shall be conducted by a qualified biologist (i.e., experienced with the nesting behavior of bird species of the region) within two weeks of the commencement of construction activities. The intent of the survey would be to determine if active nests of special-status bird species or other species protected by the Migratory Bird Treaty Act and/or the California Fish and Game Code are present within the construction zone or within 500 ft. of the construction zone. The survey area would include all trees and shrubs in the construction zone and a surrounding 500-ft. area. The survey should be timed such that the last survey is concluded no more than two weeks prior to initiation of construction. If ground disturbance activities are delayed following a survey, then an additional pre-construction survey should be conducted such that no more than two weeks will have elapsed between the last survey and the commencement of ground disturbance activities. If active nests are found in areas that could be directly affected or are within 500 ft. of construction and would be subject to prolonged construction-related noise, a no-disturbance buffer zone shall be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted within them will be determined through consultation with the California Department of Fish and Wildlife (CDFW), taking into account factors such as the following:

- a. Noise and human disturbance levels at the construction site at the time of the survey and the noise and disturbance expected during the construction activity;
- b. Distance and amount of vegetation or other screening between the construction site and the nest; and
- c. Sensitivity of individual nesting species and behaviors of the nesting birds.

Limits of construction to avoid an active nest should be established in the field with flagging, fencing, or another appropriate barrier, and construction personnel should be instructed on the sensitivity of nest areas. The biologist should serve as a construction monitor during those periods when construction activities would occur near active nest areas of special-status bird species to ensure that no impacts on these nests occur.

Source: Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND; Project Plans.

4.b. Have a significant adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?				X
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Discussion: Based on analysis under Skylawn Memorial Park's 2014 MND, it can be concluded that there are no sensitive plant communities in the co-location project area. See staff's discussion in Section 4.a. above. Furthermore, there are no creeks, streams, or wetlands on or near the co-location project area.

Source: Skylawn Memorial Park's 2014 MND; Project Location.

4.c. Have a significant adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X
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Discussion: Based on analysis under Skylawn Memorial Park's 2014 MND, its Near-Term Development Area, which encompasses the co-location project area, does not contain any jurisdictional wetland areas or habitat. Therefore, the co-location project would not have an impact on federally protected wetlands.

Source: Skylawn Memorial Park's 2014 MND; Project Location.

4.d. Interfere significantly with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?		X		
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Discussion: Based on Skylawn Memorial Park's 2011 MND and 2014 MND analyses, the co-location project would not have any significant impacts associated with the movement of native or migratory fish or wildlife species with the implementation of Mitigation Measures 6-8 which would reduce any potential project impact to a less than significant level.

Source: Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND.

4.e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)?		X		
<p>Discussion: The co-location project would not conflict with any local policies or ordinances protecting biological resources provided Mitigation Measures 6-8 are implemented. Furthermore, no trees are proposed for removal; however, there are trees in the near vicinity of the new access road that would require protection throughout construction. Therefore, in addition to Mitigation Measure 17.m which requires tree protection fencing be shown on the erosion and sediment control plan and installed prior to grading or construction, the following mitigation measure is included:</p> <p>Mitigation Measure 9: Any existing significant and/or heritage trees adjacent to areas of ground disturbance shall be protected. Where applicable, the applicant shall establish and maintain tree protection zones which shall be delineated using 6-ft. tall orange plastic fencing, supported by poles, pounded into the ground, located as close to the tree driplines as possible, while still allowing room for construction-related activities to safely continue. The applicant shall maintain tree protection zones free of equipment and material storage and shall not clean any equipment within these areas. Should any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist prior to cutting. Any root cutting shall be monitored by an arborist and shall be documented.</p> <p>Source: Project Plans.</p>				
4.f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or State habitat conservation plan?				X
<p>Discussion: There are no known adopted Habitat Conservation Plans, Natural Conservation Community Plans, or other approved local, regional, or State habitat conservation plans for the co-location project site.</p> <p>Source: California Department of Fish and Wildlife, Habitat Conservation Planning, California Regional Conservation Plans Map.</p>				
4.g. Be located inside or within 200 feet of a marine or wildlife reserve?				X
<p>Discussion: The project site is not located inside or within 200 ft. of a marine or wildlife reserve.</p> <p>Source: Project Location; U.S. Fish and Wildlife Services, National Wildlife Refuge System Locator.</p>				
4.h. Result in loss of oak woodlands or other non-timber woodlands?				X
<p>Discussion: The project would not result in the loss of oak woodlands or other non-timber woodlands, as there are no such woodlands within the project area.</p> <p>Source: Project Plans; Site Visit.</p>				

5. CULTURAL RESOURCES. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
5.a. Cause a significant adverse change in the significance of a historical resource as defined in CEQA Section 15064.5?				X
<p>Discussion: Skylawn Memorial Park's 2011 MND and 2014 MND identified that a review of historical maps indicates roadways/fence lines on the project site as early as 1859, and several buildings that are depicted in 1915 topographic maps. The 1956 San Mateo topographic maps also indicate a quarry, four buildings, and one wireless receiving station, all within the project property. Although formal inventories conducted for the project site have not identified recorded cultural resources, these unrecorded buildings/structures meet the Office of Historic Preservation minimum age standard that buildings, structures, and other objects 45 years or older may be of historical value.</p> <p>The co-location project would not involve any of the above-referenced unrecorded buildings or structures. The existing wireless telecommunication facilities (Verizon Wireless, AT&T, and County ISD) were all permitted and constructed post 1985. Therefore, the project would not have any impact on historical resources.</p> <p>Source: Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND; Project Plans.</p>				
5.b. Cause a significant adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?		X		
<p>Discussion: Skylawn Memorial Park's 2011 MND and subsequent 2014 MND both determined that there would be less than significant impacts to archaeological resources in the project area with mitigation.</p> <p>Archaeological reconnaissance of Skylawn's Phase I Project Area, being the same area as this co-location project, found no cultural or archaeological resources within the project area as the area showed evidence of previous disturbance from grading, quarrying, filling, stripping of vegetation and topsoil. Nonetheless, as Skylawn's 2014 MND points out, it is possible that subsurface deposits may exist or that evidence of such resources have been obscured by more recent natural or cultural factors (such as the rearrangement of the landscape or installation of modern features). Therefore, the below mitigation measure from Skylawn's 2014 MND is being included for the co-location project to mitigate any potential impacts from grading or construction activities:</p> <p>Mitigation Measure 10 (2014 MND Mitigation Measure 15): If archaeological and/or cultural resources are encountered during grading or construction activities, work shall be temporarily halted within 30 ft. of the discovered materials and workers shall avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations. The project applicant or archaeologist shall immediately notify the Current Planning Section of any discoveries made and shall provide the Current Planning Section with a copy of the archaeologist's report and recommendations prior to any further grading or construction activity in the vicinity.</p> <p>Source: Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND; Project Plans.</p>				

5.c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?		X		
<p>Discussion: The project would include grading to construct a new access road and to re-contour the downslope side of the relocated County ISD facility. This earthwork has the potential to directly or indirectly impact a unique paleontological resource. Skylawn Memorial Park's 2014 MND identified several general mitigation measures provided by the Tribal Energy and Environmental Information Clearinghouse, Office of Indian Energy and Economic Development, that would reduce any potential impact to paleontological resources to a less than significant level. These mitigation measures have been included below:</p> <p>Mitigation Measure 11 (2014 MND Mitigation Measure 17): A discovery of a paleontological specimen during any phase of the project shall result in a work stoppage in the vicinity of the find until it can be evaluated by a professional paleontologist. Should loss or damage be detected, additional protective measures or further action (e.g., resource removal), as determined by a professional paleontologist, shall be implemented to mitigate the impact.</p> <p>Mitigation Measure 12 (2014 MND Mitigation Measure 18): Use existing roads to the maximum extent feasible to avoid additional surface disturbance.</p> <p>Mitigation Measure 13 (2014 MND Mitigation Measure 19): During all phases of the project, keep equipment and vehicles within the limits of the previously disturbed areas of the project site. All areas to remain undisturbed shall be delineated on the Erosion Control Plan and the plan shall include measures, such as a fence or other kind of barrier, to demarcate the "limit of disturbance." The property owner shall demonstrate the implementation of these measures prior to issuance of the grading permit "hard card."</p> <p>Source: Skylawn Memorial Park's 2014 MND; Project Plans.</p>				
5.d. Disturb any human remains, including those interred outside of formal cemeteries?		X		
<p>Discussion: The earthwork associated with the project has the potential to disturb human remains, including those interred outside of formal cemeteries. Mitigation Measure 14 is included to reduce any potential significant project impact to human remains to a less than significant level.</p> <p>Mitigation Measure 14 (2014 MND Mitigation Measure 20): The property owner, applicant, and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately and the County coroner shall be notified immediately. If the coroner determines that the remains are Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.</p> <p>Source: Skylawn Memorial Park's 2014 MND; Project Plans.</p>				

6. GEOLOGY AND SOILS. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
6.a. Expose people or structures to potential significant adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:				
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other significant evidence of a known fault? <i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i>			X	
<p>Discussion: While the project is located within a region of California characterized by active faulting, a geotechnical investigation for the co-location project by Mid Pacific Engineering, Inc., concluded that there are no known active faults that cross the co-location project site, nor is the project site within a current Earthquake Fault Zone, pursuant to the Alquist-Priolo Earthquake Fault Zoning Maps. Therefore, the potential for ground rupture, or other similar effect, at the project site is highly unlikely.</p> <p>Source: Geotechnical Investigation by Mid Pacific Engineering, Inc., dated January 16, 2014; Project Plans.</p>				
ii. Strong seismic ground shaking?			X	
<p>Discussion: There is a high probability that the co-location project could be subject to violent ground shaking from an earthquake during the life of the project, as the entire San Francisco Bay Area is characterized by active faulting. However, the project includes unmanned telecommunication facilities which would be constructed in compliance with current building codes and standards. The project does not involve any habitable structures or uses. Therefore, any project impacts from strong seismic shaking would be less than significant.</p> <p>Source: Geotechnical Investigation by Mid Pacific Engineering, Inc., dated January 16, 2014; Project Plans.</p>				
iii. Seismic-related ground failure, including liquefaction and differential settling?			X	
<p>Discussion: According to the geotechnical investigation report by Mid Pacific Engineering, Inc., for the co-location project, seismic-related ground failure at the project site is expected to be low. During field investigation, subsurface earth materials in the project area consisted of hard sandy clay underlain (at a relatively shallow depth) by completely-weathered, friable marine sedimentary rock. Free groundwater was encountered at a depth of about 23 ft. below existing site grade. Given the</p>				

presence of shallow rock, the potential for liquefaction at the site during or subsequent to a seismic event is unlikely.

Differential settling within the co-location project site area would typically be due to densification of subsurface soils during or subsequent to a seismic event. However, given the presence of shallow rock, Mid Pacific Engineering, Inc., has concluded that the potential for differential settling at the site during or subsequent to a seismic event is unlikely.

Source: Geotechnical Investigation by Mid Pacific Engineering, Inc., dated January 16, 2014.

iv. Landslides?		X		
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Discussion: The project site is located near an area of known and/or mapped occurrences of landslide activity. Mid Pacific Engineering, Inc., identified areas of potential landslide to the east of the co-location project site. However, no landslides or indications of slope instability were visually identified within the immediate site area during field investigation. Earthwork associated with the project will include shallow, braced excavations. Therefore, according to Mid Pacific Engineering, Inc., landsliding at the site is unlikely and earthwork grading is not expected to result in a potential for slope instability within or in the immediate vicinity of the project site provided construction practices from the geotechnical investigation report are implemented. Therefore, Mitigation Measure 15 has been included.

Mitigation Measure 15: All construction and grading techniques and methods of the geotechnical report by Mid Pacific Engineering, Inc., dated January 16, 2014, and any subsequently approved report amendments, shall be implemented for the project.

Source: Geotechnical Investigation by Mid Pacific Engineering, Inc., dated January 16, 2014.

v. Coastal cliff/bluff instability or erosion? <i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).</i>				X
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Discussion: The project site is located over 4 miles from the coast, therefore, would not have an impact on coastal cliff or bluff instability or erosion.

Source: Google Earth, 2015.

6.b. Result in significant soil erosion or the loss of topsoil?		X		
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Discussion: The project includes 2,331 cubic yards (c.y.) of grading, including 905 c.y. of cut and 1,426 c.y. of fill to construct the new access road and re-contour the downslope side of the new permanently relocated County ISD facility. The co-location project site is located within Skylawn Memorial Park's Phase I Project Area, which has received previous approval for approximately 100,000 c.y. of grading. The new access road would be located on a gentle downhill slope. There is a potential for sedimentation throughout the earthwork activities associated with the project. The applicant has provided conceptual erosion control plans that include measures to minimize the transport of sediment runoff from the immediate project site. As provided in Skylawn's 2011 MND and subsequent 2014 MND, the following mitigation measures are included to minimize erosion and sediment impacts that could be generated from the earthwork proposed in the co-location project:

Mitigation Measure 16 (2014 MND Mitigation Measure 25): The applicant shall obtain a grading permit "hard card" from the Planning and Building Department prior to commencement of any grading or construction activities.

Mitigation Measure 17 (2014 MND Mitigation Measure 26): Prior to beginning any land disturbance or construction, the applicant shall submit an Erosion and Sediment Control Plan to include the proposed measures of the Conceptual Erosion Control Plan and additional measures as follows for review and approval by the San Mateo County Planning and Building Department. The plan must be fully implemented and inspected by County Planning and Building Department staff prior to the commencement of any construction and/or grading activities and shall be maintained throughout the duration of the project. Erosion control measure deficiencies, as they occur, shall be immediately corrected. The goal is to prevent sediment and other pollutants from leaving the project site and to protect all exposed earth surfaces from erosive forces. Said plan shall adhere to the San Mateo Countywide Water Pollution Prevention Program (SMCWPPP) "General Construction and Site Supervision Guidelines," including:

- a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
- b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
- c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- d. Using sediment controls or filtration to remove sediment when dewatering the site and obtaining all necessary permits.
- e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees and drainage courses.
- g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- h. Performing clearing and earth-moving activities only during dry weather.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilizing designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. The contractor shall train and provide instructions to all employees and subcontractors regarding the construction best management practices. Additional best management practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- m. Show protection for all existing trees within the limits of disturbance. Protection measures shall include a minimum 6-ft. tall orange plastic fencing staked around the driplines of the existing trees.

- n. Show silt fencing (including details for installation) to be installed along the downslope side of the new access road and below the area of grading associated with the County ISD facility.
- o. Provide a designated area for parking of construction vehicles, using aggregate over geotextile fabric.
- p. Show areas for stockpiling. Cover temporary stockpiles using anchored down plastic sheeting. For longer storage, use seeding and mulching, soil blankets or mats.
- q. Show location of garbage and/or debris dumpster(s), and portable toilets.

Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time. Revisions to the approved erosion and sediment control plan shall be prepared and signed by the engineer and reviewed by the Department of Public Works and the Community Development Director.

Mitigation Measure 18 (2014 MND Mitigation Measure 27): The applicant shall submit a grading and drainage plan (including calculations) to the Planning and Building Department and the Department of Public Works prior to the issuance of any project-related grading or building permits. The grading and drainage plan shall include all requirements listed in Grading Ordinance Section 8604.1.a.5 (*Application Requirements*). The drainage plan shall also include a narrative describing the type, size, and location of all permanent stormwater controls to be utilized in order to ensure compliance with the County's Drainage Policy, the San Mateo Countywide Water Pollution Prevention Plan (SMCWPPP) "General Construction and Site Supervision Guidelines," and National Pollutant Discharge Elimination System (NPDES) Permit Provision C.3.

Mitigation Measure 19 (2014 MND Mitigation Measure 28): Unless approved in writing and in advance by the Community Development Director, no grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion. The applicant shall submit a letter Request for Winter Grading Form, along with the submittal items required by the form, to the Current Planning Section, no less than 30 days prior to the issuance of the grading permit hard card, which illustrates identifies the approximate grading schedule, including but not limited to start and end dates at least two (2) weeks prior to commencement of grading, stating the date when erosion controls will be installed, date when grading operations will begin, anticipated end date of grading operations, and date of revegetation. All submitted schedules shall represent the work in detail and shall project the grading operations through to completion.

Mitigation Measure 20 (2014 MND Mitigation Measure 29): It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.

Source: Project Plans; Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND.

6.c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse?		X		
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Discussion: Skylawn Memorial Park's 2011 MND and 2014 MND, and the subject project's geotechnical investigation report by Mid Pacific Engineering, Inc., all conclude that the project would be located in an area of potential geological instability, particularly for landslides, soil erosion, and expansive soils. See staff's discussions in Section 6.a.iv. (landslides), 6.b. (soil erosion), and 6.d. (expansive soils). Mitigation Measures 15-20 would reduce the impacts associated with geological instability to a less than significant level.

Source: Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND; Geotechnical Investigation by Mid Pacific Engineering, Inc., dated January 16, 2014; Project Plans.

6.d. Be located on expansive soil, as noted in the 2010 California Building Code, creating significant risks to life or property?		X		
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Discussion: According to Mid Pacific Engineering, Inc. (MPE), the near-surface clay soils located at the project site appear to be expansive. Expansive soils are characterized by their ability to undergo significant volume change (shrink or swell) due to variations in moisture content resulting from rainfall, landscape irrigation, utility leakage, roof drainage, drought, or other factors, and may cause unacceptable settlement or heave of structures, concrete slabs supported-on-grade, or pavements supported over these materials. There are several options to reduce potential adverse impacts of expansive soils on a project. MPE recommends for this project that moisture conditioning slab subgrade soils and reinforced equipment shelter foundations and slabs, as instructed in the geotechnical investigation report by MPE, be used to minimize adverse project impacts from expansive soils. Mitigation Measure 15 will ensure minimal project impacts caused by expansive soils.

Source: Geotechnical Investigation by Mid Pacific Engineering, Inc., dated January 16, 2014.

6.e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?				X
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Discussion: The project does not require the construction or use of septic tanks or alternative wastewater disposal systems.

Source: Project Plans.

7. CLIMATE CHANGE. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
7.a. Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?			X	

Discussion: The relocated telecommunication facilities would not generate significant levels of greenhouse gas (GHG) emissions. Grading and construction activities associated with the project would result in the temporary generation of GHG emissions primarily from construction vehicles, equipment, and personal cars of construction workers. It is expected that any potential temporary increase in GHG emission levels would be minimal and limited to a short duration of time. Due to the rural location of the project site, and assuming construction vehicles and workers are based in urban areas, potential project GHG emission levels would increase slightly for a temporary period of time. Otherwise, the permanent operation of the relocated wireless telecommunication facilities would be unmanned and only require minimal monthly vehicle maintenance visits, or in emergency situations. Furthermore, the propane tanks would be limited to use in emergency situations and are not for standard usage. Therefore, operation of the facilities would not generate a significant level of GHG emissions.

Source: Project Plans.

7.b. Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?		X		
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Discussion: The project would not conflict with the applicable San Mateo County Energy Efficiency Climate Action Plan (EECAP) pursuant to the applicable criteria of the EECAP Development Checklist for individual projects; specifically, criteria 15.1 related to construction idling. Mitigation Measure 5.f.-g. will ensure the project complies with the EECAP.

Source: San Mateo County Energy Efficiency Climate Action Plan; BAAQMD CEQA Guidelines, May 2011.

7.c. Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?				X
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Discussion: The project would not result in the loss of forestland or conversion of forestland to non-forestland use, as the project site does not contain any forestland.

Source: Site Visit.

7.d. Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels?				X
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Discussion: The project would not expose structures or infrastructure to accelerated coastal cliff/bluff erosion due to rising sea levels, as the project site is not located on or near a coastal cliff or bluff. The project site is located approximately 5 miles inland from the Pacific Ocean, on a ridgeline.

Source: Project Location.

7.e. Expose people or structures to a significant risk of loss, injury or death involving sea level rise?				X
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Discussion: The project would not expose people or structures to a significant risk of loss, injury or death involving sea level rise, as the project site is located approximately 5 miles inland from the Pacific Ocean and approximately 1,000 ft. above sea level. Based on the Pacific Institute's California Flood Risk: Sea Level Rise for the Half Moon Bay Quadrangle Map, sea level rise will not impact the project site.

Source: Project Location; Pacific Institute, California Flood Risk: Sea Level Rise for the Half Moon Bay Quadrangle Map (2009).

7.f. Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
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Discussion: The project would not place structures within a 100-year flood hazard area, as the project site is not located within a flood hazard zone that will be inundated by a 100-year flood. According to the Flood Insurance Rate Maps (FIRM) produced by the Federal Management Agency (FEMA), the project site is located in Flood Zone X, an area of minimal flood hazard.

Source: FEMA Community Panel 06081C0165E, effective October 16, 2012.

7.g. Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows?				X
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Discussion: See staff's discussion in Section 7.f. above.

Source: FEMA Community Panel 06081C0165E, effective October 16, 2012.

8. HAZARDS AND HAZARDOUS MATERIALS. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
8.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)?			X	

Discussion: The co-location project includes the relocation of an existing 500-gallon backup propane tank associated with the County ISD facility. The propane tank is limited to use during emergency situations when the primary electrical source is not available. Therefore, any potential hazard resulting from the use of propane tanks, as a backup emergency energy source, is minimal.

The wireless telecommunication facilities consist of antennas that generate radio frequency emissions. A Radio Frequency (RF) report by Hammett and Edison, Inc., confirms that the telecommunication facilities will comply with Federal Communications Commission (FCC) guidelines

<p>limiting public exposure to RF energy due to the facilities being located in a rural area with limited public access and based on the mounting heights of the antennas on the monopines.</p> <p>Source: Project Plans; Radio Frequency Report by Hammett and Edison, Inc., dated October 9, 2014.</p>					
8.b.	Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?			X	
<p>Discussion: The project would result in minimal public or environmental hazard from the release of hazardous materials. See staff's discussion in Section 8.a.</p> <p>Source: Project Plans; Radio Frequency Report by Hammett and Edison, Inc., dated October 9, 2014.</p>					
8.c.	Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
<p>Discussion: The project site is not located within 1/4 mile of any known existing or proposed school.</p> <p>Source: Google Earth, 2015.</p>					
8.d.	Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X
<p>Discussion: The project site is not listed on a hazardous materials site list.</p> <p>Source: California Department of Toxic Substances Control, Hazardous Waste and Substances Site List, http://www.dtsc.ca.gov/SiteCleanup/Cortese_List.cfm (2015).</p>					
8.e.	For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area?				X
<p>Discussion: The project site is not located within an area regulated by an airport land use plan and it is not located within 2 miles of a public airport or public use airport. The nearest airports are the Half Moon Bay Airport, located over 6 miles west, and the San Carlos Airport, located over 6 miles east, of the project site. Furthermore, the lack of residential or commercial development in the project area and on the project site eliminates the project's potential for generating a safety hazard for people residing or working in the project area.</p>					

Source: Google Earth, 2015.					
8.f.	For a project within the vicinity of a private airstrip, result in a safety hazard for people residing or working in the project area?				X
<p>Discussion: The project site is not located within the vicinity of any known private airstrip. Furthermore, the project would not result in a safety hazard for people residing or working in the project area due to the lack of residential or commercial development in the project area or on the project site.</p> <p>Source: Google Earth, 2015.</p>					
8.g.	Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
<p>Discussion: The project would not impede, change, or close any roadways that could be used for emergency purposes. Furthermore, a new access road will be constructed to County Fire standards as part of the project to provide emergency and maintenance access to the co-location area. Therefore, the project would not have any impact on public safety.</p> <p>Source: Project Plans.</p>					
8.h.	Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				X
<p>Discussion: The project site is within a moderate fire hazard safety zone as mapped by the California Department of Forestry and Fire Protection. The area primarily consists of coyote brush that would be removed for construction of the new access road and would be immediately surrounded by landscaped cemetery land that would not have a significant fuel content.</p> <p>Source: California Department of Forestry and Fire Protection, Fire and Resource Assessment Program; Site Visit.</p>					
8.i.	Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: See response to Section 7.f. above.</p> <p>Source: FEMA Community Panel 06081C0165E, effective October 16, 2012.</p>					
8.j.	Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?				X

Discussion: See response to Section 7.g. above.					
Source: FEMA Community Panel 06081C0165E, effective October 16, 2012.					
8.k.	Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X
Discussion: See response to Sections 7.f. and 7.g. above. Furthermore, the project site is not located within an area that would be impacted by the failure of a levee or dam as the project site is located on the eastern ridge of Skylawn Memorial Park, at a higher elevation than any levee or dam in San Mateo County.					
Source: FEMA Community Panel 06081C0165E, effective October 16, 2012; Project Location.					
8.l.	Inundation by seiche, tsunami, or mudflow?				X
Discussion: The project site would not be inundated by a seiche, tsunami, or mudflow, as it is located over 4 miles inland from the Pacific Ocean, on the eastern ridgeline of Skylawn Memorial Park. The project site is elevated approximately 1,000 ft. above sea level.					
Source: Project Location.					

9. HYDROLOGY AND WATER QUALITY. Would the project:					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
9.a.	Violate any water quality standards or waste discharge requirements (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?		X		
Discussion: The project has the potential to generate polluted stormwater runoff during site grading and construction-related activities. However, these impacts would be reduced to a less than significant level with the implementation of Mitigation Measures 5 and 16-20.					
The permanent project would be required to comply with the County's Drainage Policy requiring post-construction stormwater flows to be at, or below, pre-construction flow rates. Additionally, the project would require post-construction stormwater control measures pursuant to Provision C.3 of the County's Municipal Regional Stormwater NPDES Permit, as the project would introduce approximately 15,000 sq. ft. of impervious surface (including approximately 12,300 sq. ft. of new gravel access road that would be constructed of Class II base rock at 95% compaction). These					

guiding standards would ensure that post-construction water runoff does not violate any water quality standard. Furthermore, the project would not generate any wastewater.

Source: Project Plans.

<p>9.b. Significantly deplete groundwater supplies or interfere significantly with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?</p>				<p>X</p>
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Discussion: The project would not have an impact on groundwater supplies or groundwater recharge. As cited in Skylawn Memorial Park's 2014 MND, water is supplied to Skylawn Memorial Park by two sources: an existing water well and water from Coastside County Water District (CCWD). The CCWD supplies non-potable water to the project site for irrigation of burial lawns and associated landscape. All new irrigation installed as part of the project will be served by Skylawn through their non-potable water source supplied by CCWD. Therefore, the project would not require or use any groundwater supplies.

The project involves earth excavations no greater than 5 ft. to create level equipment pads, provide for site access and drainage and utility trenches. Based on a geotechnical investigation by Mid Pacific Engineering, Inc., groundwater was encountered at an approximate depth of 23 ft. below existing grade. Drilling for the monopine tower foundation piers is recommended to at least 15 ft., but no more than 41 1/2 ft. The piers would be a drilled, straight-shafted hole, filled with concrete and reinforced with steel. The presence of groundwater may require casing, drilling fluids or other methods for excavation and hole stability. Nonetheless, it is not expected that this limited subsurface work would have an adverse impact on groundwater recharge or water quality.

Source: Project Plans; Skylawn Memorial Park's 2014 MND; Geotechnical Investigation by Mid Pacific Engineering, Inc., dated January 16, 2014.

<p>9.c. Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner that would result in significant erosion or siltation on- or off-site?</p>		<p>X</p>		
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Discussion: The project would not significantly alter an existing drainage pattern in the project area. Drainage in the project area currently sheet flows in a southeast direction and infiltrates into the undisturbed ground or discharges to the on-site retention pond below the project area. Post-construction drainage would continue to flow in a southeast direction away from the new gravel access road and telecommunication pads. The construction of "v" ditches connected to riprap around the equipment lease area would direct runoff to designated infiltration facilities. Furthermore, the project would be required to comply with the County's Drainage Policy and stormwater management requirements under Provision C.3 of the County's Municipal Regional NPDES Permit. Mitigation Measures 5 and 16-20 would ensure that impacts related to soil erosion and sedimentation during project construction are not significant.

Source: Project Plans.				
9.d.	Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or significantly increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?		X	
Discussion: The project would not result in the alteration of existing drainage patterns that would lead to on- or off-site flooding. See staff's discussion in Section 9.c. above.				
Source: Project Plans.				
9.e.	Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide significant additional sources of polluted runoff?			X
Discussion: The project would result in new impervious surface and associated runoff. However, the applicant would be required to comply with the County's Drainage Policy to balance pre- and post-construction flows, and Provision C.3 of the Municipal Regional Permit which requires permanent stormwater drainage facilities to treat runoff. Compliance with these standards would prevent impacts to existing or planned stormwater drainage systems and minimize additional sources of polluted runoff.				
Source: Project Plans.				
9.f.	Significantly degrade surface or ground-water water quality?		X	
Discussion: The project is required to comply with the County's Drainage Policy and Provision C.3 of the Municipal Regional Permit which would prevent significant degradation of surface water quality after construction. Mitigation Measures 5 and 16-20 would reduce construction-related stormwater impacts to a less than significant level. Also, see staff's discussion in Section 9.b. above which concludes that the project would not have an impact on groundwater water quality.				
Source: Project Plans.				
9.g.	Result in increased impervious surfaces and associated increased runoff?		X	
Discussion: The project would result in increased impervious surfaces and associated increased runoff. The implementation of Mitigation Measures 5 and 16-20 would reduce project-related impacts associated with increased impervious surfaces and runoff to a less than significant level.				
Source: Project Plans.				

10. LAND USE AND PLANNING. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
10.a. Physically divide an established community?				X
<p>Discussion: The project would not have any impact to an established community. The project site is located within the existing 521-acre Skylawn Memorial Park cemetery and specifically within Skylawn's 35-acre Phase I Project Area. The co-location project consists of relocating existing wireless communication facilities approximately 400-500 ft. east of their existing locations, in an area that previously supported a lattice tower and wireless telecommunication facility that was decommissioned in 2013. Relocation of the existing telecommunication facilities will minimize their interference with Skylawn's Phase I Project.</p> <p>Source: Project Plans.</p>				
10.b. Conflict with any applicable land use plan, policy or regulation of an agency with jurisdiction over the project (including, but not limited to, the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?				X
<p>Discussion: The project does not conflict with any applicable land use plan, policy or regulation adopted for the purpose of avoiding or mitigating an environmental effect. Telecommunication facilities are a conditionally permitted use in the Resource Management (RM) Zoning District and each existing facility being relocated currently operates, and will continue to operate, under its own use permit, with the exception of the County ISD's facility which is exempt from the requirements of a use permit.</p> <p>Source: Project Plans; San Mateo County Zoning Regulations.</p>				
10.c. Conflict with any applicable habitat conservation plan or natural community conservation plan?				X
<p>Discussion: See staff's discussion in Section 4.f. above.</p> <p>Source: California Department of Fish and Wildlife, Habitat Conservation Planning, California Regional Conservation Plans Map.</p>				
10.d. Result in the congregating of more than 50 people on a regular basis?				X
<p>Discussion: The project would not result in the congregation of more than 50 people on a regular basis. Once constructed, the communication facilities will be unmanned with only routine monthly maintenance visits, or in emergency situations.</p> <p>Source: Project Plans.</p>				

10.e. Result in the introduction of activities not currently found within the community?				X
<p>Discussion: The project would not result in the introduction of activities not currently found within the community. The project consists of relocating existing communication facilities east of their current location within the Phase I Project Area of Skylawn Memorial Park.</p> <p>Source: Project Plans.</p>				
10.f. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?				X
<p>Discussion: The project consists of relocating existing telecommunication facilities owned by Verizon Wireless, AT&T, and the County of San Mateo, east of their existing locations within Skylawn Memorial Park's Phase I Project Area. The project does not introduce any new wireless telecommunication facilities not already present on-site. Therefore, the project would not introduce or encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas.</p> <p>Source: Project Plans.</p>				
10.g. Create a significant new demand for housing?				X
<p>Discussion: The project consists of relocating existing communication facilities to a new co-location area within Skylawn Memorial Park cemetery. The project does not introduce a new land use to the area that would create a significant new demand for housing.</p> <p>Source: Project Plans.</p>				

11. MINERAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
11.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?				X
<p>Discussion: According to review of the San Mateo County General Plan Mineral Resources Map, there are no known mineral resources on the project site. Therefore, the project would not have any impact on mineral resources.</p> <p>Source: County General Plan, Mineral Resources Map.</p>				

11.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X
<p>Discussion: See staff's discussion in Section 11.a. above.</p> <p>Source: County General Plan, Mineral Resources Map.</p>				

12. NOISE. Would the project result in:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
12.a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?		X		
<p>Discussion: The permanent operation of the relocated wireless telecommunication facilities would not generate any noise. However, construction activities associated with the project could generate noise levels above standards set forth in the County Noise Ordinance. Although any construction noise would be temporary, the project property's primary land use is a cemetery. While cemeteries are generally considered quiet, tranquil, sacred places for visitors, the co-location project would be constructed concurrently during the construction of Skylawn Memorial Parks Phase I Project. Therefore, any noise associated with the construction of this co-location project would be much less than construction noise generated by Skylawn's Phase I Project (Skylawn 2014 MND). Nonetheless, Mitigation Measures 5.f and 21 are included to ensure that noise generated during construction is reduced to a less than significant level.</p> <p>Mitigation Measure 21: Noise levels produced by proposed construction activities shall comply with the San Mateo County Noise Ordinance contained in Chapter 4.88 (Noise Regulations) of the County Ordinance Code. Construction activities shall be limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturdays. Construction operations shall be prohibited on Sundays and any national holidays.</p> <p>Source: Project Plans; San Mateo County Noise Ordinance; Skylawn Memorial Park's 2014 MND.</p>				
12.b. Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?		X		
<p>Discussion: The project would generate ground-borne vibration and noise associated with grading during construction activities that could impact cemetery visitors; however, these noises and vibration would be temporary and less significant than the concurrent construction of Skylawn Memorial Park's Phase I Project. Nonetheless, Mitigation Measure 21 is included to ensure that construction-related noise impacts are reduced to a less than significant level.</p> <p>Source: Project Plans; San Mateo County Noise Ordinance.</p>				

12.c. A significant permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				X
<p>Discussion: The project would not generate a significant permanent increase in ambient noise levels in the project vicinity, as the proposed improvements would not result in the introduction of any new land uses, or expand any existing land uses. The project consists of relocating and consolidating existing unmanned wireless communication facilities east of their existing locations.</p> <p>Source: Project Plans.</p>				
12.d. A significant temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?		X		
<p>Discussion: The project has the potential to generate a significant temporary increase in ambient noise levels in the area throughout project construction, including grading activity. See staff's discussion in Section 12.a. above. Furthermore, Mitigation Measures 5.f. and 21 are included to reduce this impact to a less than significant level.</p> <p>Source: Project Plans.</p>				
12.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?				X
<p>Discussion: The project site is not located within an area regulated by an airport land use plan and it is not located within 2 miles of a public airport or public use airport. The nearest airports are the Half Moon Bay Airport, located over 6 miles west, and the San Carlos Airport, located over 6 miles east, of the project site. Given the distance of the nearby airports, and the lack of residential or commercial development in the project area, the project would not expose people residing or working in the project area to excessive noise levels.</p> <p>Source: Google Earth, 2015.</p>				
12.f. For a project within the vicinity of a private airstrip, exposure to people residing or working in the project area to excessive noise levels?				X
<p>Discussion: The project site is not located within the vicinity of any known private airstrip. Furthermore, the project would not expose people residing or working in the project area to excessive noise levels given the lack of residential or commercial development in the project area.</p> <p>Source: Google Earth, 2015.</p>				

13. POPULATION AND HOUSING. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
13.a. Induce significant population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?				X
<p>Discussion: The project consists of relocating existing wireless telecommunication facilities located within the Skylawn Memorial Park cemetery approximately 400-500 ft. east of their existing location to the eastern ridge of the cemetery property. The project does not propose any new or expanded wireless communication facilities. A new access road would be constructed from Lifemark Road, east, such that it dead-ends at the new co-location area. The only use of this access road would be for routine maintenance of the telecommunication facilities. Therefore, the project would not result in growth-inducing development.</p> <p>Source: Project Plans.</p>				
13.b. Displace existing housing (including low- or moderate-income housing), in an area that is substantially deficient in housing, necessitating the construction of replacement housing elsewhere?				X
<p>Discussion: The project site is located within the Skylawn Memorial Park cemetery where no housing exists or is planned. Therefore, the project would not displace existing housing.</p> <p>Source: Project Plans.</p>				

14. PUBLIC SERVICES. Would the project result in significant adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
14.a. Fire protection?				X
14.b. Police protection?				X
14.c. Schools?				X
14.d. Parks?				X

14.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)?				X
<p>Discussion: The project would not involve or increase the need for new or physically altered government facilities. The project would not generate an increase in population or employment; therefore, there would be no impact in the demand for public services such as schools, parks, hospitals, or libraries, or affect service ratios, response times or other performance objectives for any emergency services in the area (i.e., fire, police). Furthermore, the project does not generate an increased demand in public utilities, as the relocated telecommunication facilities will utilize existing electrical and telco utility services.</p> <p>Source: Project Plans.</p>				

15. RECREATION. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
15.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that significant physical deterioration of the facility would occur or be accelerated?				X
<p>Discussion: The project consists of relocating existing telecommunication facilities and constructing a new access road to the new co-location area. The project will not induce population growth in the area that would increase the use of existing neighborhood or regional parks, or other recreational facilities.</p> <p>Source: Project Plans.</p>				
15.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				X
<p>Discussion: See staff's discussion in Section 15.a. above. The project does not include recreational facilities or require the construction or expansion of recreational facilities.</p> <p>Source: Project Plans.</p>				

16. TRANSPORTATION/TRAFFIC. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
16.a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including, but not limited to, intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?			X	
<p>Discussion: The project would not result in a significant change in vehicular traffic patterns or volumes. The re/co-location facilities would continue to be unmanned and require minimal monthly vehicle maintenance visits, or in emergency situations. There may be a slight increase in vehicle traffic during construction and grading activities; however, any construction- or grading-related traffic associated with the project will be temporary. Based on analysis from Skylawn Memorial Park's 2014 MND, it is expected that any such temporary traffic would not have a significant conflict with any applicable circulation system plan, ordinance, or policy.</p> <p>Source: Project Plans; Skylawn Memorial Park's 2014 MND.</p>				
16.b. Conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demand measures, or other standards established by the County congestion management agency for designated roads or highways?			X	
<p>Discussion: The project would not result in a conflict with an applicable congestion management program. See staff's discussion in Section 16.a. above.</p> <p>Source: Project Plans; Skylawn Memorial Park's 2014 MND.</p>				
16.c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in significant safety risks?				X

<p>Discussion: The project would not result in a change in air traffic patterns. The project site is not located in the vicinity of a public airport or public use airport. The nearest airports are located over 6 miles east and west of the project site. The project involves the construction of two monopines on the eastern ridge of Skylawn Memorial Park, 108 ft. and 80 ft. in height. A FAA airspace study for the co-location project determined that the height of the monopines would not penetrate any air space thresholds.</p> <p>Source: Project Plans; Google Earth, 2015; Federal Airways and Airspace Report, February 28, 2014.</p>					
16.d.	Significantly increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
<p>Discussion: The project would not increase hazards to a design feature or incompatible uses. After construction, the project would only generate a minimal increase in vehicle traffic related to routine monthly maintenance visits, or in emergency situations. Furthermore, telecommunication facilities are a conditionally permitted use in the Resource Management (RM) Zoning District and each existing facility being relocated currently operates under its own use permit, with the exception of the County ISD's facility which is exempt from the requirements of a use permit.</p> <p>Source: Project Plans.</p>					
16.e.	Result in inadequate emergency access?				X
<p>Discussion: The project includes the construction of a new private access road within the cemetery to serve the co-location project. The new access road would be constructed to comply with emergency access requirements of the San Mateo County Fire Department, therefore, would not result in inadequate emergency access.</p> <p>Source: Project Plans.</p>					
16.f.	Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?				X
<p>Discussion: The project would not attract visitors, bicycle, or pedestrians to the project area. Therefore, the project would not have any impact to public transit, bicycle, and/or pedestrian facilities.</p> <p>Source: Project Plans.</p>					
16.g.	Cause noticeable increase in pedestrian traffic or a change in pedestrian patterns?				X
<p>Discussion: The project would not attract visitors or pedestrians to the area. Therefore, the project would not have any impact to pedestrian traffic or pedestrian patterns in the area.</p> <p>Source: Project Plans.</p>					

16.h. Result in inadequate parking capacity?				X
<p>Discussion: The project does not generate any demand for parking. The project only introduces minimal monthly vehicle service visits, or for emergency situations. For the infrequent and short duration that maintenance vehicle parking is needed, it would be accommodated within the proposed access road, and/or fire turnaround area, that would be constructed immediately adjacent to the permanent co-location area.</p> <p>Source: Project Plans.</p>				

17. UTILITIES AND SERVICE SYSTEMS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
17.a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?				X
<p>Discussion: The project would not impact wastewater treatment requirements of the Regional Water Quality Control Board, as the project would not produce any wastewater or require wastewater services.</p> <p>Source: Project Plans.</p>				
17.b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				X
<p>Discussion: The project would not require or result in the construction of new water or wastewater treatment facilities, as the project would not involve any such facilities.</p> <p>Source: Project Plans.</p>				
17.c. Require or result in the construction of new stormwater drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?			X	
<p>Discussion: While the project would result in the construction of new stormwater drainage facilities to mitigate runoff created by new project impervious surfaces, it would not cause significant environmental effects. See staff's discussion in Section 9.e. above.</p> <p>Source: Project Plans.</p>				

17.d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?				X
<p>Discussion: The project would not require new or expanded water entitlements, as the project would not involve the use of, or need for, a water supply. Landscape irrigation water necessary for the co-location project would be supplied by Skylawn Memorial Park who obtains such water from the Coastside County Water District (CCWD). See staff's discussion in Section 9.b. above.</p> <p>Source: Project Plans.</p>				
17.e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				X
<p>Discussion: The project would not have any impacts on wastewater treatment capacities, as the project would not involve any wastewater treatment systems.</p> <p>Source: Project Plans.</p>				
17.f. Be served by a landfill with insufficient permitted capacity to accommodate the project's solid waste disposal needs?				X
<p>Discussion: The project would not have any impacts on solid waste disposal capacities, as the project would not generate solid waste or require landfill services.</p> <p>Source: Project Plans.</p>				
17.g. Comply with Federal, State, and local statutes and regulations related to solid waste?				X
<p>Discussion: The project would not have any impacts on solid waste requirements, as the project would not generate any solid waste.</p> <p>Source: Project Plans.</p>				
17.h. Be sited, oriented, and/or designed to minimize energy consumption, including transportation energy; incorporate water conservation and solid waste reduction measures; and incorporate solar or other alternative energy sources?			X	
<p>Discussion: The project would require energy to operate the telecommunication facilities. Existing electrical service on the project site would be extended underground to serve the relocated facilities. Additionally, natural gas would be proposed as an alternative backup power supply for Verizon Wireless.</p>				

Source: Project Plans.				
17.i. Generate any demands that will cause a public facility or utility to reach or exceed its capacity?				X
<p>Discussion: The project would not generate any impact to a public facility or utility, as the communication facilities are already being served by existing electrical and telco (telephone and data) utilities on-site. The co-located facilities will be served by an existing electrical and telco point of connection that is located slightly northeast of the co-location area. The project does not introduce any new telecommunication facilities that would require additional utility demands.</p> <p>Source: Project Plans.</p>				

18. MANDATORY FINDINGS OF SIGNIFICANCE.				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
18.a. Does the project have the potential to degrade the quality of the environment, significantly reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?		X		
<p>Discussion: The co-location project has the potential to degrade the quality of the environment, significantly impact the habitat of wildlife species, or uncover archaeological or paleontological resources. However, as included throughout the analysis contained within this document, these potential significant impacts can be reduced to a less than significant level with the implementation of all included mitigation measures.</p> <p>Source: Skylawn Telecommunication Facilities Co-Location MND (subject document); Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND.</p>				
18.b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)		X		

Discussion: Impacts associated with the co-location project are limited and with mitigation are determined to be less than significant. The project is located within Skylawn Memorial Park's Phase I Project Area, which has already been analyzed for impacts under Skylawn's 2011 MND and subsequent 2014 MND. This document references Skylawn's 2011 MND and 2014 MND where impacts of this project have already been analyzed. Relative to Skylawn's Phase I Project, this co-location project does not introduce any additional significant impacts that cannot be avoided through mitigation. Furthermore, no evidence has been found that the co-location project would result in broader regional impacts, and there are no known approved projects or future projects expected for the project parcel.

Source: Skylawn Telecommunication Facilities Co-Location MND (subject document); Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND.

18.c. Does the project have environmental effects which will cause significant adverse effects on human beings, either directly or indirectly?		X		
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X

Discussion: The co-location project could result in environmental impacts that could both directly and indirectly cause impacts on human beings (e.g., aesthetics, air quality, noise). However, the implementation of the recommended mitigation measures included in this document, and mitigation measures proposed in the project plans, would adequately reduce any potential impacts to a less than significant level.

Source: Skylawn Telecommunication Facilities Co-Location MND (subject document); Skylawn Memorial Park's 2011 MND; Skylawn Memorial Park's 2014 MND.

RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
U.S. Army Corps of Engineers (CE)		X	
State Water Resources Control Board		X	
Regional Water Quality Control Board		X	
State Department of Public Health		X	
San Francisco Bay Conservation and Development Commission (BCDC)		X	
U.S. Environmental Protection Agency (EPA)		X	
County Airport Land Use Commission (ALUC)		X	
CalTrans		X	

AGENCY	YES	NO	TYPE OF APPROVAL
Bay Area Air Quality Management District		X	
U.S. Fish and Wildlife Service		X	
Coastal Commission		X	
City		X	
Sewer/Water District:		X	
Other:		X	

MITIGATION MEASURES		
	<u>Yes</u>	<u>No</u>
Mitigation measures have been proposed in project application.	X	
Other mitigation measures are needed.	X	
<p>The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:</p> <p>Mitigation Measure 1: The use of reflective materials or reflective paint colors is prohibited.</p> <p>Mitigation Measure 2: The monopines shall be maintained in a manner to ensure that they resemble trees to the greatest extent possible. This shall include continual maintenance in the form of repainting and/or repairing any portions of the facilities which do not appear as they did at the time of building permit final inspections.</p> <p>Mitigation Measure 3: No new lights of any kind shall be constructed or installed in association with this project, with the exception of lighting deemed necessary to service the ground equipment areas.</p> <p>Mitigation Measure 4: The approved exterior light to be installed in the ground equipment lease area shall be designed and located so as to confine direct rays to the fenced equipment area and to prevent glare to the surrounding area. Manufacturer's cut sheets for all exterior lights shall be submitted for review and approval by the Planning Department prior to the issuance of a building permit. All approved exterior lighting shall be inspected and approved by the Planning Department prior to final building inspection.</p> <p>Mitigation Measure 5: The applicant shall submit a dust control plan to the Planning and Building Department prior to the issuance of any grading "hard card" or building permit that, at a minimum, includes the "Basic Construction Mitigation Measures" as listed in Table 8-1 of the BAAQMD CEQA Guidelines (May 2011). These measures shall be implemented prior to beginning any grading and/or construction activities and shall be maintained for the duration of the project grading and/or construction activities:</p> <p>a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.</p>		

- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment or vehicles off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
- h. Post a publicly visible sign with the telephone number and person to contact at the County regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Bay Area Air Quality Management District's phone number shall also be visible to ensure compliance with applicable regulations.

Mitigation Measure 6 (2014 MND Mitigation Measure 2): Prior to initial vegetation removal and/or grading activities in the upland portion of the Phase 4 area, a pre-construction clearance survey shall be conducted for the California red-legged frog and San Francisco garter snake by a qualified biologist. Should either species be identified, construction activities shall be immediately halted until the frog or snake leaves the construction zone on its own, or is removed by a qualified biologist in possession of an appropriate permit and authorized by the USFWS. The USFWS shall be immediately notified if either species is observed.

Mitigation Measure 7 (2014 MND Mitigation Measure 4): If trees or structures are to be removed during the breeding season of native bat species (generally April 1 through August 31 in California), the presence of active bat maternity roosts should be evaluated by a qualified biologist. If the trees/structures to be removed are determined to provide potential bat roosting habitat, a focused survey should then be conducted to determine if an active maternity roost of special-status bats are present. Should an active maternity roost of a special-status bat species be identified, the roost should not be disturbed until the roost is vacated and juveniles have fledged, as determined by the biologist. Once all young have fledged, the tree/structure may be removed.

Mitigation Measure 8 (2014 MND Mitigation Measure 5): If a construction project would commence anytime during the nesting/breeding season of native bird species potentially nesting on the site (typically February through August in the project region), a pre-construction survey of the project vicinity for nesting birds shall be conducted. This survey shall be conducted by a qualified biologist (i.e., experienced with the nesting behavior of bird species of the region) within two weeks of the commencement of construction activities. The intent of the survey would be to determine if active nests of special-status bird species or other species protected by the Migratory Bird Treaty Act and/or the California Fish and Game Code are present within the construction zone or within 500 ft. of the construction zone. The survey area would include all trees and shrubs in the construction zone and a surrounding 500-ft. area. The survey should be timed such that the last survey is concluded no more than two weeks prior to initiation of construction. If ground disturbance activities are delayed following a survey, then an additional pre-construction survey should be conducted such that no more than two weeks will have elapsed between the last survey and the commencement of ground disturbance activities. If active nests are found in areas that could be directly affected or are within 500 ft. of construction and would be subject to prolonged construction-related noise, a no-disturbance buffer zone shall be created around active nests during

the breeding season or until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted within them will be determined through consultation with the California Department of Fish and Wildlife (CDFW), taking into account factors such as the following:

- a. Noise and human disturbance levels at the construction site at the time of the survey and the noise and disturbance expected during the construction activity;
- b. Distance and amount of vegetation or other screening between the construction site and the nest; and
- c. Sensitivity of individual nesting species and behaviors of the nesting birds.

Mitigation Measure 9: Any existing significant and/or heritage trees adjacent to areas of ground disturbance shall be protected. Where applicable, the applicant shall establish and maintain tree protection zones which shall be delineated using 6-ft. tall orange plastic fencing, supported by poles, pounded into the ground, located as close to the tree driplines as possible, while still allowing room for construction-related activities to safely continue. The applicant shall maintain tree protection zones free of equipment and material storage and shall not clean any equipment within these areas. Should any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist prior to cutting. Any root cutting shall be monitored by an arborist and shall be documented.

Mitigation Measure 10 (2014 MND Mitigation Measure 15): If archaeological and/or cultural resources are encountered during grading or construction activities, work shall be temporarily halted within 30 ft. of the discovered materials and workers shall avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations. The project applicant or archaeologist shall immediately notify the Current Planning Section of any discoveries made and shall provide the Current Planning Section with a copy of the archaeologist's report and recommendations prior to any further grading or construction activity in the vicinity.

Mitigation Measure 11 (2014 MND Mitigation Measure 17): A discovery of a paleontological specimen during any phase of the project shall result in a work stoppage in the vicinity of the find until it can be evaluated by a professional paleontologist. Should loss or damage be detected, additional protective measures or further action (e.g., resource removal), as determined by a professional paleontologist, shall be implemented to mitigate the impact.

Mitigation Measure 12 (2014 MND Mitigation Measure 18): Use existing roads to the maximum extent feasible to avoid additional surface disturbance.

Mitigation Measure 13 (2014 MND Mitigation Measure 19): During all phases of the project, keep equipment and vehicles within the limits of the previously disturbed areas of the project site. All areas to remain undisturbed shall be delineated on the Erosion Control Plan and the plan shall include measures, such as a fence or other kind of barrier, to demarcate the "limit of disturbance." The property owner shall demonstrate the implementation of these measures prior to issuance of the grading permit "hard card."

Mitigation Measure 14 (2014 MND Mitigation Measure 20): The property owner, applicant, and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately and the County coroner shall be notified immediately. If the coroner determines that the remains are Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.

Mitigation Measure 15: All construction and grading techniques and methods of the geotechnical report by Mid Pacific Engineering, Inc., dated January 16, 2014, and any subsequently approved report amendments, shall be implemented for the project.

Mitigation Measure 16 (2014 MND Mitigation Measure 25): The applicant shall obtain a grading permit "hard card" from the Planning and Building Department prior to commencement of any grading or construction activities.

Mitigation Measure 17 (2014 MND Mitigation Measure 26): Prior to beginning any land disturbance or construction, the applicant shall submit an Erosion and Sediment Control Plan to include the proposed measures of the Conceptual Erosion Control Plan and additional measures as follows for review and approval by the San Mateo County Planning and Building Department. The plan must be fully implemented and inspected by County Planning and Building Department staff prior to the commencement of any construction and/or grading activities and shall be maintained throughout the duration of the project. Erosion control measure deficiencies, as they occur, shall be immediately corrected. The goal is to prevent sediment and other pollutants from leaving the project site and to protect all exposed earth surfaces from erosive forces. Said plan shall adhere to the San Mateo Countywide Water Pollution Prevention Program (SMCWPPP) "General Construction and Site Supervision Guidelines," including:

- a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
- b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
- c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- d. Using sediment controls or filtration to remove sediment when dewatering the site and obtaining all necessary permits.
- e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees and drainage courses.
- g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- h. Performing clearing and earth-moving activities only during dry weather.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilizing designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. The contractor shall train and provide instructions to all employees and subcontractors regarding the construction best management practices. Additional best management practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.

- m. Show protection for all existing trees within the limits of disturbance. Protection measures shall include a minimum 6-ft. tall orange plastic fencing staked around the driplines of the existing trees.
- n. Show silt fencing (including details for installation) to be installed along the downslope side of the new access road and below the area of grading associated with the County ISD facility.
- o. Provide a designated area for parking of construction vehicles, using aggregate over geotextile fabric.
- p. Show areas for stockpiling. Cover temporary stockpiles using anchored down plastic sheeting. For longer storage, use seeding and mulching, soil blankets or mats.
- q. Show location of garbage and/or debris dumpster(s), and portable toilets.

Mitigation Measure 18 (2014 MND Mitigation Measure 27): The applicant shall submit a grading and drainage plan (including calculations) to the Planning and Building Department and the Department of Public Works prior to the issuance of any project-related grading or building permits. The grading and drainage plan shall include all requirements listed in Grading Ordinance Section 8604.1.a.5 (*Application Requirements*). The drainage plan shall also include a narrative describing the type, size, and location of all permanent stormwater controls to be utilized in order to ensure compliance with the County's Drainage Policy, the San Mateo Countywide Water Pollution Prevention Plan (SMCWPPP) "General Construction and Site Supervision Guidelines," and National Pollutant Discharge Elimination System (NPDES) Permit Provision C.3.

Mitigation Measure 19 (2014 MND Mitigation Measure 28): Unless approved in writing and in advance by the Community Development Director, no grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion. The applicant shall submit a letter Request for Winter Grading Form, along with the submittal items required by the form, to the Current Planning Section, no less than 30 days prior to the issuance of the grading permit hard card, which illustrates identifies the approximate grading schedule, including but not limited to start and end dates at least two (2) weeks prior to commencement of grading, stating the date when erosion controls will be installed, date when grading operations will begin, anticipated end date of grading operations, and date of revegetation. All submitted schedules shall represent the work in detail and shall project the grading operations through to completion.

Mitigation Measure 20 (2014 MND Mitigation Measure 29): It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.

Mitigation Measure 21: Noise levels produced by proposed construction activities shall comply with the San Mateo County Noise Ordinance contained in Chapter 4.88 (Noise Regulations) of the County Ordinance Code. Construction activities shall be limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturdays. Construction operations shall be prohibited on Sundays and any national holidays.


DETERMINATION (to be completed by the Lead Agency).

On the basis of this initial evaluation:

 I find the proposed project COULD NOT have a significant effect on the environment; and a NEGATIVE DECLARATION will be prepared by the Planning Department.

 X I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A NEGATIVE DECLARATION will be prepared.

 I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

 
(Signature)

 2/17/2015
Date

 Planner III
(Title)

ATTACHMENTS:

- A. Vicinity Map
- B. Site Plan
- C. Lease Area Compound Plan
- D. Elevation Plans
- E. Photo Simulations
- F. Grading Plan
- G. Planting Plan
- H. Skylawn Memorial Park's 2011 Mitigated Negative Declaration (*available at the County of San Mateo Planning and Building Department*)
- I. Skylawn Memorial Park's 2014 Mitigated Negative Declaration (*available at the County of San Mateo Planning and Building Department*)
- J. Geotechnical Investigation by Mid Pacific Engineering, Inc., dated January 16, 2014; Project Plans (*available at the County of San Mateo Planning and Building Department*)
- K. Radio Frequency Report by Hammett and Edison, Inc., dated October 9, 2014 (*available at the County of San Mateo Planning and Building Department*)
- L. Federal Airways and Airspace Report, February 28, 2014 (*available at the County of San Mateo Planning and Building Department*)

SB:fc – SSBZ0150_WFH.DOCX
Initial Study Checklist 10.17.2013.docx

**Please reply to: Angela Chavez
(650)599-7217**

September 6, 2007

Verizon Wireless
c/o John Owens
5900 Hollis Street, Suite R1
Emeryville, CA 94608

Subject: PLN2006-00271
Location: 10600c Cahill Ridge Road, Half Moon Bay
APN: 056-550-020

On September 6, 2007, the Zoning Hearing Officer considered your request for a Use Permit Renewal, pursuant to Sections 6500 of the San Mateo County Zoning Regulations, to allow the continued operation of a cellular communications site located at 10600c Cahill Ridge Road (Skylawn Memorial Park), in the unincorporated North Skyline Boulevard area of San Mateo County.

The Zoning Hearing Officer made the findings and approved this project subject to the conditions of approval as attached.

Any interested party aggrieved by the determination of the Zoning Hearing Officer may appeal this decision to the Planning Commission within ten (10) working days from such date of determination. The appeal period for this project will end on **September 20, 2007 at 5:00 p.m.**

If you have any questions concerning this item, please contact the Project Planner above.

Very truly yours,

George Bergman
Zoning Hearing Officer

<i>Planning Commission Meeting</i>	
Owner/Applicant:	SKYLAWN/NSA WIRELESS
File Numbers:	PLN 20 14-00019
Attachment:	R

Verizon Wireless/John Owens

-2-

September 6, 2007

cc: Public Works Department
Building Inspection Section
Assessor's Office
San Mateo County Fire
Richard Coons, Verizon Wireless
Skylawn Corporation/Lifemark Group

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County of San Mateo
Planning and Building Department

FINDINGS AND CONDITIONS OF APPROVAL

FINDINGS

For the Environmental Review, Found:

1. That this project is exempt under Section 15301 of the California Environmental Quality Act, relating to continued operation of an existing facility.

Regarding the Use Permit, Found:

2. That the establishment, maintenance and/or conducting of the proposed use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood. The impacts from the continued operation of this cellular facility will be negligible since the project includes use types that already exist on-site. The site has been in place since 1989 and staff has received no comments or concerns regarding the project. The installation meets emission criteria as required by the California Public Utilities Commission and the Federal Communications Commission and does not create additional traffic, noise, or intensity of use of the property.
3. That the approval of this cellular telecommunications addition is necessary for the public health, safety, convenience or welfare. The continued operation of this facility will ensure cellular communication services to the public at large. There is no evidence to suggest that the continued operation of this facility has caused a detriment to the public health or safety since its establishment.

CONDITIONS OF APPROVAL

Current Planning Section

1. This use permit renewal shall be for the existing telecommunications facility as approved on September 6, 2007. Minor revisions shall be subject to the review and approval of the Community Development Director. Any modifications or expansions to the existing use will require an application for a use permit amendment, payment of applicable fees, and consideration at a public hearing.
2. This use permit shall be valid for a period of ten (10) years, terminating on September 6, 2017. The applicant shall apply for a use permit renewal with the San Mateo County Planning and Building Department six months prior to expiration, if continuation of this use is desired.

3. The applicant shall maintain the light gray color of the antennas. When the antennas need to be repainted, they shall be repainted a light gray color to blend with the existing tower.
4. This facility shall be removed in its entirety if the applicant ceases operations, when this technology becomes obsolete, and/or when this facility is no longer needed.
5. The applicant shall not enter into a contract with the landowner or lessee that reserves for one company, exclusive use of structures on this site for telecommunications facilities.
6. At which time the subject site's street name is changed, the applicant shall coordinate with the Building Inspection Section to comply with all addressing requirements.
7. The applicant shall file a current copy of FCC approval to operate with the County Planning Department. The applicant shall be required to keep a current copy of this approval on file with the County Planning Department throughout the life of this use.
8. Remove that portion of any tree, which extends within 10 feet of the outlet of any chimney or stovepipe or any portion of the tree, which overhangs the roof assembly or is within 5 feet of any portion of the structure.
9. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 100 feet around the perimeter of all structures, or to the property line.
10. Because of limited access into your property, the San Mateo County Fire Department is requiring the installation of a knox box or knox padlock within 60 days of approval to allow rapid response of emergency vehicles onto your property in case of a fire or medical emergency. Please contact San Mateo County Fire to confirm installation at 650/573-3846.



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@co.sanmateo.ca.us
www.co.sanmateo.ca.us/planning

Please reply to: **Joe Camicia**
650/363-7833

March 17, ²⁰¹¹2010

PROJECT FILE

Steve Enger, Forza Telecom
1330 N. Broadway, Suite 200
Walnut Creek, CA 94596

Subject: PLN1999-00552
Location: 140 Lifemark Road, North Skyline, Half Moon Bay
APN: 056-550-020

On March 17, ²⁰¹¹2010, the Zoning Hearing Officer considered your request for a Use Permit Renewal and Amendment, pursuant to Section 6500 of the San Mateo County Zoning Regulations, to allow the continued operation of and modifications to an existing telecommunications facility located at 140 Lifemark Road (Skylawn Memorial Park) in the unincorporated North Skyline area of San Mateo County.

The Zoning Hearing Officer made the findings and approved this project subject to the conditions of approval as attached.

Any interested party aggrieved by the determination of the Zoning Hearing Officer may appeal this decision to the Planning Commission within ten (10) working days from such date of determination. The appeal period for this project will end on **March 31, 2011, at 5:00 p.m.**

If you have any questions concerning this item, please contact the Project Planner above.

Very truly yours,

Matthew Seubert
Zoning Hearing Officer
Zhd0317V_4_dr

cc: Assessor's Office
Building Inspection Section
Lifemark Group Incorporated c/o Northstar Group

Public Works Department
Cal-Fire

Planning Commission Meeting	
Owner/Applicant:	SKYLAWN/NSA WIRELESS
File Numbers:	PLN 2014-00019
Attachment:	S

County of San Mateo
Planning and Building Department

FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: 1999-00552

Hearing Date: March 17, 2011

Prepared By: Joe Camicia, Project Planner

Adopted By: Zoning Hearing Officer

FINDINGS

For the Use Permit, Found:

1. That the establishment, maintenance and/or conducting of the proposed use will not, under the circumstances of this particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood as a search of County records has shown that the site has operated in full compliance with the previous conditions of approval, is in compliance with the Federal Communications Commission (FCC)'s current prevailing standards for limiting human exposure to RF energy, and is compliant with the County's Wireless Telecommunication Facilities ordinance due to the design, location, and available opportunities for future co-locations.
2. That the approval of this cellular telecommunication addition is necessary for the public health, safety, convenience or welfare of the community as the site provides telecommunications coverage to the surrounding community, which serves as a benefit to both private and public users.

For the Environmental Review, Found:

3. That the project is Categorically Exempt under Provisions of Class 1, Section 15301 of the California Environmental Quality Act Guidelines for the continued operation of existing facilities of both investor and publicly owned utilities.

CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Zoning Hearing Officer on March 17, 2011. Modifications beyond that which was approved by the Zoning Hearing Officer will be subject to review and approval by the Community Development Director and may require review at a public hearing. Minor modifications that are largely consistent with this approval may be approved at the discretion of the Community Development Director.
2. This permit shall be valid for ten (10) years from the date of this approval and shall expire on March 17, 2021. If continuation of this use is desired, the applicant shall file a use permit renewal application with the Planning and Building Department six months prior to its expiration and pay the fees applicable at that time.
3. This installation shall be removed in its entirety at that time when this technology becomes obsolete, when the facility is no longer needed to achieve coverage objectives, or if the facility remains inactive for six consecutive months. If any of these circumstances occur, the entire facility, including all antennas and associated equipment, cables, power supplies, etc., shall be removed and the site shall be returned to its pre-construction state to the extent practicable.
4. The applicant shall not enter into a contract with the landowner or lessee which reserves for one company exclusive use of the tower structure or the site for telecommunications facilities.
5. The applicant shall continue to maintain the color of all existing facilities in a manner that is consistent with the color samples on file. Over time paint colors fade and, as result, facilities may become more visually prominent than initially proposed. The applicant shall continue to take all necessary measures to ensure that the site remains consistent with all previously approved colors.
6. The applicant shall continue to keep their FCC license active and in good standing throughout this permit's 10-year term. The applicant shall immediately notify the Planning and Building Department if any changes to their license occur.
7. The applicant shall apply for and obtain a building permit prior to installing any of the new facilities approved by the Zoning Hearing Officer on March 17, 2011.



San Francisco Water Power Sewer

Operator of the Hetch Hetchy Regional Water System

March 5, 2015

Natural Resources and Lands Management Division
525 Golden Gate Avenue, 10th Floor
San Francisco, CA 94102
T 415.554.3265
F 415.934.5770

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2015 MAR 11 A 10:17

Summer Burlison, Project Planner
San Mateo County Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063

Planning Commission Meeting

Owner/Applicant:	SKYLAWN/NSA WIRELESS
File Numbers:	PLN 2014-00019
Attachment:	T

RE: Skylawn Telecommunication Facilities Co-Location (PLN 2014-00019)
Mitigated Negative Declaration

Dear Ms. Burlison:

Thank you for the opportunity to review and comment on the Mitigated Negative Declaration (MND) for the Skylawn Telecommunication Facilities Co-Location. The San Francisco Public Utilities Commission (SFPUC) manages land and water system infrastructure, owned by the City and County of San Francisco, throughout San Mateo County as part of the Hetch Hetchy Regional Water System. The SFPUC provides drinking water to 2.6 million people in the San Francisco Bay Area. Comments on behalf of the SFPUC on the proposed project to build two "monopine" antennas near the SFPUC's property line are provided below.

Section 1 – Aesthetics

The SFPUC commends the project proponents for consolidating the number of antennas from three antennas to two antennas within the Junipero Serra (Highway I-280) State Scenic Corridor. This will reduce the visual impacts on the scenic corridor. Unfortunately, the use of a 108 foot tall monopine and a second 80 foot tall monopine is counterproductive to the goal of minimizing visual impacts because the monopine antennas are oversized and look artificial. The MND lacks discussion of the size of these monopine antennas relative to the existing vegetation located near the proposed antenna site. The proposed antennas are more than twice the size of vegetation in the adjacent area and would stick out from a prominent hillside. Therefore, the SFPUC believes these monopines will increase the visual impacts given the antennas unusual scale on a ridge that is visible from the public view corridor, including public trails on the Peninsula Watershed and Interstate 280. The SFPUC would like the project proponent to reconsider the monopine antennas. Reducing the number of antennas from three to two antenna poles is already a significant reduction of a visual impact.

Section 6 – Geology and Soils; and Section 9 – Hydrology and Water Quality

Preserving and enhancing our water quality in the peninsula watershed is of the utmost importance. The SFPUC concurs with Mitigation Measure (MM) 17 which limits the potential effects of erosion. With respect to MM 19, which provides an exception to do earthwork activity during wet weather when there is a higher potential for soil erosion, the SFPUC would prefer that all earthwork and grading activities be restricted to dry weather. In addition, as a condition of any grading or construction permit that will be issued to the project proponent, the SFPUC requests that the project proponent notify the SFPUC of any

Edwin M. Lee
Mayor

Ann Moller Caen
President

Francesca Vietor
Vice President

Vince Courtney
Commissioner

Anson Moran
Commissioner

Ike Kwon
Commissioner

Harlan L. Kelly, Jr.
General Manager



SFPUC Response to Skylawn Telecommunication Facilities Co-Location (PLN 2014-00019)
Mitigated Negative Declaration

earthwork and grading activities at least 48 hours in advance. This will give the SFPUC an opportunity to send staff to our watershed lands adjacent to the construction zone to monitor any potential runoff from the construction site to SFPUC watershed lands. To notify the SFPUC of any earthwork or grading activities, please contact Joe Naras at (650) 652-3201.

Finally, please add the following staff as a recipient of any future CEQA documents or notices related to this project:

Jonathan S. Mendoza
Land and Resources Planner
JSMendoza@sflower.org
(650) 652-3215

We appreciate your time and attention. If you have any questions, please contact Jonathan Mendoza.

Sincerely,

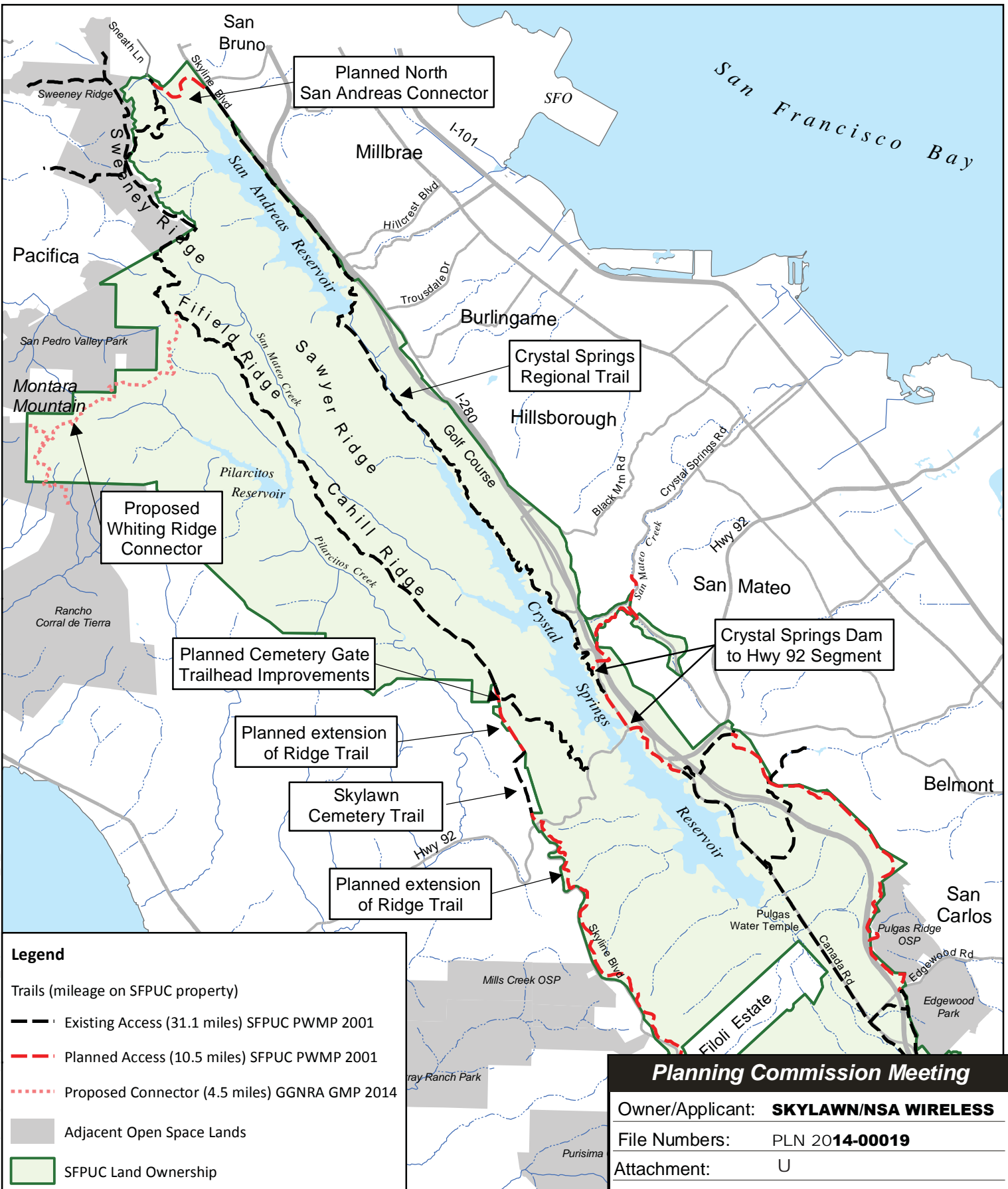


Tim Ramirez
Division Manager
Natural Resources and Lands Management Division (NRLMD)

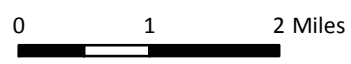
Enclosures: None.

cc: Rosanna Russell, Director, SFPUC Real Estate Services
Ellen Natesan, Planning and Regulatory Compliance Manager, SFPUC-NRLMD
Joe Naras, Watershed Manager, SFPUC-NRLMD
Joanne Wilson, Senior Planner, SFPUC-NRLMD
Craig Freeman, Utility Specialist, SFPUC-BEM
Jonathan Mendoza, Planner, SFPUC-NRLMD

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Services of the San Francisco Public Utilities Commission
Natural Resources and Lands Management Division



Peninsula Watershed

Trails

Author: JGL Date: 1-16-15