	San Mateo County
8. yet	Planning and Building Department
	455 County Center, 270 Hoto 4141 - EAX (650) 363-4849
lanning Permit	455 County Center, 2nd Floor • Redwood City Of Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849 www.co.sanmateo.ca.us/planning
pplication Form	PLN:
phicacion	BLD:
oplicant/Owner Information	
pplicant: Jake and Zara Bursalyan	
lailing Address: 161 W 25th Ave Suite 207	Zip: 94403
San Mateo, CA	н: 4156527948
hone, W: 4157100304	FAX:
-mail Address: jakebur1@gmail.com	
lame of Owner [1]: Jake Bursalyan	Name of Owner (2): Zara Bursalyan
Aailing Address: 161 W 25th Ave Suite 207	Mailing Address: 161 W 25th Ave Suite 207
San Mateo	San Mateo Zip: 94403
CA zip: 94403	
Phone,W: 4157100304	Phone,W: 4157100304 H: 4156527948
н: 4156527948	E-mail Address: zarabursalyan1@gmail.com
E-mail Address: jakebur1@gmail.com	E-mail Address. Zaraburseryen regeneration
Project Information	
and an	Assessor's Parcel Numbers: 48 - 43 - 90
Project Location (address): 331 4th Ave	
551 Hull / NO	
Half Moon Bay CA 94019	
Half Moon Bay CA 94019 Zoning: residential	Parcel/lot size: 5,010 SF (Square Feet)
Zoning: residential	Parcel/lot size: 5,010
Zoning: residential List all elements of proposed project: (e.g. access, si	ize and location, primary and accessory structures, well, septic, tank)
Zoning: residential List all elements of proposed project: (e.g. access, si We are eliminating the 2nd story cantilever do to s	parcety for size: 5,010 ize and location, primary and accessory structures, well, septic, tank) structural compromise, by constructing foundation ath to the existing structure. The rear of the
Zoning: residential List all elements of proposed project: (e.g. access, si We are eliminating the 2nd story cantilever do to s and walls below to add additional structural sreng structure will be extended to align existing rear wa	Parcet/for size: 9,010 ize and location, primary and accessory structures, well, septic, tank} structural compromise, by constructing foundation gth to the existing structure. The rear of the all of the stair well. Retrofit existing foundation.
Zoning: residential List all elements of proposed project: (e.g. access, si We are eliminating the 2nd story cantilever do to s and walls below to add additional structural sreng structure will be extended to align existing rear wa	Parcet/for size: 5,010 ize and location, primary and accessory structures, well, septic, tank) structural compromise, by constructing foundation gth to the existing structure. The rear of the all of the stair well. Retrofit existing foundation.
Zoning: residential List all elements of proposed project: (e.g. access, si We are eliminating the 2nd story cantilever do to s and walls below to add additional structural sreng structure will be extended to align existing rear wa make it structurally safe & restored for our family	Parcet/for size: 5,010 ize and location, primary and accessory structures, well, septic, tank) structural compromise, by constructing foundation gth to the existing structure. The rear of the all of the stair well. Retrofit existing foundation. to move back in our house.
Zoning: residential List all elements of proposed project: (e.g. access, si We are eliminating the 2nd story cantilever do to s and walls below to add additional structural sreng structure will be extended to align existing rear wa make it structurally safe & restored for our family Describe Existing Site Conditions/Features (e.g. top	Parcet/for size: 5,010 ize and location, primary and accessory structures, well, septic, tank) structural compromise, by constructing foundation gth to the existing structure. The rear of the all of the stair well. Retrofit existing foundation. to move back in our house.
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Zoning: residential List all elements of proposed project: (e.g. access, si We are eliminating the 2nd story cantilever do to s and walls below to add additional structural sreng structure will be extended to align existing rear wa make it structurally safe & restored for our family Describe Existing Site Conditions/Features (e.g. top See topography attached, per plans. No body of The front of the house has deteriorating driveway Paved stone & asphalt & concrete walkways arou Describe Existing Structures and/or Development The existing home suffered a catastrophic flashin storm, causing massive interior water damage (s asbestos through out the house. The interior of th Cantilevers existing, but propose to remove & tie Signatures We hereby certify that the information stated abo	Parcet/for size: 5,010 ize and location, primary and accessory structures, well, septic, tank) structural compromise, by constructing foundation gth to the existing structure. The rear of the all of the stair well. Retrofit existing foundation. to move back in our house. pography, water bodies, vegetation): water, minimal vegetation, with one lemon tree. / (which we plan to restore). und the perimeter of the house. g & roof failure at the clerestory center of the house during a 96%). Subsequent inspection showed the existing sheetrock contained he home has been stripped to studs, & asbestos abated (100%).

Owner's signature:

Owner's signature

Applicant's signature:

L:\web_stuff\PBSite\pdf\Form\22054_09-06-12

San Mateo County

Application for a Coastal Development Permit

455 County Center , 2nd Floor - Redwood City, CA 94063 Mail Drop: PLN 122 - TEL (650) 363-4161 - FAX (650) 363-4849

Companion Page

* Jana Bursa 1 am Applicant's Name: Primary Permit #:

10

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

Have you or anyone else previously applied to either the Does the owner or applicant own any adjacent property not County of San Mateo or the California Coastal Commission listed? for a Coastal Development Permit for this or a similar project XI No □ Yes at this location? X No □ | Yes If yes, explain (include date and application file numbers). If yes, list Assessor's Parcel Number(s): 43

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	, Material	ma ex Color/Finish / 6	atches isting
a. Exterior Walls	Viny siding	- graykement siding	
b. Trim	vinige	white / cement	
c. Roof	comp shingle		X
d. Chimneys	wood burning store	removing chieney	
e. Accessory Buildings	None		2
f. Decks/Stairs	pressure treated wood		X V
g. Retaining Walls	None		۶۶ ۱۶۶
h. Fences	isood	· · · · · · · · · · · · · · · · · · ·	¥
i. Storage Tanks	None		7

4. Project Information		in			
Does this project, the parcel on which it is lo immediate vicinity involve or include:	cated or	the	p. Between the sea and the nearest public road?		X
a. Demolition of existing housing units?	Yes	No	q. Existing or proposed provisions for public access to the shoreline?		[`] □
(If yes, give value of owner-occupied units or current monthly rent of rental	Ш	м	r. Public or commercial recreation facilities?		X
units in explanation below.)		. 1	s. Visitor-serving facilities? t. Existing or proposed public trail		μ
b. Creeks, streams, lakes or ponds?		¢ X	easements?	-	\checkmark
c. Wetlands (marshes, swamps, mudflats)?		函	C02C11IC1ID1		×
d. Beaches?		X	Explain all Yes answers below. Indicate		
e. Sand Dunes?		M	item applies to the project itself, the parcel on located, or the immediate vicinity (attach addi		
f. Sea cliff, coastal bluffs or blufftops?		X	necessary):		inces in
g. Ridgetops?		x			
h. Pampas Grass, invasive brooms or Weedy Thistle?		X			
i. Removal of trees or vegetation?		\mathbf{X}			
j. Grading or alteration of landforms?		X			
k. Landscaping?		۲¢			
I. Signs?		X			
m. Phone or utility line extensions or connections, either above or below ground (explain which)?		М М			
n. Areas subject to flooding?		X			
o. Development on slopes 30% or steeper?		A			

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

1. A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?

🗖 Yes

2. Construction or grading within 100 feet of a stream or wetland?

🔀 No

3. A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?

🛛 Yes

□ Yes

🗴 No

🖄 No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

1.25

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

🛛 Yes

🕅 No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by:

	County of San Mateo
Environmental Information	PLN
Disclosure Form	BLD
Project Address: 331 4th Aile	Address: 331 4th AVE Half Mom Bay
Half Moon Bay CA 94019	CA 94019 Phone: 415-710 0304
Assessor's Parcel No.: <u>48 - 43 - 90</u>	Name of Applicant: Jake Bursalyan
	Address: 331 4/1/ Ave Half Moon Bay
Zoning District:	CA 94019 Phone: 415710 0304
Existing Site Conditions	$- \overset{\alpha}{} 1 \overset{\alpha}{}$

Existing Site Conditions

Parcel size: 5010 58 FF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

s	No	Will this project involve:
	X	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	X	b. Construction of a new multi-family residential structure having 5 or more units?
	X	c. Construction of a commercial structure > 2,500 sq.ft?
	X	 d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed?
	Ŕ	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation :c.y. Fill:c.y.
	X	f. Subdivision of land into 5 or more parcels?
	X	g. Construction within a State or County scenic corridor?
	X	h. Construction within a sensitive habitat?
	X	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
		j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

2. National Marine Fisheries Rule 4(d) Review				
No	Will the project involve:			
X	a. Construction outside of the footprint of an existing, legal structure?			
X	b. Exterior construction within 100-feet of a stream?			
	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?			
	d. Land-use within a riparian area?			
X	e. Timber harvesting, mining, grazing or grading?			
X	f. Any work inside of a stream, riparian corridor, or shoreline?			
X	g. Release or capture of fish or commerce dealing with fish?			
explain	any "Yes" answers:			
	No XX XX XX XX XX XX			

3. Na	tional F	ollutant Discharge Elimination System (NPDES) Review
Yes	No	Will the project involve:
		a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u>
	×1	If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
		b. Land disturbance of 1 acre or more of area?
	X	If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. If any of the facts represented here change, it is my responsibility to inform the County.

Signed: (Applicant may sign)

7-29-20 Date:

Application for Design Review by the	County Government Center = 455 County Center = Redwood City CA 9404 Mail Drop PLN 122 = 650 - 363 - 4161 = FAX 650 - 363 - 484
County Coastside Design	Permit #: PLN
Review Committee	Other Permit #:
1. Basic Information	
Applicant:	Owner (if different from Applicant):
Iame Jane Jara Bursalyan	_ Name: Jake & Jana Bursaly
address: 331 4th Ave	_ Address: 33141 Aul Half Moon
alf Moon Bay Zip: CA 44019	- CAZip: 94019
hone, W: 4137100304H: 415652794	Phone, W: 4157100304H: 4156527
mail: jakebur I @ gmail	Email: Barabursalyan 1 @ gm
Architect or Designer (if different from Applicant	t):
Name:	
Address:	Zip:
Phone,W: H:	Email:
	Site Description:
Project location: PN: 48-43-90 Address: 331 4th Aule Talf Moon Bay Zip: CA 94019	Site Description: Vacant Parcel Existing Development (Please describe): Single Jamily home.
PN: 48-43-90 Iddress: 331 4th Aul alf Moon Bay Zip: CA 94019 Ioning: residential	Vacant Parcel
PN: 48-43-90 Iddress: <u>3314th AUC</u> Calf Moon Bay Zip: CA 94019 oning: <u>rescolential</u> arcel/lot size: <u>5010</u> sq. ft.	Vacant Parcel
PN: 48-43-90 ddress: 331 4th Aul alf Moon Bay Zip: CA 94019 oning: <u>restolential</u> arcel/lot size: 5010 sq. ft. 3. Project Descriptions	 Vacant Parcel Existing Development (Please describe): single family home.
PN: 48-43-90 ddress: 331 4th Aul alf Moon Bay Zip: CA 94019 oning: <u>restolential</u> arcel/lot size: 5010 sq. ft. 3. Project Descriptions Project:	Vacant Parcel Existing Development (Please describe): Single family home Additional Permits Required:
PN: 48-43-90 ddress: 331 4th Aul alf Moon Bay Zip: CA 94019 oning: <u>restolential</u> arcel/lot size: 5010 sq. ft. 3. Project Descriptions Project: New Single Family Residence: sq.	Image: Additional Permits Required: ft Image: Certificate of Compliance Type A or Type B
PN: 48-43-90 ddress: 331 4th Aul alf Moon Bay Zip: CA 94019 oning: <u>restolential</u> arcel/lot size: 5010 sq. ft. 3. Project Descriptions Project:	Image: Second Strain
PN: 48-43-90 Address: 3314th AUL AUJMOON Bay Zip: CA 94019 oning: <u>rescolential</u> arcel/lot size: 5010 sq. ft. 3. Project Descriptions Project: New Single Family Residence: sq. Addition to Residence: <u>475,9</u> sq.	 Vacant Parcel Existing Development (Please describe): Single Jamily home Additional Permits Required: ft Certificate of Compliance Type A or Type B Coastal Development Permit Fence Height Exception (not permitted on coast)
PN: 48-43-90 Address: 3314th Aul Aug <u>Moon Bay</u> Zip: CA 94019 oning: <u>rescolential</u> arcel/lot size: 5010 sq. ft. 3. Project Descriptions Project: New Single Family Residence: sq. Addition to Residence: <u>475,9</u> sq. Other:	 Vacant Parcel Existing Development (Please describe): Single Jamily home Additional Permits Required: ft Certificate of Compliance Type A or Type B Coastal Development Permit Fence Height Exception (not permitted on coast) Grading Permit or Exemption
PN: 48-43-90 ddress: 3314th Aul alf Moon Bay Zip: CA 94019 oning: <u>restolential</u> arcel/lot size: 5010 sq. ft. 3. Project Descriptions Project: New Single Family Residence: sq. Addition to Residence: <u>475,9</u> sq. Other:	 Vacant Parcel Existing Development (Please describe): Single Jamily home Additional Permits Required: ft Certificate of Compliance Type A or Type B Coastal Development Permit Fence Height Exception (not permitted on coast) Grading Permit or Exemption Home Improvement Exception
PN: 48-43-90 ddress: 331 4th Aue alf Moon Bay Zip: CA 94019 oning: <u>restolential</u> arcel/lot size: 5010 sq. ft. 3. Project Descriptions Project: New Single Family Residence: sq. Addition to Residence: <u>475,9</u> sq. Other: Describe Project: Due to weather damages; we	 Vacant Parcel Existing Development (Please describe): Single Jamily home Additional Permits Required: ft Certificate of Compliance Type A or Type B Coastal Development Permit Fence Height Exception (not permitted on coast) Grading Permit or Exemption Home Improvement Exception Non-Conforming Use Permit
PN: 48-43-90 ddress: 3314th Aul alf Moon Bay Zip: CA 94019 oning: <u>restolential</u> arcel/lot size: 5010 sq. ft. 3. Project Descriptions Project: New Single Family Residence: sq. Addition to Residence: <u>475,9</u> sq. Other:	 Vacant Parcel Existing Development (Please describe): Single Jamily home Additional Permits Required: ft Certificate of Compliance Type A or Type B Coastal Development Permit Fence Height Exception (not permitted on coast) Grading Permit or Exemption Home Improvement Exception Non-Conforming Use Permit Off-Street Parking Exception

/

4. Materials and Finish of Proposed Bindings or Structures

Fill in Blanks:	Material	Color/Finish	matches existing
		(If different from existing, attach sample)	
a. Exterior walls	vingl siding	<u>gray/cements</u> idú white/cement	'ng 🗆
b. Trim	vinge	white/cement	~
c. Windows			Ø
d. Doors	wood		56
e. Roof	comp shingle		Ş.
f. Chimneys	wood burning	removing it	
g. Decks & railings	wood,	<u> </u>	Þ
h. Stairs	wood		
i. Retaining walls	None	NONE	
j. Fences	wood		
k. Accessory buildings	None	NONE	
I. Garage/Carport	garage	·····	5

Check if

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

wher

Applicant:

7-29-20

Date:

Date:

Address: Address: 331 4/K Awe Malf Mint Zip: 940/9 Phone,W:4 57/00304 H:4/15-7/00304 Email Address: jake bur 1@gmail Email Address: jake bur 1@gmail Project Information Project Information Project Information Project Information Project Description: We are ultiminating the 2 nd story compromise by constructing wordulion g walls bellow. The scar of the assessor's Parcel Number(s): We are reviewed this form as completed above and the basis for this exemption or exclusion. The information herein basis for exemption or exclusion are true and correct to the best of our knowledge and we herebu create to the best of our knowledge and we herebu create to the best of our knowledge and we herebu create to the best of our knowledge and we herebu create to end	Certificate of Exemption or Exclusion from a Coasta Development Permit Permit #: PLN Permit #: BLD	455 County Center, 2nd Floor • Redwood City, CA Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 36 Permanent Record Microfilming Required
Name: Sake & Jana Bulbalupan Address: Name: Same as Own Address: 331 4/th Awe Mail Minn Zip: 940/9 Address: Phone.w:4 57/00304 H:4/15-7/00304 Phone.W: H: Email Address: jake bur 1@gmail Phone.W: H: Project Description: We are eluminating the 2nd story Control of the structural compromise, by constructing widtion g walls bellow. The recur of the sessor's Parcel Number(s)? The area of the construction grow are not enclosed above and the basis for this exemption or exclusion. The information herein, basis for exemption or exclusion are true and correct to the best of our knowledge and we herebu rates to our the best of our knowledge and we herebu rates to our knowled	1. Basic Information	
Phone.W:457/00304 H:415-7100304 Phone.W: H: Email Address: jake bur 1@ gmail Phone.W: H: Email Address: jake bur 1@ gmail Email Address: 2. Project Information Existing water source: M: We are eliminating the 2nd story Contileuer do to structural M: Contileuer do to structural m: Proposed water source: Mathematics: M: Weil Proposed water source: M: Utility connection Contileuer do to structural m: Weil Proposed water source: M: Utility connection Mathematics: Weil Stating of well location and property lines and required. Mathematics: M: M: M: Mathematics: M: M: M: Mathematics: M: M: M: M:	Name Jake & Jana Burbalya	n Name: same as owner
Email Address: Index.w. Index.w. Email Address: Index.w. Index.w. Email Address: Index.w. Email Address: 2. Project Information Existing water source: Index.w. We are eliminating the 2nd story Itility connection Index.w. Contileuer. do to structural Index.w. Itility connection Contileuer. do to structural Index.w. Itility connection Contileuer. do to structural Itility connection Index.w. Contileuer. do to structural Itility connection Index.w. Contileuer. do to structural Itility connection Index.w. Contactions walls bellow. The rear of the rear of the rear of the second to allow existing Itility connection Assessor's Parcel Number(s): Team well Stating of well location and property lines an required. A Provide site plan depicting location and all In Well In Well It Yes, additional permits may be required. A B -4/3 - 90 It Yes, additional permit, Grading Permit, Land Clearing Permit. In Well Stational permit, Grading Permit, Land Clearing Permit. In Weline permit.	Zip: 94019	Zip:
2. Project Information Project Information Project Description: We are eliminating the 2 nd story Contileuen do to structural compromise by constructing undation g walls bellow: The rear of the inductor will be extended to align existing Assessor's Parcel Number(s): "ear way indictor g walls inditor g wa		Phone,W: H:
Project Description: We are eliminating the 2nd story We are eliminating the 2nd story Utility connection Contributer, do to structural Weil Contributer, by constructing Weil Indation & walls bellow. The rear of the Weil Assessor's Parcel Number(s): Weil Y Provide site plan depicting location and property lines and required. Will this require any grading or vegetation/ removal? Yes □ No ∞ If Yes, additional permit, Grading Permit, Grading Permit, Castal Development Permit. Staking or exclusion are true and correct to the best of our knowledge and we hereby agree to emption or exclusion are true and correct to the best of our knowledge and we hereby agree to emption or exclusion are true and correct to the best of our knowledge and we hereby agree to emption or exclusion are true and correct to the best of our knowledge and we hereby agree to emption or exclusion are true and correct to the best of our knowledge and we hereby agree to emption or exclusion.	Email Address: Jakebur 10 gmail	Email Address:
Coastal Development Permit. 3. Signatures We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein basis for exemption or exclusion are true and correct to the best of our knowledge and we berefy agree to carry out the		
active of exemption of exclusion are true and confect to the pest of our knowledge and we berefy agree to carry out the	Project Description: We are eliminating the 2 nd story contilever do to structural compromise by constructing ndation & walls bellow. The rear of y where will be extended to align exist	Utility connection
in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated event the future house the well, and/or storage tank requires a variance.	Project Description: We are eliminating the 2 nd story contilever do to structural compromise by constructing ndation & walls bellow. The rear of y where will be extended to align exist	Utility connection

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(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

	नी	of Exemption or Exclusion		
Use attac applicant	:heđ re t/own	eview sheet to determine basis of exemption and er and initial appropriate category below:	dhethe	r project qualifies. Review basis of exemption with
[P B. II 30 C. E D. F D. F E. S	RC 30 mprov ngle Fi D610(t Existin R 6328 Repair RC 30 iingle I	vements to Existing Single Family Residence. 610{a}, CCR13250, ZR 6328.5{a]] vements to Existing Structure Other Than amily Residence or Public Works Facility. [PRC b], CCR13253, ZR 6328.5{b]] g Navigation Channel. [PRC 30610{c}, 3.5{c]] or Maintenance Activity. 610{d}, CCR13252, ZR 6328.5{d}] Family Residence Categorical Exclusion Area. 610{e}, CCR13240, AB 643, ZR 6328.5{e}]		 F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCR13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)] G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)] H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)] I. Emergency Activities. [PRC 30611, ZR 6328.5(h)] J. Lot Line Adjustment. [ZR 6328.5(i)] K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]
55 ₩ □ Req Inspectio	quired	Inspection - All Coastal Zon Not Required	e. A	reas
Yes □ □ □ □ □				oval of Permit is subject to the following: (check blicable) Submittal and Approval of a Tree Removal Permit Submittal and Approval of a Grading Permit Submittal and Approval of an Erosion Control Plan Submittal and Approval of a Coastal Dev. Permit
have rev	/iewec above	the above-described project and have determ	ined ti	nat it meets all criteria for the exemption/exclusion

Exemption/Exclusion is approved.

Planning Department

Date

Project is subject to the following condition(s) of approval:

7. Processing

- ____Fee collected
- ___Original Certificate of Exemption to Building Inspection file.
 - ___Copies of Certificate of Exemption to:
 - 1. Applicant/Owner.
 - 2. Planning Department Exemption Binder.

- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- __Update Permit*Plan Case Screen and Activities

San Mateo County

Application for a Zoning Nonconformity Use Permit

Planning and Building Department

455 County Center, 2nd Floor, Redwood City, CA 94063 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Applicant's Name :

Primary Permit #:

Companion Page

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Zoning Nonconformity Use Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form, and, if applicable, a copy of a building permit or Assessor's records indicating that your nonconforming structure was built legally.

2. Project Information

This application is for:

- **D** Expansion of a legal, nonconforming structure on a standard-sized parcel.
- **Expansion** of a legal, nonconforming structure on a substandard parcel.
- □ New nonconforming structure on a substandard parcel.
- □ New conforming structure on a substandard parcel per Zoning Regulations Section 6133.3(b).

Zoning:	Existing nonconformity:	
-	(Examples: 3 ft. side setback, 40% lot coverage)	
Parcel size:	Proposed nonconformity:	

3. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required finding:

1. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The County must make four additional findings for projects involving substandard parcels:

- 2. The proposed development is proportioned to the size of the parcel on which it is being built.
- **3.** All opportunities to acquire additional contiguous land have been investigated.
- 4. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.
- 5. Use permit approval does not constitute a granting of special privileges.

Write a brief statement in which you present evidence to support the required findings.

Jake & Zara Bursalyan 331 4th Ave Half Moon Bay, CA 94019

LETTER OF INFORMATION: TIME-LINE, DECLARED CALAMITY & HARDSHIP NOTIFICATION/REQUEST

TO: PLANNING & BUILDING OF SAN MATEO COUNTY

RESIDENCE of 331 4th Ave, Half Moon Bay:

Family of four, primary personal residents, residing 3 years. Parents, Zara and Jake. Children: Jacqueline and Gregory.

PROJECT SCOPE: Safety and Restoration

OCCURENCE OF CALAMITY (water damage, wind storm damage, Asbestos, and top floor structural vibration):

The way the structure currently stands, the roof has a clerestory design, at the peak of the structure, and large cantilevers on the left and right sides of the structure.

On December 22nd, 2019, during a heavy wind/rain storm, the Clerestory roof line had a major flashing and <u>seam-line roof to clerestory failure</u>. The failure opened a seam in 25 feet in length, causing massive interior water damage, from the top floor to the structural ground level. The storm water entered inbetween walls, ceilings, and floors, all through the night, till next morning, causing approximately 90% Interior damage (per insurance evaluation).

When mitigation started by a restoration company, subsequent inspection and testing revealed positive to Asbestos on all points of Drywall and Tiles of structure.

Main portion of January and February complete mitigation and removal of Drywall, floors, were cleared down to studs of structure. The structure was cleared of water damage, and Asbestos 100% down to studs. All further work was stopped within February, since COVID19 was becoming a major health concern.

SCOPE OF WORK PROPOSED (restore structure, eliminate vibration by eliminating cantilevers):

The main scope of work proposed is to <u>maintain the existing Clerestory roof and design</u>, but <u>eliminate</u> <u>second floor left and right cantilevers</u> by constructing a foundation and walls below to add necessary structural strength to the existing structure, in order to eliminate the vibration during strong coastal winds. The structure, currently as it stands, is Top Heavy (with Clerestory roof design, and left and right side large Cantilevers, the structure is not able to appropriately dissipate and distribute the coastal winds, causing vibration to the structure). It was recently brought to our attention that wind storm loss has happened before to the prior owners. The Prior owners changed the Roof 5 years ago, <u>further</u> <u>illustrating that more measures are necessary</u>, besides only addressing the Clerestory roof (new flashing, new construction windows, new siding, new roof, additional framing, etc.).

We have resided on the property as our Primary residents, and over the short three years, very quickly we became aware of the vibration concerns of the top story living area. The structure, typically in strong wind condition would vibrate, this is a major concern. Besides <u>RESTORING</u> the structure, our goal is to <u>ADD STRUCTURAL STRENGTH</u> to the structure. We hired a Structural Engineer and a Geotechnical Engineering crew to assist on restoring our house and IMPROVING the structural strength.

Summary of structural strength scope of work SAFETY AND RESTORATION:

- 1. Restore Clerestory roof (roof, flashing, windows, siding, framing)
- 2. Eliminate free standing wood burning fireplace and tall chimney (address chimney vibration, and respiratory issues per child)
- 3. Eliminate cantilevers (shear walls, frame, tie to existing, but enclosed foundation perimeter and footings eliminating vibration.
- 4. Expand rear of house foundation per structural engineered retaining wall (to align with existing rear wall of stair well)
- 5. Eliminating front of house left and right windows (enclose new framing for shear and weightbearing, per structural engineer)

By allowing all living space area to shear to a foundation (i.e. eliminating Cantilevers), we believe this will add the most cost effective and appropriate structural strength to the house, as we can provide, <u>WITHOUT symmetrically and esthetically changing the originality of the house</u>.

HARDSHIP (displaced from January 1nd, till ongoing):

At some point, in the near future, we were planning on addressing the vibration concerns of the structure, BUT since the storm related damage occurred, we were forced to vacate, and address it now.

Before the storm damage event, we were in the middle of refinancing our house, which was abruptly halted, as the home was deemed uninhabitable by the new Lender. As we further researched other options for refinancing, we were notified that this was not possible, since the non-habitability will NOT allow a <u>Traditional Loan</u> to fund.

We ended up securing a HELOC (Home Equity Line of Credit) to help the structural build out process. Also, we are relying on a portion of the funds from our Insurance Company, BUT it has been escrowed by the existing Lender, which we CAN'T access, until AFTER the structural build out is completed, AND interior restoration is started.

We are forced now to solely rely on our savings, AND our HELOC; also a new uncertainty of income interruption due to COVID-19 employment income impacts.

We are declaring to the County of San Mateo, and the Building & Planning Department a <u>FINANCIAL</u> <u>HARDSHIP EVENT due to CALAMITY LOSS</u>, and we are in need of great assistance and understanding; we are REQUESTING ANY and <u>ALL possible assistance</u>.

We brought our grievance to the San Mateo County Tax Assessors Office, they very quickly started the process of Calamity Relief Filing. The Assessors Office has an expedited evaluation for families effected by fire, earthquake, or flood that significantly damages or destroys a property. A manager assigned a Principal Assessor, which communicated with us, and approved the filing, and reappraised the property to reflect its damaged condition, until Restoration is completed, and we're able to move back in.

We're looking for, and asking for the same level of assistance from OUR San Mateo County Planning community.

PERSONAL WELLNESS AND HEALTH (of our children):

Our son, Gregory, has been living with a compromised respiratory system most of his life. Adding the setting of COVID-19, places greater extended burden and stress on both of our children. Also not being able to provide a stable housing environment, due to the pandemic, the instability of the current housing market is effected greatly. Causing the greatest emotional impact to children; especially to children of compromised health. Our children have become comfortable with the Half Moon Bay coastal climate and air quality, but now we reside in San Francisco, where Gregory's environmental allergies are also activated, causing greater usage of his multiple inhalers. Part of this might be emotional and part physiological, but it is not an improved setting they have adjusted to yet (I'm sure the pandemic is also making an impact).

SUMMARY:

I'm writing this notice and shedding light to the folks of our Planning Community to bring awareness that our journey was NOT made by CHOICE (such as a remodel), but rather by a CALAMITY event.

- > Time is of the essence, the longer we are displaced out of our house, the harder financially and emotionally our family is able to recover.
- Please assist us in expediting the PROCESS for any and all reviews and considerations, and not hold, by means of delaying my family to the mercy of the Planning timeline. Please assign a lead Senior Planning Official on assisting us in this time of great need.

Zara Bursalyan	12-	Date:	<u>7-29-2</u> 0
Jake Bursalyan		Date:	2/27/20

DESIGNER / GENERAL NOTES

ALL DIMENSIONS AND CONDITIONS AT THE SITE SHALL BE VERIFIED BY THE OWNER OR THOSE PARTIES PROVIDING SERVICES.

NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE ON THE DRAWINGS.

ALL PARTIES (CONTRACTORS, SUBCONTRACTORS AND OTHERS) SHALL ASSUME ALL RESPONSIBILITY FOR CONFORMING TO THE CODES AND REGULATIONS OF THE ENFORCING BODY.

THESE PLANS ARE INTENDED SPECIFICALLY FOR USE BY A.G. FREY ONLY. SHOULD OTHERS USE AND RELY ON THESE PLANS AND DOCUMENTS FOR THE INTENDED PURPOSE OF BIDDING AND BUILDING ANY PROJECT ON THE SITE, THEY AGREE TO HOLD ALAN G. FREY HARMLESS AND WILL ASSUME ALL RESPONSIBILITY FOR THE ACCURACY OF ALL INFORMATION CONTAINED HEREIN.

ALL PERSONS USING THESE PLANS SHALL PROMPTLY NOTIFY FREY OF ANY ERRORS, OMISSIONS AND DESIGN FLAWS APPEARING IN THE DRAWINGS OR SPECIFICATIONS. INSTRUCTIONS FOR CORRECTIONS SHALL BE ISSUED ONLY IF AN ADDENDUM TO THE ORIGINAL DESIGN CONTRACT HAS BEEN AGREED TO BY THE OWNER TO COVER ADDITIONAL TIME AND EXPENSES. MAXIMUM REWARD FOR ANY LITIGATION ARISING FROM THE USE OF THIS DOCUMENT SHALL BE THE AMOUNT PAID FOR THIS DOCUMENT.

SHOULD ANY CONTRACTOR OR OTHERS PROCEED WITHOUT THE WRITTEN INSTRUCTIONS, HE ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE ENTIRE SCOPE OF WORK.

DETAILS AND NOTES ON THESE DRAWINGS ARE TYPICAL AND SHALL APPLY UNLESS OTHERWISE NOTED. DETAILS NOT FULLY SHOWN SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITIONS.

THE SITE PLAN PROVIDED IS TAKEN FROM ASSESSORS PUBLIC RECORDS. ALL INFORMATION REGARDING THE PROPERTY BOUNDARIES WAS TAKEN FROM THE ASSESSORS PARCEL MAP. FREY DOES NOT TAKE RESPONSIBILITY FOR THE ACCURACY OF THE DATA PRESENTED AND INCORPORATED HEREIN. ACCURACY IS THE RESPONSIBILITY OF THE HOME OWNER. ALL EXISTING SOILS CONDITIONS AND TOPOGRAPHY OF THE PROPERTY IS THE SOLE RESPONSIBILITY OF THE OWNER.

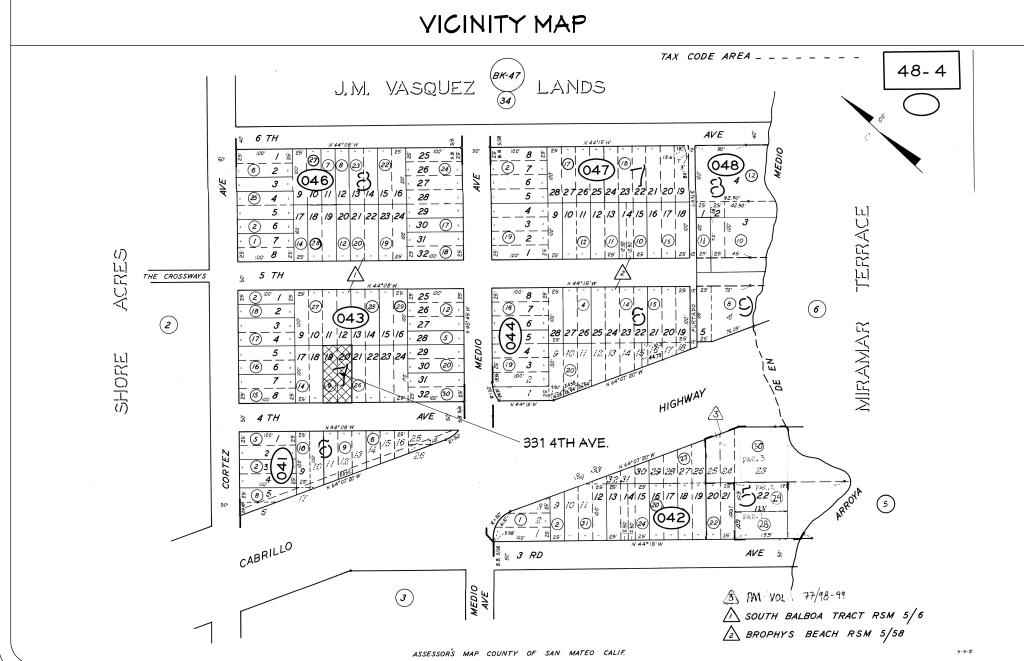
ALL UTILITY INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR OR OWNER. UTILITY LOCATIONS BELOW GRADE ARE COMPLETELY UNKNOWN AT THIS TIME.

THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL APPROVED BY THE LOCAL BUILDING DEPARTMENT. THE BUILDER IS EXPECTED TO FOLLOW THESE PLANS, APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. HE SHALL VERITY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WHILE THESE PLANS ARE DRAWN TO SHOW THE PROPOSED WORK AS ACCURATELY AS POSSIBLE, SCHEMATIC DETAILS MAY BE USED IN SOME CASES FOR CLARITY. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

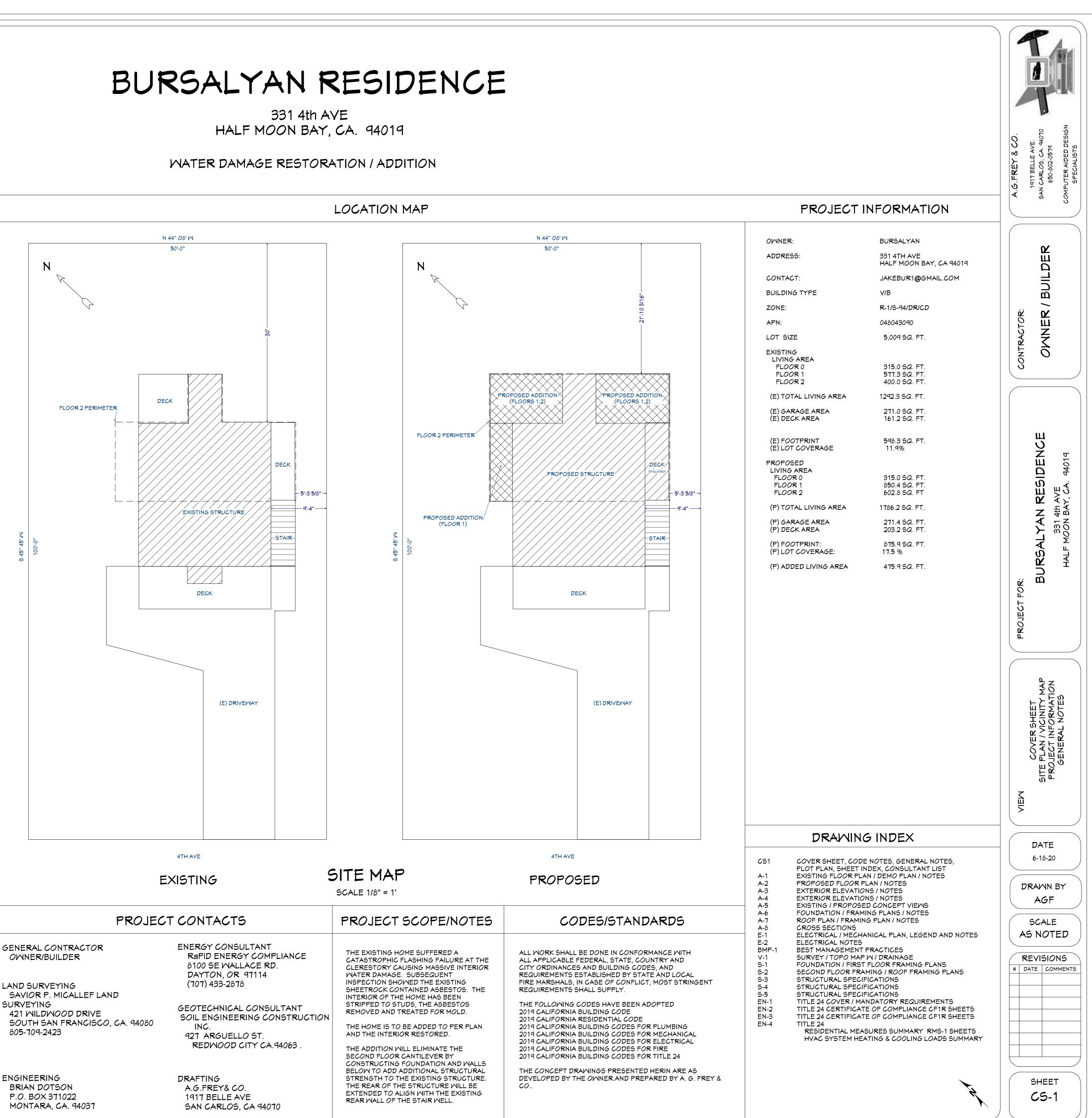
WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. IF CONFLICTING INFORMATION IS SHOWN, THE MORE STRINGENT SHALL GOVERN. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

THE ENGINEER/DESIGNER ASSUMES NO RESPONSIBILITY FOR SCHEDULING, FABRICATION, CONSTRUCTION TECHNIQUES OR MATERIALS, OR QUANTITIES USED IN THE WORK. THE ENGINEER/ DESIGNER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES. SITE VARIANCES OR DISCREPANCIES NOT BROUGHT TO HIS/HER ATTENTION FOR CLARIFICATION.

ABBREVIAT	IONS LIST	GLU-LAM	Glue-Laminated	S.C.	Solid Core
A.B. A.F.F. BDRM B.F.F. BLK'G BM. BOT. CALCS. CBC CEC CLG. CMC C.M.U. CONC.	Anchor Bolt Above Floor Finish Bedroom Below Finish Floor Blocking Beam Bottom Calculations California Building Code California Electrical Code Ceiling California Mechanical Code Concrete Masonry Unit (S) Concrete	G.S.M. GYP.BD. H.C. HORIZ. INSUL. L. LB. OR # LTWT. M.D.F. MIN. MSTR. (N) N.C.	Galvanized Sheet Metal Gypsum Board Hollow Core Horizontal Insulation or Insulated Length Pound or Number Lightweight Medium Density Fiberboard Manufacturer Minimum Master New No Change	SL. S.F. P.S.I. STD. (TG) TYP. U.N.O. VERT. V.I.F. W/ W/O W.P. W.V.F. WDW	Sliding or Slope Square Feet Pounds Per Square Inch Standard Tempered Glass Typical Unless Noted Otherwise Vertical Verify In Field With Without Water Proof Welded Wire Fabric or Mesh Window
CONT. CPC DBL. DIA. DN D.S. (E) EA. (EG) F.J. F.F. GA. C.F.I. GALV. G.F.I.	Continuous California Plumbing Code Double Diameter Down Down Spout Existing Each Egress Floor Joist Floor Finished Floor Gauge Galvanized Ground Fault Interrupter	N.I.C. N.T.S. OI O.C. PERF. PL.HT. PLYWD. PR. P.T. R. REINF. REINF. RFTR RDWD. RM.	Not In Contract Not To Scale Over On Center Perforated Plate Height Plywood Pair Pressure Treated Riser Reinforcing Rafter Redwood Room	Door & Windo ABV. CSMT. DH FX. FR. DR. RND. TOP S.H. SL. SL. GL. DR. TRAN. H.H.	Abbreviations Above Casement Window Double Hung Fixed Window French Door Round Top Single Hung Sliding Window Sliding Glass Door Transom Window Header Height



331 4th AVE



SOUTH SAN FRANCISCO, CA. 94080 805-709-2423

ENGINEERING BRIAN DOTSON P.O. BOX 371022 MONTARA, CA. 94037

PLUMBING

ALL PLUMBING SHALL MEET OR EXCEED ALL FEDERAL, STATE AND LOCAL CODES.

WASTE LINES TO MATCH EXISTING WATER SUPPLY (HOT AND COLD) TO BE COPPER

VERIFY PLUMBING FIXTURES MEET C.P.C STANDARDS BELOW:

SINGLE FLUSH TOILETS: THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (2019 C.P.C. 411.2, C.G.B.S. 4.303.1.1)

SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE MEASURED AT 80 PSI (2019 C.P.C. 408.2, C.G.B.S 4.303.1.3)

THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.9 GALLONS PER MINUTE AT 20 PSI. (2019 C.P.C. 407.2.2, C.G.B.S. 4303.1.4.1)

THE MAXIMUM FLOW RATE OF RESIDENTIAL KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM. WATER HEATERS (2019 C.P.C. 420.2.1, C.G.B.S.4.303.1.4.4)

ALL (N) SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (2019 C.P.C. 408.3)

SHOWER COMPARTMENTS (2019 C.P.C. 408.6)

ALL (N) SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY-FOUR (1024) SQUARE INCHES (0.66 M2) AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH (750 MM) CIRCLE. THE MINIMUM REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND AT A POINT TANGENT TO ITS CENTERLINE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT SEVENTY (70) INCHES (1778 MM) ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE OR VALVES, SHOWER HEAD, SOAP DISHES, SHELVES AND SAFETY GRAB BARS OR RAILS. FOLD-DOWN SEATS IN ACCESSIBLE SHOWER STALLS SHALL BE PERMITTED TO PROTRUDE INTO THE THIRTY (30) INCH (750 MM) CIRCLE.

(N) BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR. (2019 C.R.C. R307.2)

(N) DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED SAFETY GLASS, OR APPROVED PLASTIC. (2019 C.R.C R308.4.5, C.B.C. 1134A6.7)

N) SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22 INCH UNOBSTRUCTED OPENING FOR EGRESS (2019 C.P.C. 408.5)

NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. (2019 C.P.C. 807.3).

MATER HEATERS

ALL HOT WATER PIPING SHALL BE INSULATED ACCORDING TO 2019 C.En.C. 150.0(J)2. EXISTING INACCESSIBLE PIPING DOES NOT REQUIRE INSULATION.

WHERE A WATER HEATER IS LOCATED IN AN ATTIC, IN OR ON AN ATTIC CEILING ASSEMBLY, FLOOR-CEILING ASSEMBLY, OR FLOOR-SUBFLOOR ASSEMBLY WHERE DAMAGE RESULTS FROM A LEAKING WATER HEATER, A WATERTIGHT PAN OF CORROSION-RESISTANT MATERIALS SHALL BE INSTALLED BENEATH THE WATER HEATER WITH NOT LESS THAN 3/4 OF AN INCH (20 MM) DIAMETER DRAIN TO AN APPROVED LOCATION. SUCH PAN SHALL BE NOT LESS THAN V/2 INCHES (38 MM) IN DEPTH. (2019 C.P.C. 507.5)

GAS WATER HEATERS IN RESIDENTIAL GARAGES AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE AND ARE NOT PART OF THE LIVING SPACE OF A DWELLING UNIT SHALL BE INSTALLED SO THAT ALL BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. [NFPA 54:9.1.10.1]. (2019 C.P.C. 507.13)

PROVIDE A PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE AT WATER HEATERS PER (2019 C.P.C. 608.3-5)

IN SEISMIC ZONES 3 AND 4, WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MUTION. STRAFFING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD (1/3) AND LOWER ONE-THIRD (1/ 3) OF ITS VERTICAL DIMENSIONS.AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES (102 MM) SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING

(2019 C.P.C. 507.2)

BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS MUST BE ACCESSIBLE AND OF AN APPROVED TYPE (2019 C.E.C. 250.104)

FIXTURES SHALL BE SELECTED ALL BY OWNER.

2668 2064DH - 5'-0 3/16' STAIR _____ ⁸" ← 4'-3" ₩H RYER VENT WASHER DRAIN - 5'-0 3/16" + - 7'-7 5/16" ELECTRIC HEAT WATER HEATER NO GAS IN HOUSE 2 X 8 JOISTS JOIST BOTTOM TO SLAB 93 @ BACK 95 5/8 @ GARAGE 2 X 8 FLOOR JOISTS HUNG FROM BEAMS

MECHANICAL

AND ENERGY CALCULATIONS IF APPLICABLE. EXISTING HVAC CONDITIONS ELECTRIC BASE BOARD HEAT IN EACH ROOM, ELECTRIC WATER HEATER LOCATED IN

THE BASEMENT.

THE KITCHEN EXHAUST HOOD SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. [C.En.C. 150(0), EXC. 5 TO 152(A) & ASHRAE STD. 62.2]

ALL HEATING/AC UNITS SHALL MEET THE REQUIREMENTS OF STATE AND LOCAL CODES

ENVIRONMENTAL AIR DUCT (KITCHEN & BATH) EXHAUST SHALL TERMINATE NOT LESS THAN 3 FEET (914 MM) FROM A PROPERTY LINE, 10 FEET (3048 MM) FROM A FORCED AIR INLET, AND 3 FEET (914 MM) FROM OPENINGS INTO THE BUILDING. ENVIRONMENTAL EXHAUST DUCTS SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY. (2019 C.M.C.502.2.1).

DUCTS USED FOR DOMESTIC KITCHEN RANGE OR COOKTOP VENTILATION SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. (2019 C.M.C. 504.3).

EACH BATHROOM CONTAINING A BATHTUB, SHOWERS, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH CMC CHAPTER 4. AND CALGREEN DIVISION 4.5. (2019 C.R.C. R303.3.1)

THE MINIMUM LOCAL EXHAUST RATES SHALL BE 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION PER 2019 C.M.C TABLE 403.7. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. (2019 CRC R303.3 EXC.)

BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS MUST BE ACCESSIBLE AND OF AN APPROVED TYPE PER (2019 C.E.C. 250)

EGRESS

INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. (2019 C.B.C 1010.1.9) REGARDLESS OF THE OCCUPANT LOAD SERVED, THERE SHALL BE A FLOOR OR A LANDING ON EACH SIDE OF A DOOR. (2019 C.B.C. 1010.1.5)

WHERE ACCESS FOR PERSONS WITH DISABILITIES IS REQUIRED BY CHAPTER11A, THE FLOOR OR LANDING SHALL NOT BE MORE THAN L/2 INCH (12.7 MM) LOWER THAN THE THRESHOLD OF THE DOORWAY. WHERE SUCH ACCESS IS NOT REQUIRED, THE THRESHOLD SHALL NOT EXCEED 1 INCH (25 MM). LANDINGS SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO

EXCEED L/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE). PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS PER (2019 C.R.C. R310.1). IF EGRESS IS SUPPLIED BY A WINDOW, THE SILL HEIGHT SHALL BE 44" MAXIMUM. NET CLEAR OPENING AREA SHALL BE A MINIMUM OF 5.7 SQUARE FEET. 24" MINIMUM NET CLEAR OPENING HEIGHT. 20" NET CLEAR OPENING WIDTH (2019 C.R.C. R310.2.1, R310.2.2).

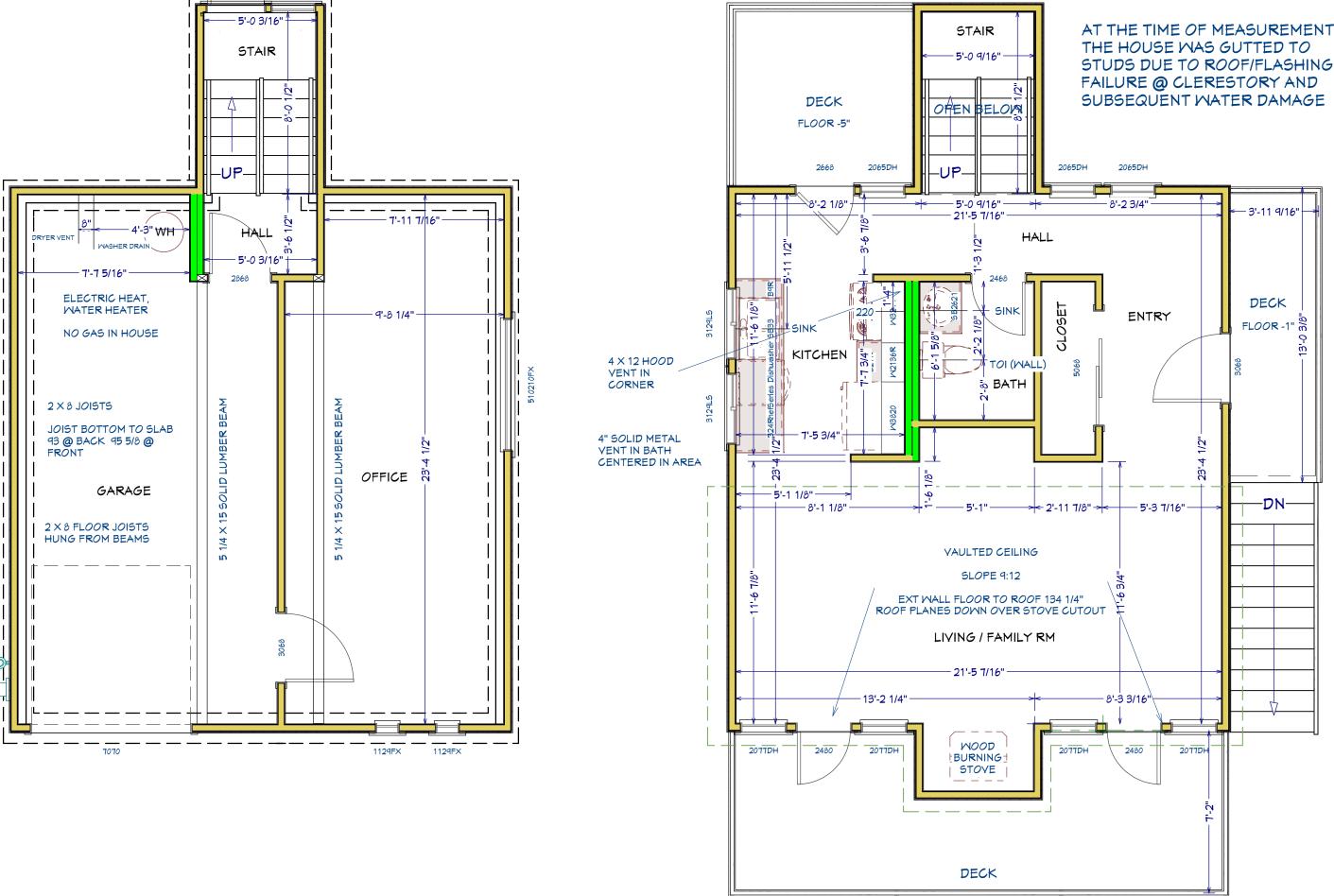
DOORS FROM INDIVIDUAL DWELLING OR SLEEPING UNITS OF GROUP R OCCUPANCIES HAVING AN OCCUPANT LOAD OF 10 OR LESS ARE PERMITTED TO BE EQUIPPED WITH A NIGHT LATCH, DEAD BOLT OR SECURITY CHAIN, PROVIDED SUCH DEVICES ARE OPENABLE FROM THE INSIDE WITHÂ OUT THE USE OF A KEY OR TOOL. (2019 C.B.C 1010.1.9.4.4).

FLOORO (BASEMENT)

EXISTING FLOOR PLAN

SCALE 1/4" = 1'

FLOOR 1





REGARDLESS OF THE OCCUPANT LOAD SERVED, EXIT DOORS SHALL BE OPERABLE FROM THE

DOORS & WINDOWS

ALL(N) DOORS AND DOOR FRAMES SHALL BE MANUFACTURED. REFER TO FLASHING DETAILS AS PROVIDED BY DOOR MANUFACTURER.

ALL (N) DOOR HEADER HEIGHTS (H.H.) TO MATCH EXISTING. FRAMER SHALL ALLOW FOR FRAME THICKNESS AND SHIM SPACE WHEN INSTALLING THE HEADER.

PROVIDE TEMPERED GLASS AT ALL NEW FRENCH DOORS OR DOORS WITH GLASS. TEMPERED GLAZING SHALL BE AFFIXED WITH A PERMANENT LABEL (2019 C.R.C. R308.1)

ALL (N) GLAZING IN DOORS AND WINDOWS SHALL BE DOUBLE GLAZED WITH FIBERGLASS FRAMES. PROVIDE SCREENS ON OPERABLE WINDOWS. VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.

ALL (N) WINDOWS AND WINDOW FRAMES ARE TO BE INSTALLED AND FLASHED PER MANUFACTURERS INSTRUCTIONS. THE NAILING FIN AT THE WINDOW HEAD IS NOT TO BE NAILED ALONG THE TOP FLANGE TO ALLOW FOR HEADER DEFLECTION.

SLEEPING ROOMS SHALL HAVE WINDOWS WHICH MEET THE EGRESS REQUIREMENTS AS FOLLOWS: THE SILL HEIGHT SHALL BE 44" MAXIMUM. NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET. 24" MINIMUM NET CLEAR OPENING HEIGHT. 20" NET CLEAR OPENING WIDTH. (2019 C.B.C. 1030 AND 2019 C.R.C. R310.)

TEMPERED GLASS (TG) SHALL BE PROVIDED PER 2019 C.R.C R308.4 AT HAZARDOUS LOCATIONS SUCH AS:

1) WINDOWS ADJACENT TO AND WITHIN 24 INCHES OF EITHER EDGE OF THE FRONT DOOR

2) IN DOORS 3) WINDOWS GREATER THAN 9SF AND CLOSER THAN 18" TO THE FLOOR

ALL NEW GLASS WINDOWS AND DOORS WILL BE PER TITLE 24 ENERGY

PRESCRIPTIVE METHOD AND HAVE A MAXIMUM U-FACTOR IS 0.32

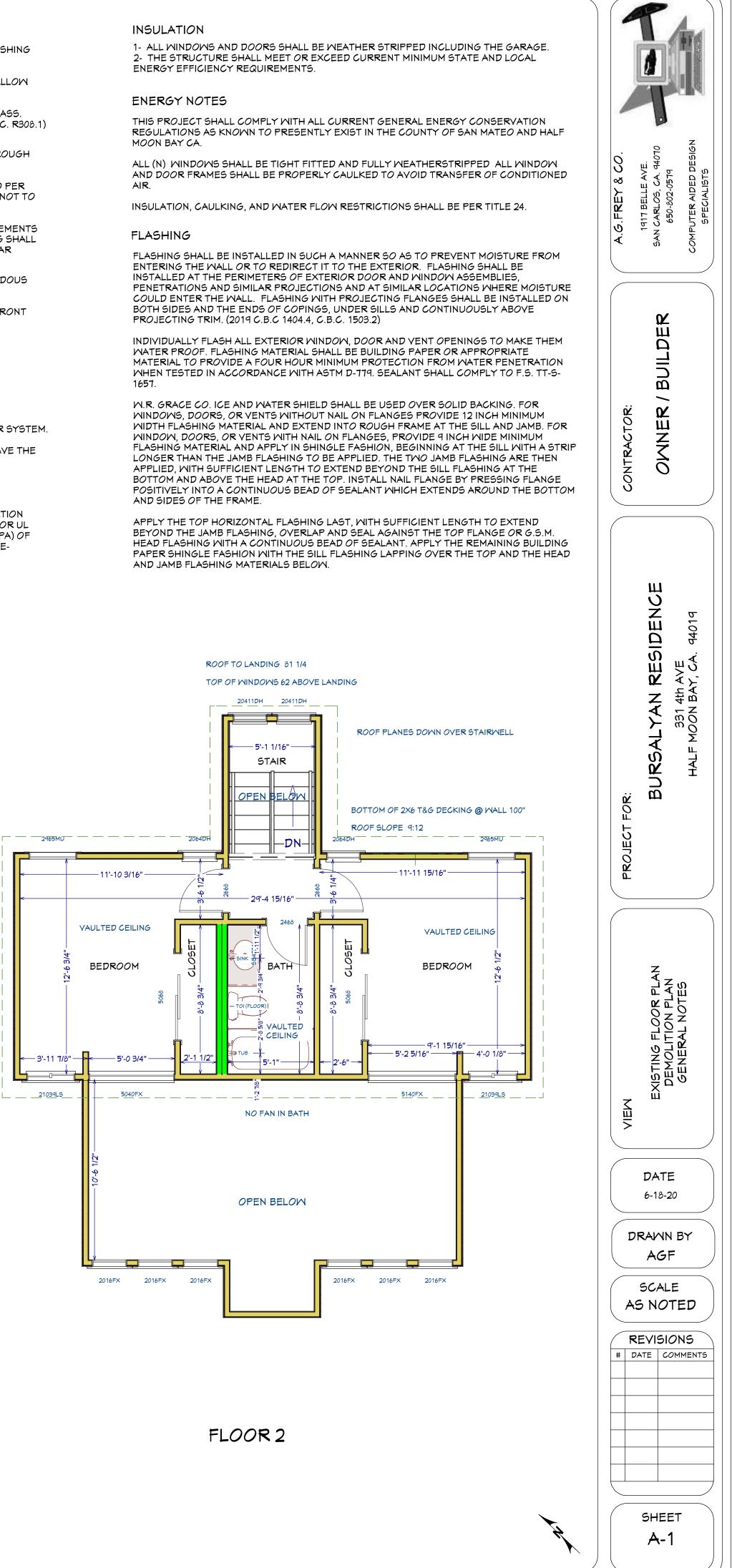
FIRE PROTECTION

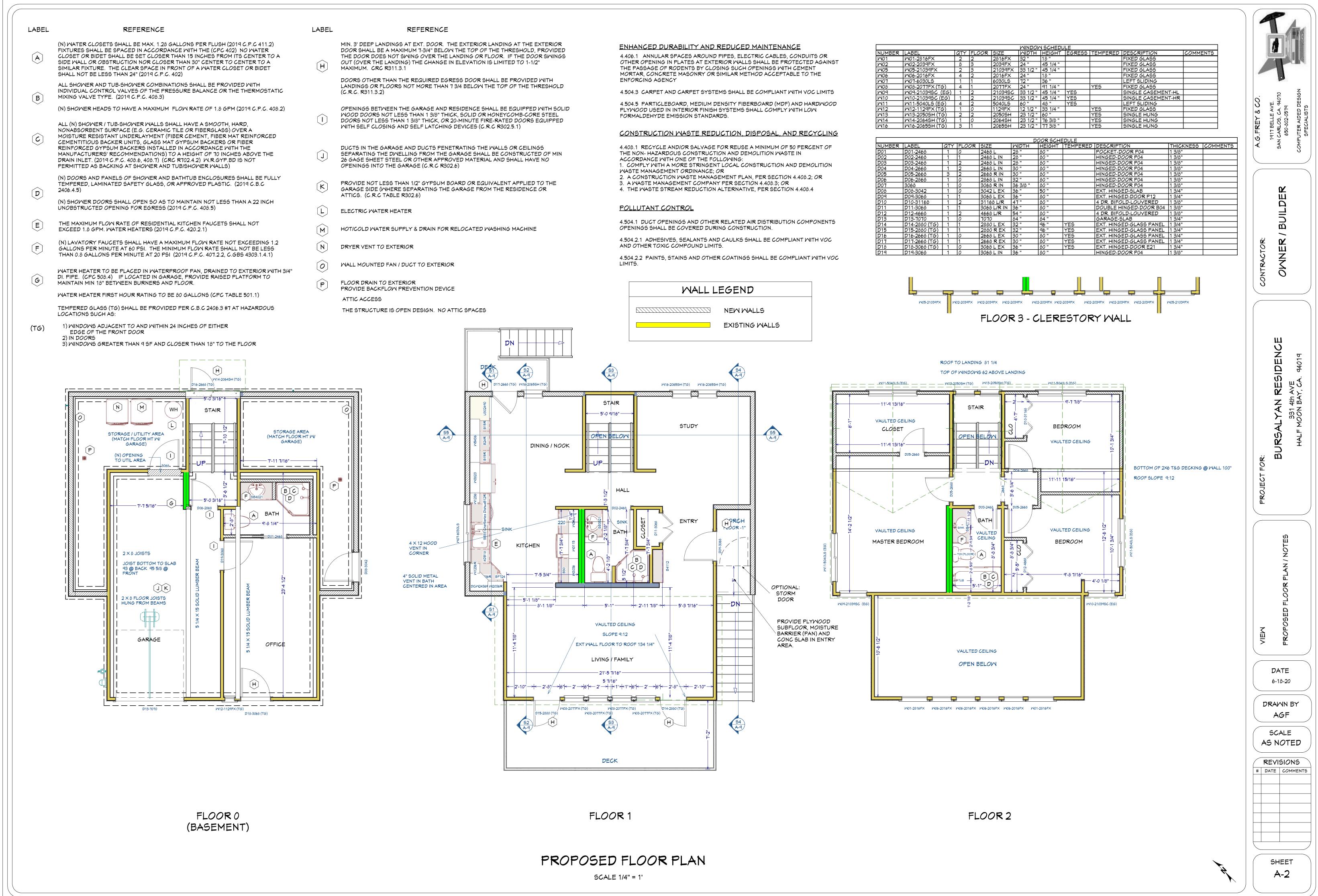
THE EXISTING STRUCTURE IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.

GENERAL FIRE-RESISTIVE WALLS AND PARTITIONS SHALL BE ASSUMED TO HAVE THE FIRE-RESISTANCE RATINGS SET FORTH IN (2019 C.B.C 707).

ALL PENETRATION IN WALLS OF ONE AND TWO HOUR WALLS FIRE- RESISTIVE CONSTRUCTION SHALL BE FIRE STOPPED PER (2019 C.B.C 714)

THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 814 OR UL 1479, WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH (2.49 PA) OF WATER AND SHALL HAVE AN F RATING OF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL PENETRATED. (2019 C.B.C. 714.4.1.2)

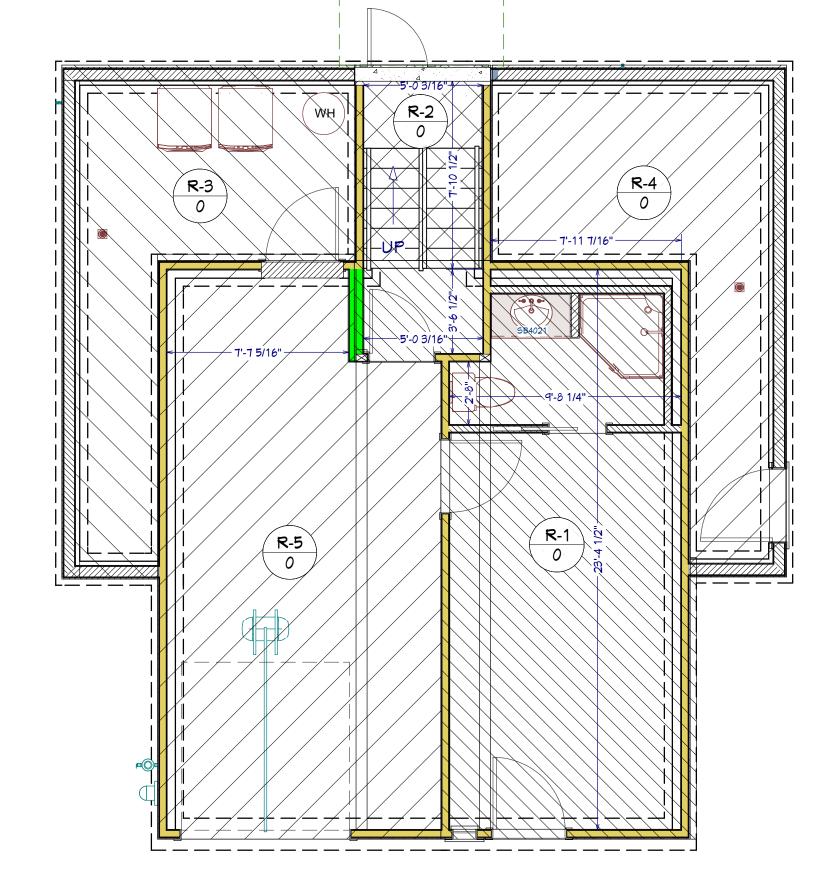




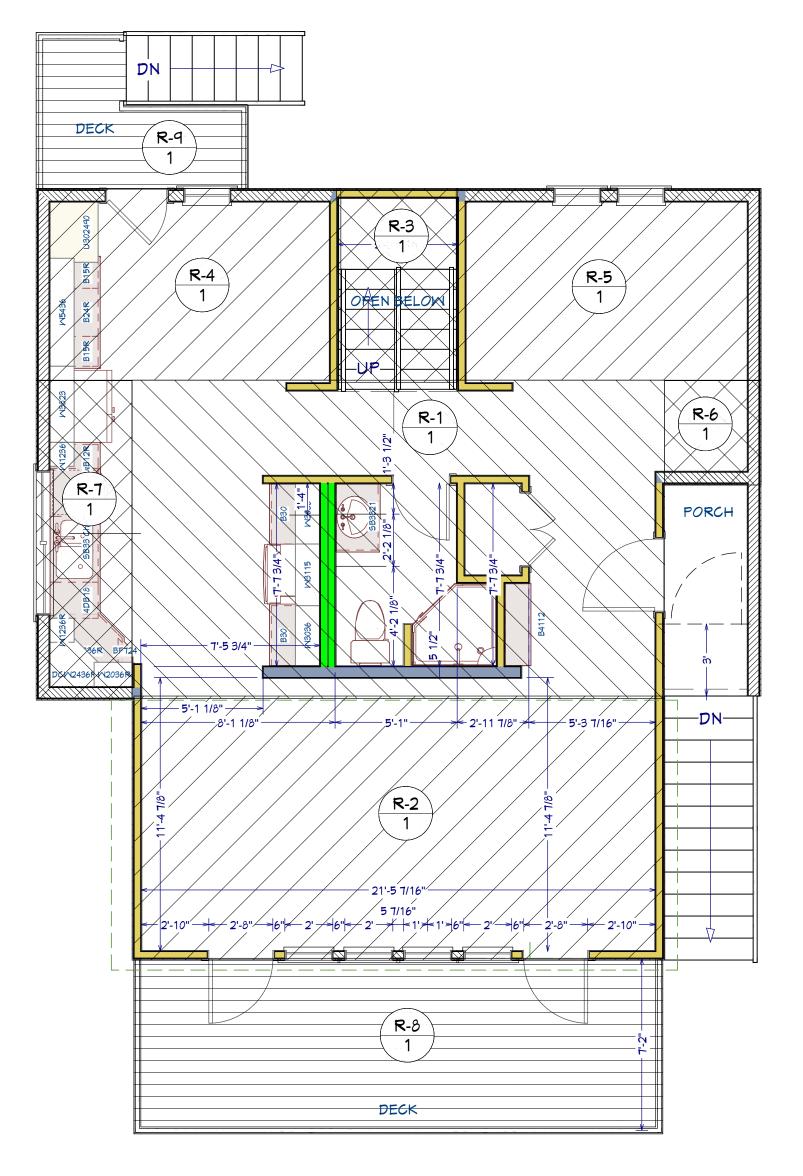
AREA JUSTIFICATION TABLE

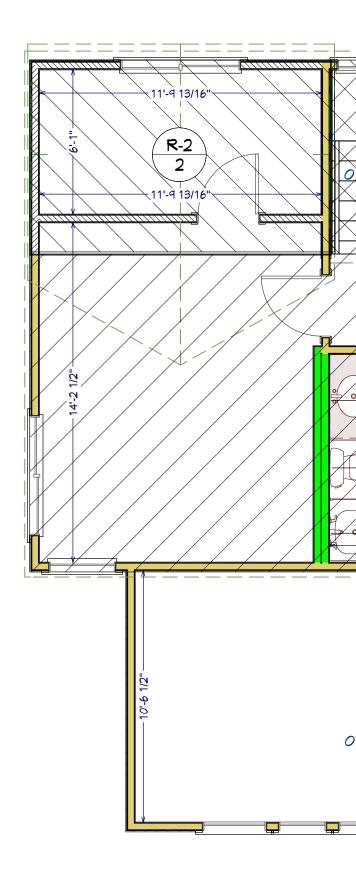
		-	
REGION	DECSRIPTION	AREA	UNITS
R-3/0 R-4/0	LIVING AREA (E) LIVING AREA (E) UTILITY AREA (UNCONDITIONED) (P) STORAGE AREA (UNCONDITIONED) (P) GARAGE AREA (E)		SQ. FT. SQ. FT.
R-3 / 1 R-4 / 1 R-5 / 1 R-6 / 1	LIVING AREA (E) LIVING AREA (E) STAIR WELL (E) LIVING AREA (P) LIVING AREA (P) LIVING AREA (P) DECK (E) DECK (P)	294.2 242.5 40.6 101.4 101.4 17.5 52.8 161.2 42.0	SQ. FT. SQ. FT. SQ. FT.
R-2/2 R-3/2	LIVING AREA (P) LIVING AREA (P)	400.0 101.4 101.4 <40.6>	SQ. FT. SQ. FT.
TOTALS	LIVING AREA (E) FLOOR 0 LIVING AREA (E) FLOOR 1 LIVING AREA (E) FLOOR 2 GARAGE AREA (E) DECK (E)	315.0 577.3 400.0 271.4 161.2	SQ. FT. SQ. FT. SQ. FT. SQ. FT. SQ. FT.
	TOTAL (E) LIVING AREA	1292.3	SQ. FT.
	LIVING AREA (P) FLOOR 0 LIVING AREA (P) FLOOR 1 LIVING AREA (P) FLOOR 2 GARAGE AREA (P) DECK AREA (P)	315.0 850.4 602.8 271.4	SQ. FT.
	TOTAL (P) LIVING AREA TOTAL (P) GARAGE AREA TOTAL (P) DECK AREA	1768.2 271.4 203.2	SQ. FT. SQ. FT. SQ. FT.
	TOTAL ADDED LIVING AREA	475.9	
	LOT AREA	5009.0	SQ. FT.
	BUILDING FOOTPRINT (E) LOT COVERAGE (E)	598.3 11.9%	SQ. FT.
	BUILDING FOOTPRINT (P) LOT COVERAGE (P)	875.9 17.5%	SQ. FT.

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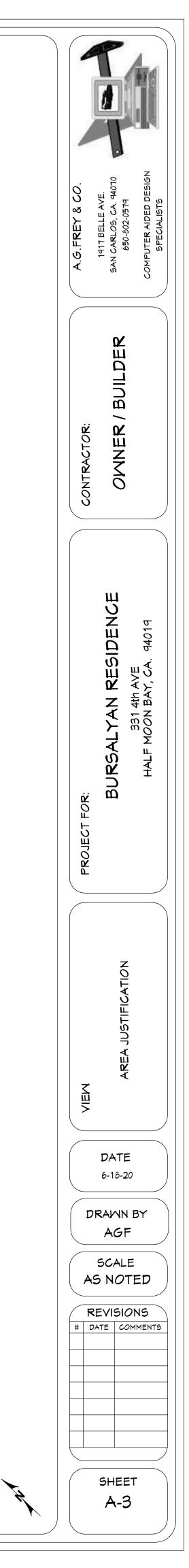
FLOOR 0 (BASEMENT)

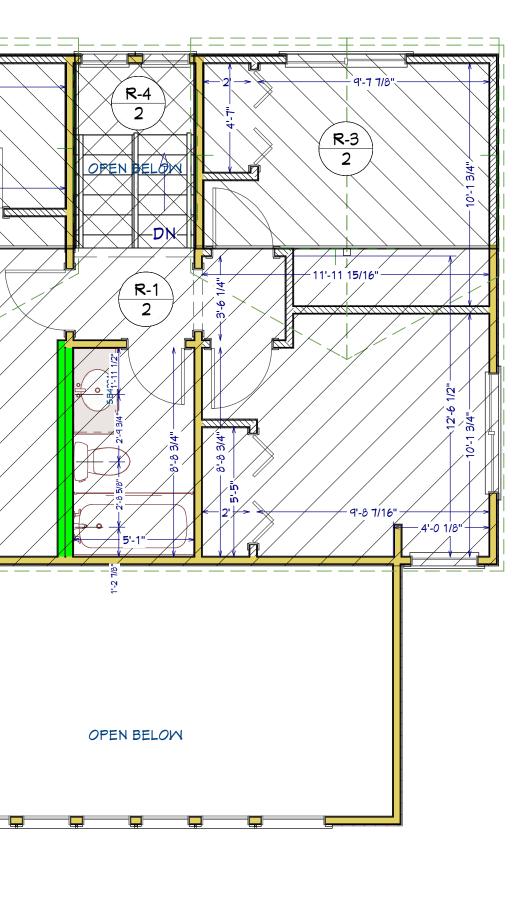




FLOOR 1

AREA JUSTIFICATION SCALE 1/4" = 1'





FLOOR 2

(AD)BUILDING NUMBERS / ADDRESSES

ADDRESS IDENTIFICATION:

BUILDINGS SHALL HE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT HE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM).

WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. (2016 C.R.C R319.1)

MOISTURE RESISTANCE

EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE . THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING, AS DESCRIBED IN SECTION 1405.4. THE EXTERIOR WALL ENVELOPE SHALL BE DESIGNED AND CONSTRUCTED IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR VENEER, AS DESCRIBED IN SECTION R703.21, AND A MEANS FOR DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED IN ACCORDANCE WITH THE C.E.C

APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1) EXTERIOR WINDOW AND DOOR OPENINGS. 2) WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO

A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.

1/2" WATER- RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED ON CEILINGS WHERE FRAME SPACING IS MORE THAN 12 INCHES ON CENTER. (2016 C.R.C. TABLE R702.3.5).

5/8" WATER- RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED ON CEILINGS WHERE FRAME SPACING IS MORE THAN 16 INCHES ON CENTER. (2016 C.R.C. TABLE R702.3.5).

PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED IN ACCORDANCE WITH (2016 C.En.C 150 OF TITLE 24 PART 6).

EXTERIOR FINISHES

ALL (N) EXTERIOR SURFACES INCLUDING SIDING, ROOFING, GUTTERS, AND EXTERIOR TRIM SHALL MATCH MATERIALS ON THE EXISTING STRUCTURE AS CLOSELY AS POSSIBLE. VARIATIONS DUE TO WEATHERING AND DYE LOT DIFFERENCES ARE TO BE EXPECTED.

EXTERIOR PLASTER (STUCCO) SHALL BE 3 COAT (MIN 1/8" THICKNESS) OVER TWO LAYERS OF GRADE D PAPER OR EQ. AND 2" GAL. WIRE MESH. PROVIDE WEEP SCREED AT BOTTOM OF STUCCO.

EXTERIOR SIDING TO BE INSTALLED OVER ONE LAYER #15" ASPHALT FELT, FREE FROM HOLED AND BREAKS, COMPLYING WITH ASTM D226 FOR TYPE 1 FELT OR OTHER APPROVED WATER RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS. (R703.2)

ALL EXTERIOR WOOD TRIM IS TO BE PAINTED OR STAINED. THE OWNER SHALL BE RESPONSIBLE FOR SELECTING COLORS OF THE EXTERIOR SURFACES.

EXISTING EXTERIOR MATERIALS

WALL COVERINGS VINYL SIDING, WOOD PAINTED ROOF COVERING COMPOSITION SHINGLE

ROOF SLOPES 9:12

WOOD / VINYL WINDOWS/ DOORS

MATCH ALL EXISTING EXTERIOR MATERIALS/COLORS AS POSSIBLE

ROOFING:

ROOF PITCH FOR NEW SECTIONS: 4:12

ROOFING MATERIAL COMPOSITION SHINGLE OVER #30 ROOFING FELT

CLASS A

TIE (N) ROOF DRAINAGE TO (E) ROOF DRAINAGE SYSTEM

ROOF DRAINAGE WATER FROM THE BUILDING IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY. ROOF DRAINAGE SHALL CONVEY TO THE FRONTING STREET THROUGH A CURB DRAIN.

AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION MAY BE REQUIRED FOR WORK DONE IN THE PUBLIC RIGHT OF WAY.

STAIRS / RAILINGS / GUARDS

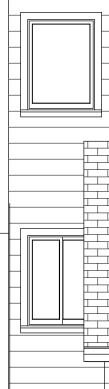
GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING MEZZANINES, EQUIPMENT PLATFORMS, STAIRS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES (762 MM) MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES (914 MM) HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT IN ACCORDANCE WITH SECTION 1607.7. (2016 C.R.C. R312.1.1)

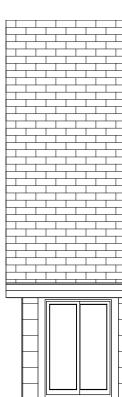
REQUIRED GUARDS SHALL BE NOT LESS THAN 42 INCHES (1067 MM) HIGH, MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACES, ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS.. (2016 C.R.C R312.1.2)

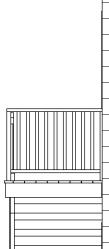
REQUIRED GUARDS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT. (2016 C.R.C R312.1.3)

THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT). DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7 3/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD.(2016 C.R.C. R311.3-311.3.2,

LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STAIRWAY OR DOOR, WHICHEVER IS GREATER. DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES. WHEN A LANDING SERVES AN OCCUPANT LOAD OF 50 OR MORE, DOORS IN ANY POSITION SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF IT'S REQUIRED WIDTH. LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44" (1118 MM).(2016 C.R.C R311.3)







EXTERIOR ELEVATIONS

SCALE 1/4" = 1'





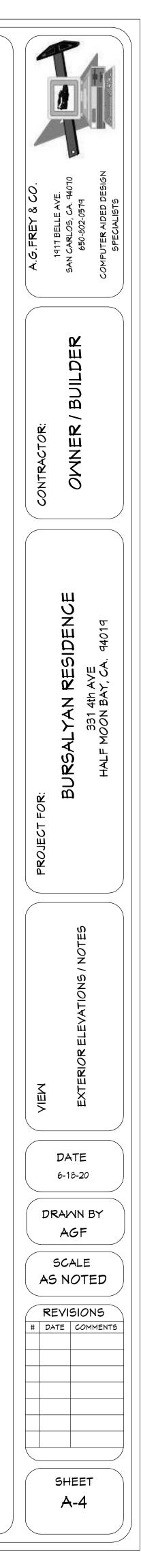








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M16-206	555H (TG
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MATERIAL NOTES:

CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.

80 % OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SPECIFIED VOC CRITERIA.

PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.

PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS

AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS

INTERIOR FINISHES

ALL WALLS SHALL BE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE ON PLANS.

ALL (N) CEILINGS SHALL BE 5/8" GYPSUM BOARD UNLESS NOTED OTHERWISE ON PLANS. IF EXISTING AREAS ARE TO BE ADDED TO, CEILINGS SHALL MATCH EXISTING.

WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION HAS BEEN INSTALLED.

ALL FASTENERS (NAILS AND SCREWS) SHALL MEET OR EXCEED THE REQUIREMENTS OF FEDERAL, STATE, AND LOCAL CODES.

FINISHES AND COLORS SHALL BE SELECTED BY OWNER.

CONSULT WITH OWNER FOR FLOOR MATERIAL AND EXTENT IF NOT INDICATED ON THE PLANS. ALLOW FOR THICKNESS OF MATERIAL AT DOOR HEADERS. PROVIDE UNDERLAYMENT AS REQUIRED AS REQUIRED UNDER HARDWOOD FLOORS TO MATCH THICKNESS OF THICKEST MARBLE, SLATE, OR TILE FLOOR MATERIAL.

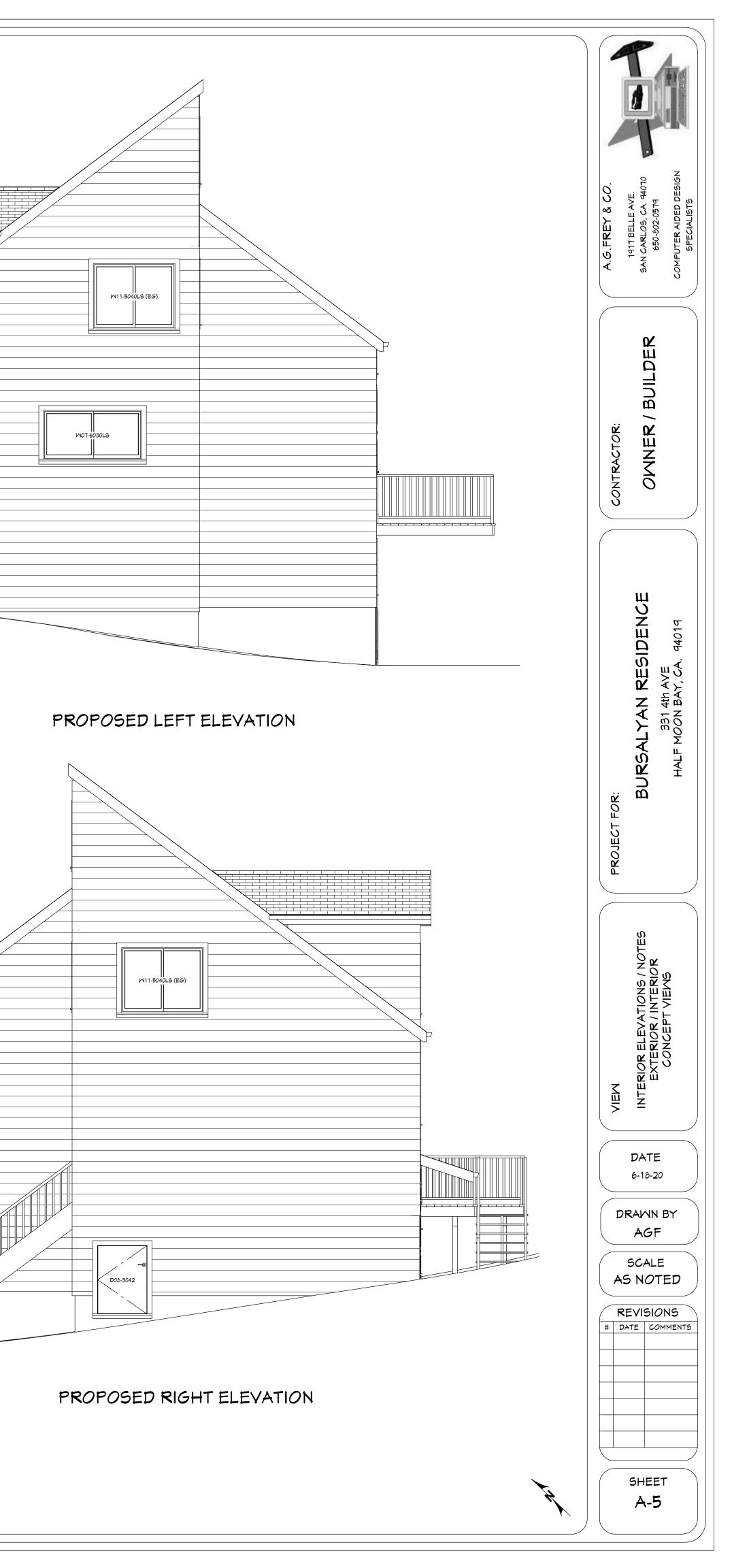




EXISTING RIGHT ELEVATION

EXTERIOR ELEVATIONS

SCALE 1/4" = 1'

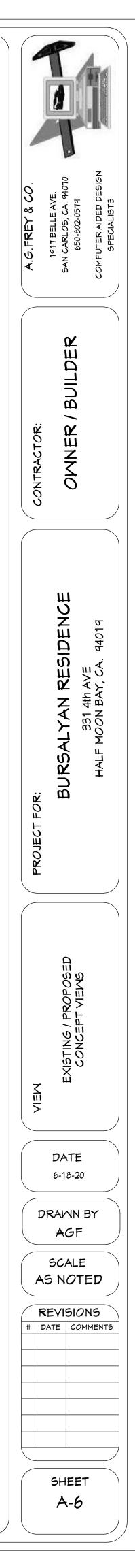




CONCEPT VIEWS







SEE ENGINEERING SHEETS FOR FOUNDATION MALL / FOOTER PLAN, CONNECTIONS AND DETAILS

FOUNDATION PLAN GENERAL NOTES CONCRETE

ALL FOUNDATIONS SHALL BE POURED AND VIBRATED CONCRETE UNLESS OTHERWISE NOTED.

ALL FOUNDATION PLATES OR SILL ARE SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH IS IN DIRECT CONTACT WITH EARTH, AND SILLS WHICH REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE TREATED WOOD OR FOUNDATION REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY PER 2019 C.R.C R317

PROVIDE 26 GAUGE GALVANIZED METAL FLASHING BETWEEN WOOD FRAMING AND CONCRETE AND/OR GRADE. REINFORCING USED SHALL CONFORM TO ASTAM A-615, GRADE 40 FOR # 4 BARS AND SMALLER AND GRADE 60

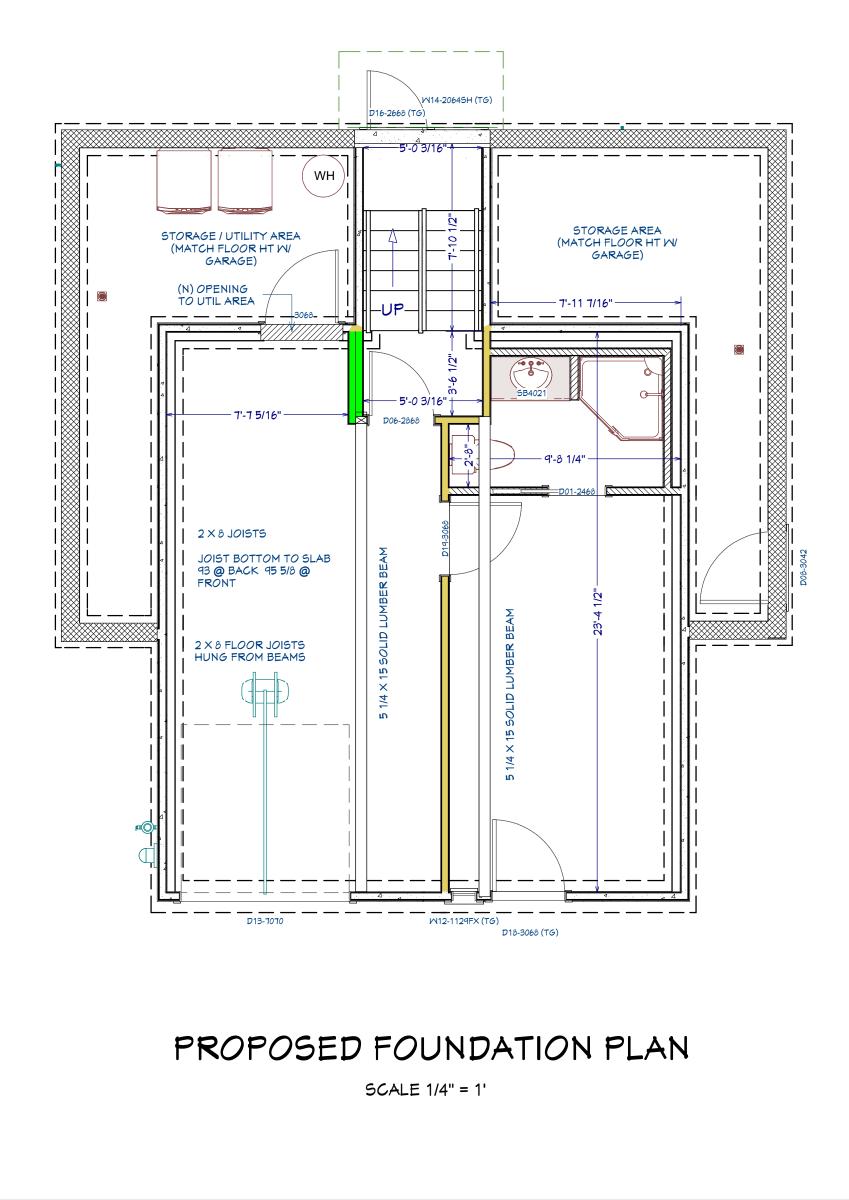
FOR # 5 BARS AND LARGER. REINFORCEMENT, PIPE SLEEVE, ANCHOR BOLTS, HOLD DOWN ANCHOR BOLTS, PIER REINFORCING, AND OTHER INSERTS SHALL BE POSITIVELY SECURED IN PROPER LOCATION BEFORE CONCRETE IS POURED. REINFORCING SHALL BE CLEAN AND FREE FROM LOOSE RUST, SCALE AND DIRT AND ANY COATINGS THAT REDUCE BOND.

PROVIDE A GROUNDING SYSTEM AS PER NEC ARTICLE 250-81 (C), MINIMUM OF 20'-0" OF NUMBER 4 AWG BARE COPPER WIRE IN THE FOOTING OR GRADE BEAM TWO INCHES FROM THE BOTTOM. ALSO PROVIDE ELECTRIC GROUNDING, ("BOND") OF METAL PIPING TO SERVICE EQUIPMENT, COLD WATER AND GAS PIPE.

FOUNDATION WALL LEGEND

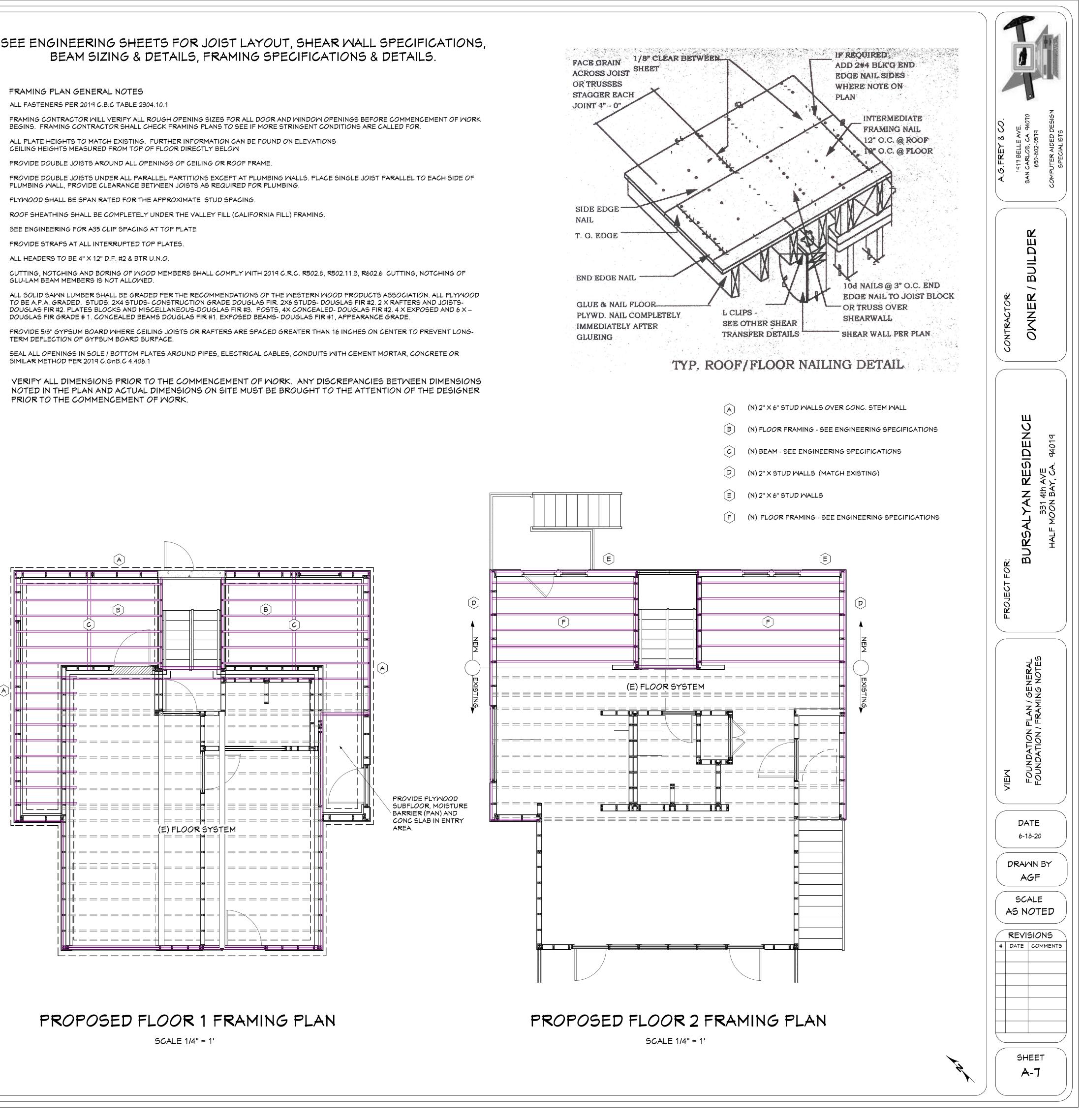
NEW WALLS

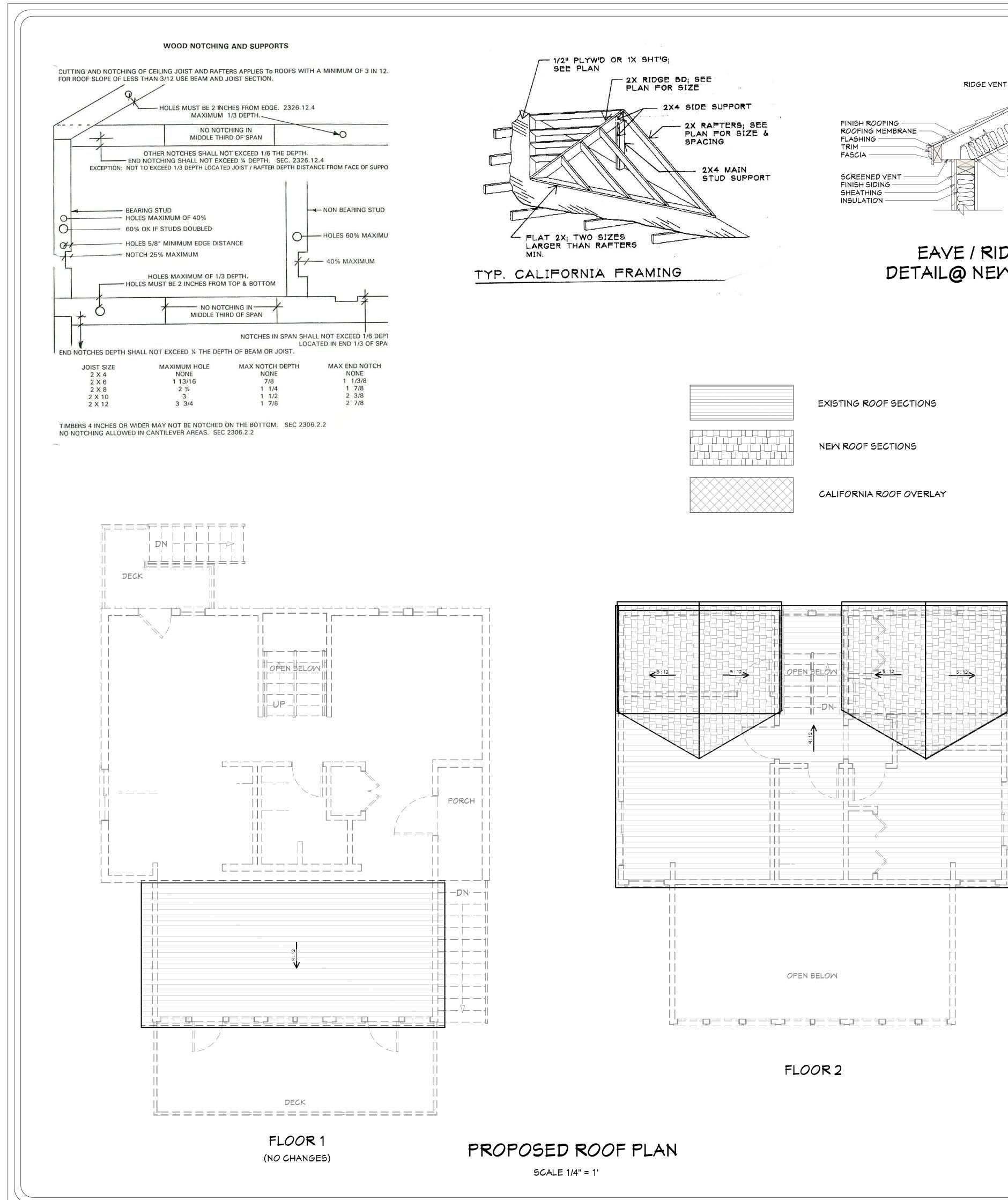
EXISTING WALLS

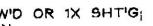


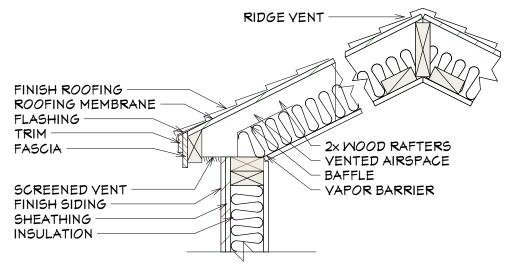
SEE ENGINEERING SHEETS FOR JOIST LAYOUT, SHEAR MALL SPECIFICATIONS, BEAM SIZING & DETAILS, FRAMING SPECIFICATIONS & DETAILS.	
DEAM SIZING & DETAILS, TRAMING STEOM IOATIONS & DETAILS.	FACE
	ACRO
FRAMING PLAN GENERAL NOTES	ORTE
	STAG
ALL FASTENERS PER 2019 C.B.C TABLE 2304.10.1	JOINT
FRAMING CONTRACTOR WILL VERIFY ALL ROUGH OPENING SIZES FOR ALL DOOR AND WINDOW OPENINGS BEFORE COMMENCEMENT OF WORK BEGINS. FRAMING CONTRACTOR SHALL CHECK FRAMING PLANS TO SEE IF MORE STRINGENT CONDITIONS ARE CALLED FOR.	
ALL PLATE HEIGHTS TO MATCH EXISTING. FURTHER INFORMATION CAN BE FOUND ON ELEVATIONS CEILING HEIGHTS MEASURED FROM TOP OF FLOOR DIRECTLY BELOW	
PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS OF CEILING OR ROOF FRAME.	
PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS EXCEPT AT PLUMBING WALLS. PLACE SINGLE JOIST PARALLEL TO EACH SIDE OF PLUMBING WALL, PROVIDE CLEARANCE BETWEEN JOISTS AS REQUIRED FOR PLUMBING.	
PLYWOOD SHALL BE SPAN RATED FOR THE APPROXIMATE STUD SPACING.	
ROOF SHEATHING SHALL BE COMPLETELY UNDER THE VALLEY FILL (CALIFORNIA FILL) FRAMING.	SIDE
	NAIL
SEE ENGINEERING FOR A35 CLIP SPACING AT TOP PLATE	T. G.
PROVIDE STRAPS AT ALL INTERRUPTED TOP PLATES.	
ALL HEADERS TO BE 4" X 12" D.F. #2 & BTR U.N.O.	
CUTTING, NOTCHING AND BORING OF WOOD MEMBERS SHALL COMPLY WITH 2019 C.R.C. R502.8, R502.11.3, R602.6 CUTTING, NOTCHING OF GLU-LAM BEAM MEMBERS IS NOT ALLOWED.	END
ALL SOLID SAWN LUMBER SHALL BE GRADED PER THE RECOMMENDATIONS OF THE WESTERN WOOD PRODUCTS ASSOCIATION. ALL PLYWOOD	*
TO BE A.P.A. GRADED. STUDS: 2X4 STUDS- CONSTRUCTION GRADE DOUGLAS FIR. 2X6 STUDS- DOUGLAS FIR #2. 2 X RAFTERS AND JOISTS- DOUGLAS FIR #2. PLATES BLOCKS AND MISCELLANEOUS-DOUGLAS FIR #3. POSTS, 4X CONCEALED- DOUGLAS FIR #2. 4 X EXPOSED AND 6 X –	GLUI
DOUGLAS FIR #2. 1 EATES DECONS AND MISCELEANEOUS-DOUGLAS FIR #3. 1 0515, 4X CONCEALED-DOUGLAS FIR #2. 4 X EXI 05ED AND 0 X = DOUGLAS FIR GRADE # 1. CONCEALED BEAMS DOUGLAS FIR #1. EXPOSED BEAMS- DOUGLAS FIR #1, APPEARANCE GRADE.	PLYV
PROVIDE 5/8" GYPSUM BOARD WHERE CEILING JOISTS OR RAFTERS ARE SPACED GREATER THAN 16 INCHES ON CENTER TO PREVENT LONG-	IMM
TERM DEELECTION OF CYRCUM BOARD GUREACE	GLU

VERIFY ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN DIMENSIONS NOTED IN THE PLAN AND ACTUAL DIMENSIONS ON SITE MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER

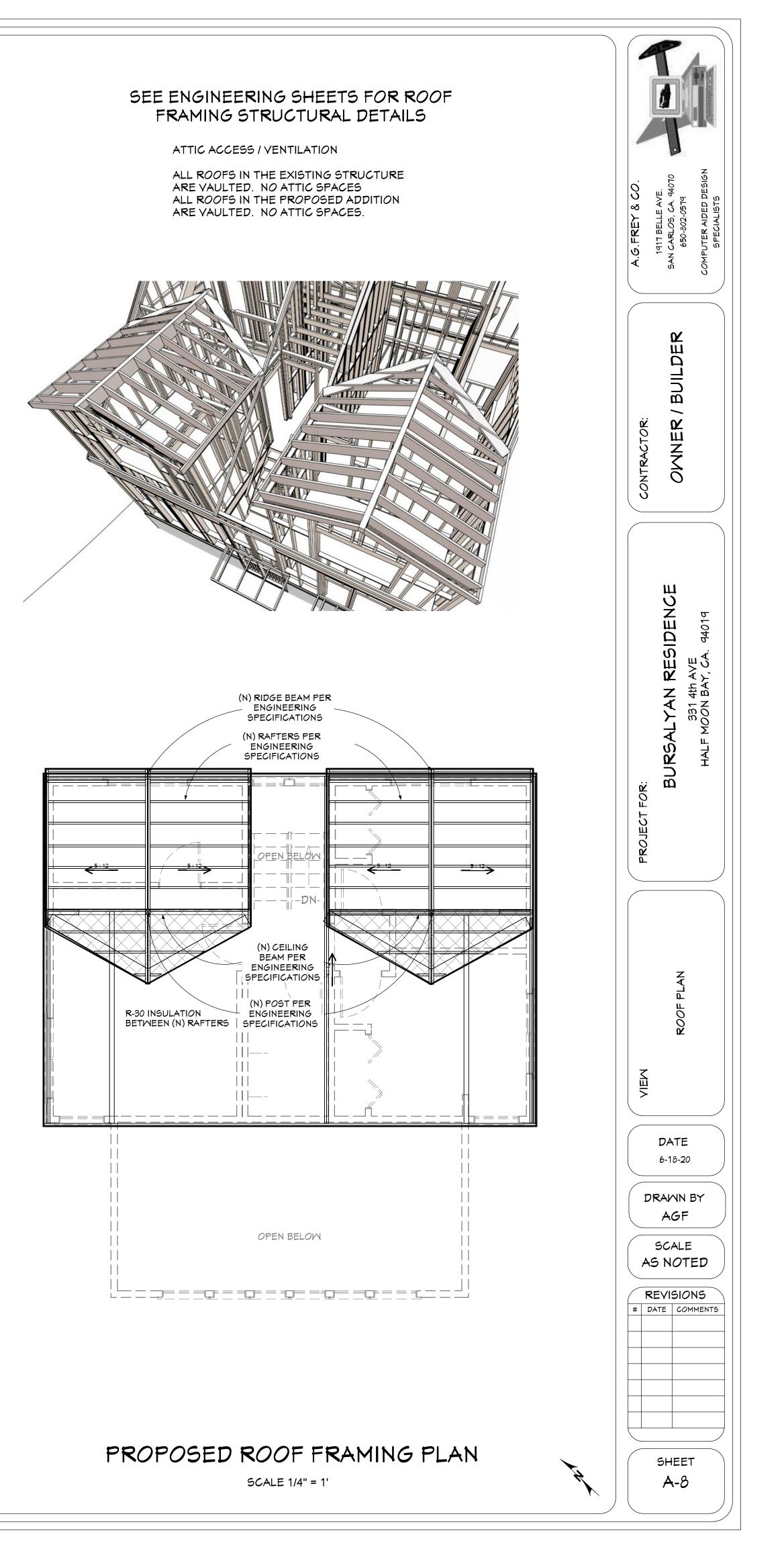


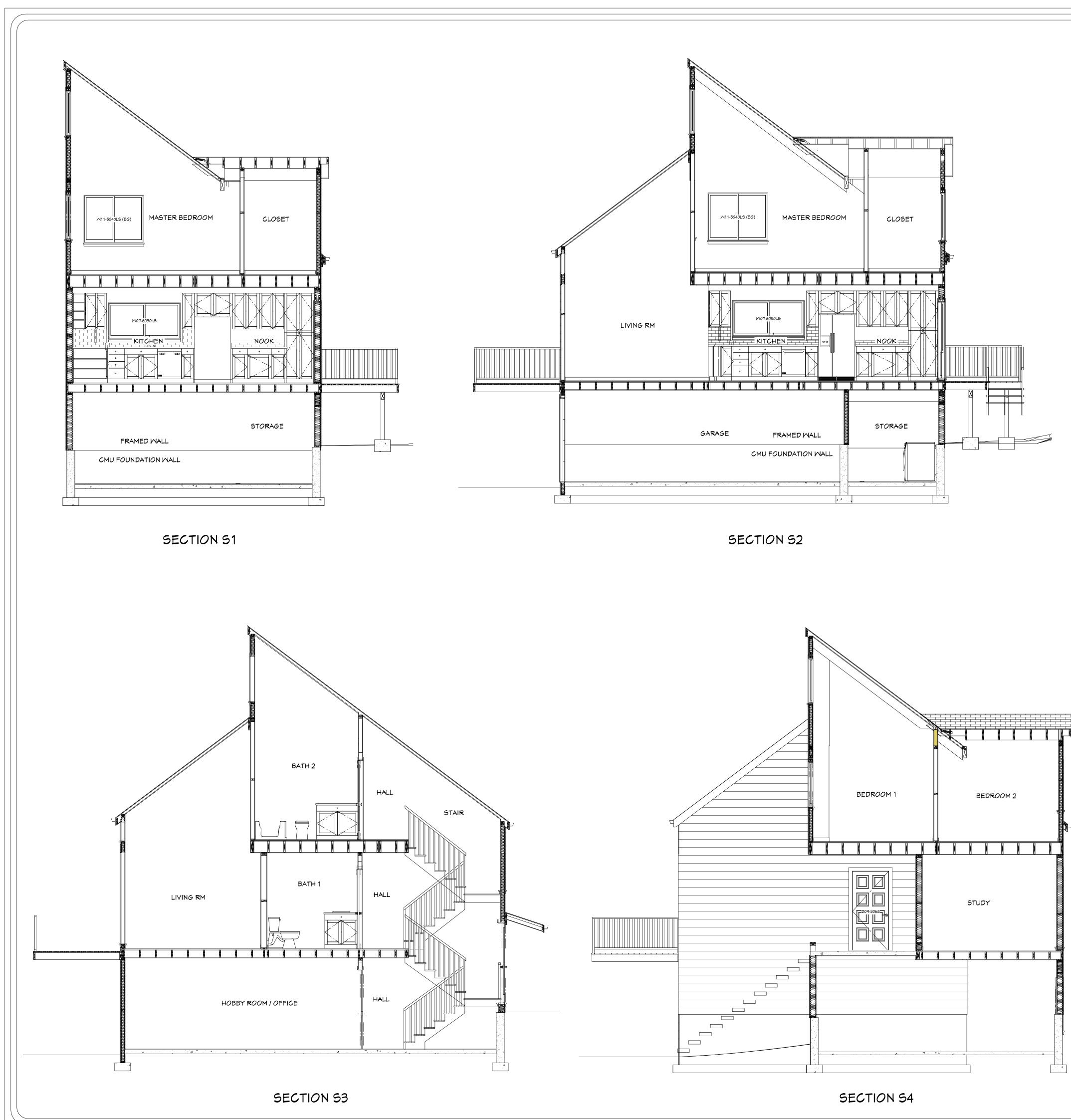


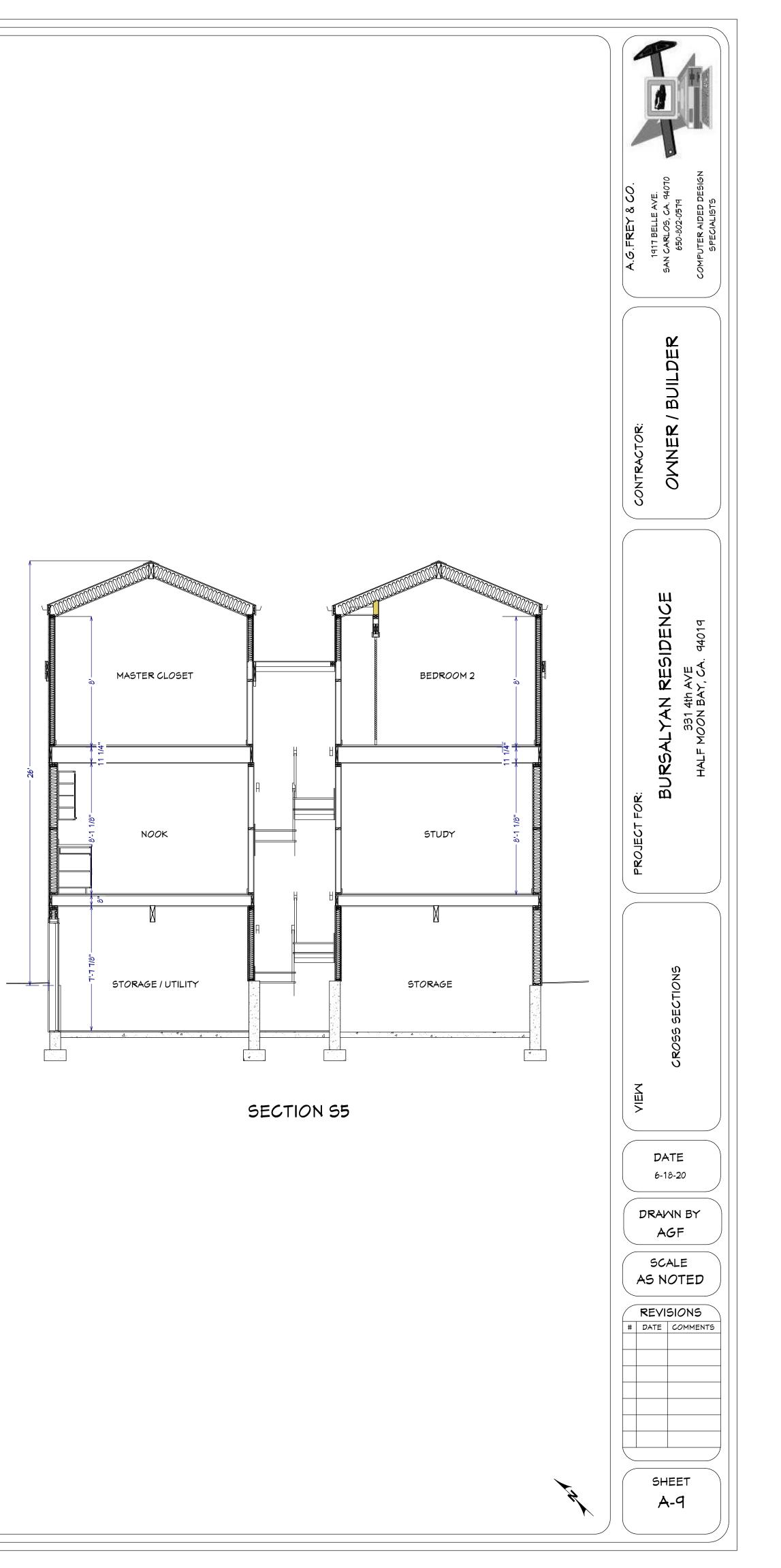




EAVE / RIDGE VENT DETAIL@ NEW ROOF (TYP)







ELECTRICAL NOTES: WIRING METHODS AND MATERIALS SHALL BE INSTALLED PER CHAPTER 3 ARTICLE 300 OF THE 2019 CEC BRANCH CIRCUITS FOR LIGHTING AND FOR APPLIANCES, INCLUDING MOTOR-OPERATED APPLIANCES, SHALL BE PROVIDED TO SUPPLY THE LOADS COMPUTED IN ACCORDANCE WITH 2019 C.E.C 220.3. IN ADDITION, BRANCH CIRCUITS ALL BE PROVIDED FOR SPECIFIC LOADS NOT COVERED BY 220.3 WHERE REQUIRED ELSEWHERE IN THE CODE AND FOR DWELLING LOADS AS SPECIFIED IN 2019 C.E.C 210.52 THE MINIMUM NUMBER OF BRANCH CIRCUITS SHALL BE DETERMINED FROM THE TOTAL COMPUTED LOAD AND THE SIZE OF THE CIRCUITS USED. IN ALL INSTALLATIONS, THE NUMBER OF CIRCUITS SHALL BE SUFFICIENT TO SUPPLY THE LOAD SERVED. IN NO CASE SHALL THE LOAD ON ANY CIRCUIT EXCEED THE MAXIMUM SPECIFIED BY 210.52 C.E.C 210.52 DWELLING UNITS RECEPTACLE OUTLETS (2019 C.E.C 210.52) (1) SMALL-APPLIANCE BRANCH CIRCUITS. IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION, TWO OR MORE 20 AMP SMALL-APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS SPECIFIED BY 210.52(B) (2019 C.E.C 210.11 (C)1) (1A) AT LEAST TWO SEPARATE 20-AMP CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES. THESE CIRCUITS ARE LIMITED TO SUPPLY WALL AND COUNTER SPACE OUTLETS. NO BUILT IN APPLIANCES ARE ALLOWED ON THESE CIRCUITS EXCEPT AN ELECTRIC CLOCK OR THE IGNITION OF A GAS RANGE. (2019 C.E.C. 210.52(B), C.E.C. 210.11A) (2) LAUNDRY BRANCH CIRCUITS. IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION, AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET(S) AS SPECIFIED BY C.E.C. 210.52(F). THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS. (2019 C.E.C. 210.11 (C) 3) (3) BATHROOM BRANCH CIRCUITS IN DWELLING UNITS, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 900MM (3 FT) OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR BASIN COUNTERTOP, OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 300 MM (12 IN.) BELOW THE COUNTERTOP (2019 C.E.C 210.52 (D)) IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION, AT LEAST ONE 120-VOLT, 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE BATHROOM(S) RECEPTACLE OUTLET(S). SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (2019 C.E.C. 210.11 (C) 3) ALL 125 VOLT SINGLE-PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL. (2019 CEC 210.8 (A) (1)) ALL (N) 120 VOLT SINGLE PHASE 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, (AFCI) COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (2019 CEC 210.12A) TAMPER RESISTANT RECEPTACLES: ALL 15 AND 20 AMPERE 125 AND 250 VOLT NON-LOCKING-TYPE RECEPTACLES IN ALL AREAS OF DWELLING UNITS SPECIFIED IN 210.52 AND 550.13 SHALL BE TAMPER-RESISTANT RECEPTACLES. (2019 CEC 406.12A)

DWELLING UNIT RECEPTACLE OUTLETS: OUTLET SPACING SHALL BE INSTALLED ACCORDING TO 2019 C.E.C 210.52 A, CEC 210.52 C.

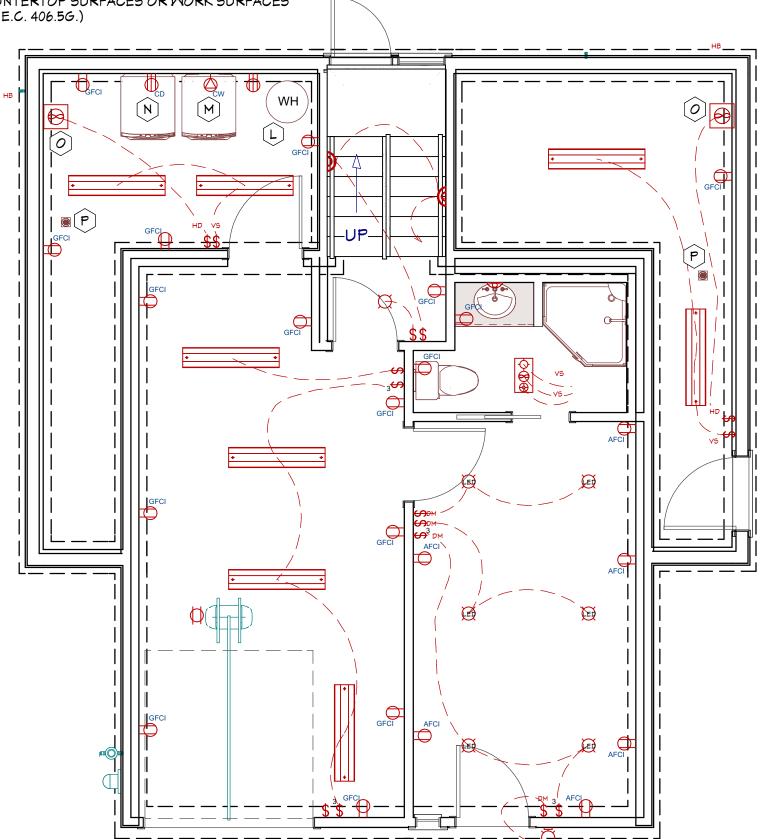
- A) SPACED ALONG WALL12'-0" O.C. MAXIMUM AND WITHIN 6 FEET OF THE END OF WALLS. B) ANY WALL SPACE 2 OR MORE FEET WIDE
- C) AT EACH KITCHEN AND DINING AREA COUNTER SPACE (INCLUDING ISLAND/PENINSULA COUNTER)
- WIDER THAN 12 INCHES. LOCATE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE. THE MAXIMUM SPACING BETWEEN RECEPTACLES, MEASURED ON THE WALL-COUNTERTOP LINE, IS 48 INCHES D) WITHIN 36" OF THE OUTSIDE EDGE OF EACH BATHROOM BASIN AND ON THE WALL THAT IS
- ADJACENT TO THE BASIN. E) IN ANY HALLWAY 10' OR MORE IN LENGTH.

OUTLETS IN KITCHEN, PANTRY, BREAKFAST NOOK, DINING ROOM, ETC SHALL BE INSTALLED ACCORDING TO (2019 C.E.C. 210.52)

- PROVIDE GFCI PROTECTION PER (2019 C.E.C. 210.8 (A)) AT (N) OUTLETS IN:
- 1. BATHROOMS 2. KITCHENS WHERE THE RECEPTACLES ARE INSTALLED TO SERVE COUNTEROPT SURFACES.
- 3. LAUNDRY, UTILITY, AND WET BAR SINKS WHERE RECEPTACLES ARE INSTALLED WITHIN 6 FT. OF THE EDGE OF THE SINK.

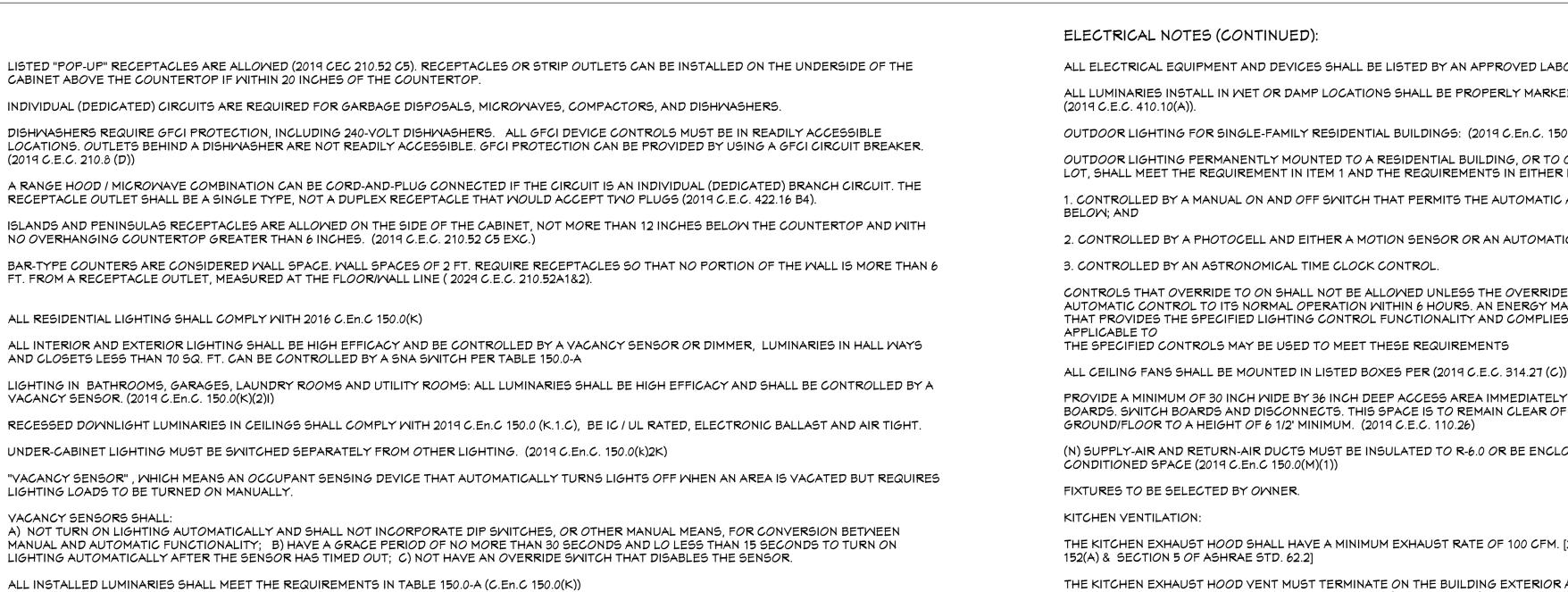
RECEPTACLES SHALL NOT BE INSTALLED IN A FACE UP POSITION IN OR ON COUNTERTOP SURFACES OR WORK SURFACES UNLESS LISTED FOR COUNTERTOP OR WORK SURFACE APPLICATIONS. (2019 C.E.C. 406.5G.)

ELECTRICAL / MECHANICAL LEGEND			
SYMBOL	DESCRIPTION		
	ELECTRIC METER / SERVICE DROP / 200 AMP MAIN		
Ē	RECESSED CEILING FIXTURE (LED)		
-(P)-	PENDANT FIXTURE		
Q	WALL MOUNTED FIXTURE		
	FLUROESCENT CEILING FIXTURE		
GFCI	110Y WALL OUTLET (GROUND FAULT INTERUPTER)		
AFCI	110Y WALL OUTLET (ARC FAULT INTERUPTER)		
WP	110Y OUTLET (WEATHER PROOF)		
) (220Y OUTLET		
\$	SMITCH		
3 \$	3-WAY SWITCH		
(VS) (MS)	VACANCY SENSOR		
(MP)	MOTION SENSOR WEATHER PROOF		
(CO/SD)	SMOKE / CO DETECTOR		
	TV / TELEPHONE / DATA		
-A	HOSE BIBB		
P	WATER VALVE		
Ĺ	ELECTRIC WATER HEATER		
M	HOT/COLD WATER SUPPLY & DRAIN FOR RELOCATED WASHING MACHINE		
N	DRYER VENT TO EXTERIOR		
\bigcirc	WALL MOUNTED FAN / DUCT TO EXTERIOR		
P	FLOOR DRAIN TO EXTERIOR PROVIDE BACKFLOM PREVENTION DEVICE		
VOLTAGE AMPERAGE WIRE SIZE			
:	220v 40 AMP. No 8 WIRE		
	100v 30 AMP. No 10 MIRE		
	110v 20 AMP. No 12 WIRE		
	110v 15 AMP. No 14 WIRE		



USE

FLOORO (BASEMENT)



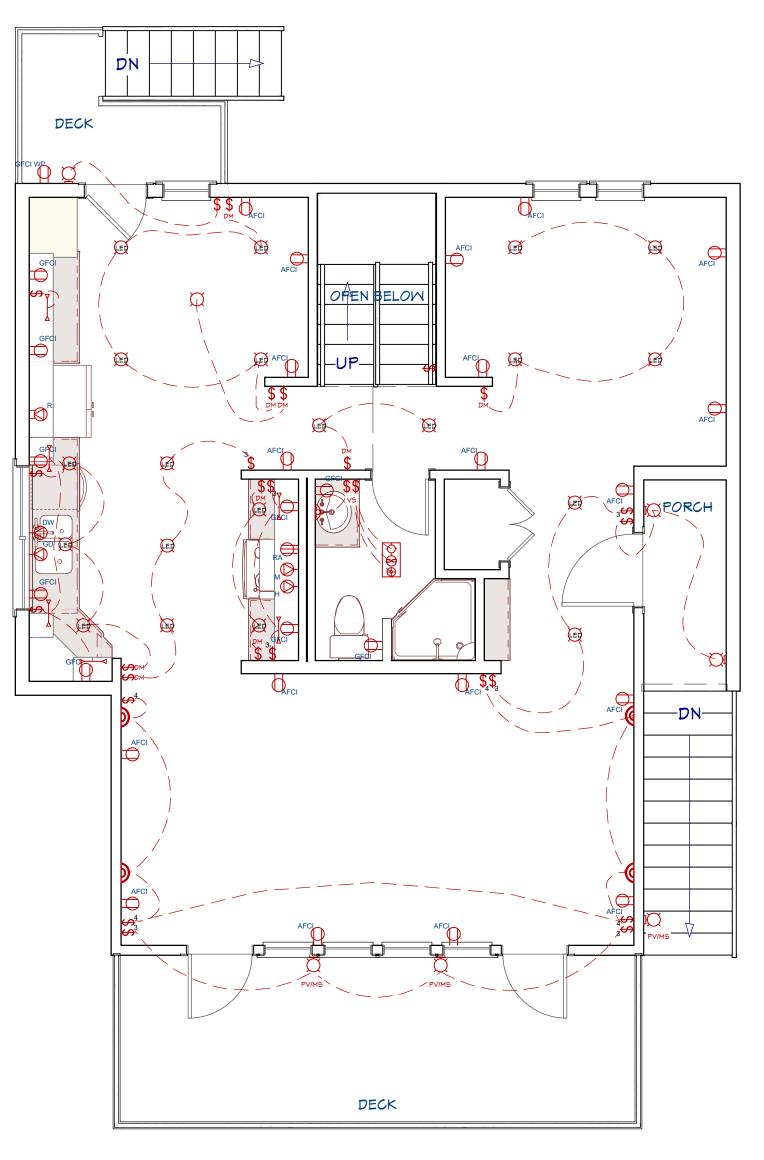
THE MINIMUM CLEARANCE BETWEEN LUMINARIES INSTALL IN CLOTHES CLOSETS AND THE NEAREST POINT OF A STORAGE SPACE SHALL BE AS FOLLOWS; (2019 C.E.C.410.16)

12 INCHES FOR SURFACE MOUNTED INCANDESCENT OR LED LUMINARIES WITH A COMPLETELY ENCLOSED LIGHT SOURCE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING.

6 INCHES FOR SURFACE MOUNTED / RECESSED FLUORESCENT LUMINARIES INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING.

6 INCHES FOR RECESSED INCANDESCENT OR LED LUMINARIES WITH A COMPLETELY ENCLOSED LIGHT SOURCES INSTALLED IN THE WALL OR THE CEILING. SURFACE MOUNTED FLUORESCENT OR LED LUMINARIES SHALL BE PERMITTED TO BE INSTALLED WITHIN THE STORAGE SPACE WHERE IDENTIFIED FOR THIS

OVERCURRENT PROTECTION DEVICES; PANEL BOARDS AND SUB-PANELS ARE NOT PERMITTED IN CLOTHES CLOSETS, BATHROOMS OR WHERE THEY MAY BE EXPOSED TO PHYSICAL DAMAGE 2019 C.E.C. 240.24 (C), (D), (E), & (F)



FLOOR 1

ELECTRICAL NOTES (CONTINUED):

ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE LISTED BY AN APPROVED LABORATORY.

ALL LUMINARIES INSTALL IN WET OR DAMP LOCATIONS SHALL BE PROPERLY MARKED AS SUITABLE FOR SUCH USE (2019 C.E.C. 410.10(A)).

OUTDOOR LIGHTING FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS: (2019 C.En.C. 150.0.(K)(3))

OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING, OR TO OTHER BUILDINGS ON THE SAME LOT, SHALL MEET THE REQUIREMENT IN ITEM 1 AND THE REQUIREMENTS IN EITHER ITEM 2 OR ITEM 3:

1. CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT PERMITS THE AUTOMATIC ACTIONS OF ITEMS 2 OR 3

2. CONTROLLED BY A PHOTOCELL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL: OR 3. CONTROLLED BY AN ASTRONOMICAL TIME CLOCK CONTROL.

CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURNS THE AUTOMATIC CONTROL TO ITS NORMAL OPERATION WITHIN 6 HOURS. AN ENERGY MANAGEMENT CONTROL SYSTEM THAT PROVIDES THE SPECIFIED LIGHTING CONTROL FUNCTIONALITY AND COMPLIES WITH ALL REQUIREMENTS

THE SPECIFIED CONTROLS MAY BE USED TO MEET THESE REQUIREMENTS

PROVIDE A MINIMUM OF 30 INCH WIDE BY 36 INCH DEEP ACCESS AREA IMMEDIATELY IN FRONT OF ALL (N) PANEL/ BOARDS. SWITCH BOARDS AND DISCONNECTS. THIS SPACE IS TO REMAIN CLEAR OF OBSTRUCTIONS FROM THE GROUND/FLOOR TO A HEIGHT OF 6 1/2' MINIMUM. (2019 C.E.C. 110.26)

(N) SUPPLY-AIR AND RETURN-AIR DUCTS MUST BE INSULATED TO R-6.0 OR BE ENCLOSED ENTIRELY IN DIRECTLY CONDITIONED SPACE (2019 C.En.C 150.0(M)(1))

FIXTURES TO BE SELECTED BY OWNER.

KITCHEN VENTILATION:

THE KITCHEN EXHAUST HOOD SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. [2019 C.En.C. 150(O.2.B), EXC. 5 TO 152(A) & SECTION 5 OF ASHRAE STD. 62.2]

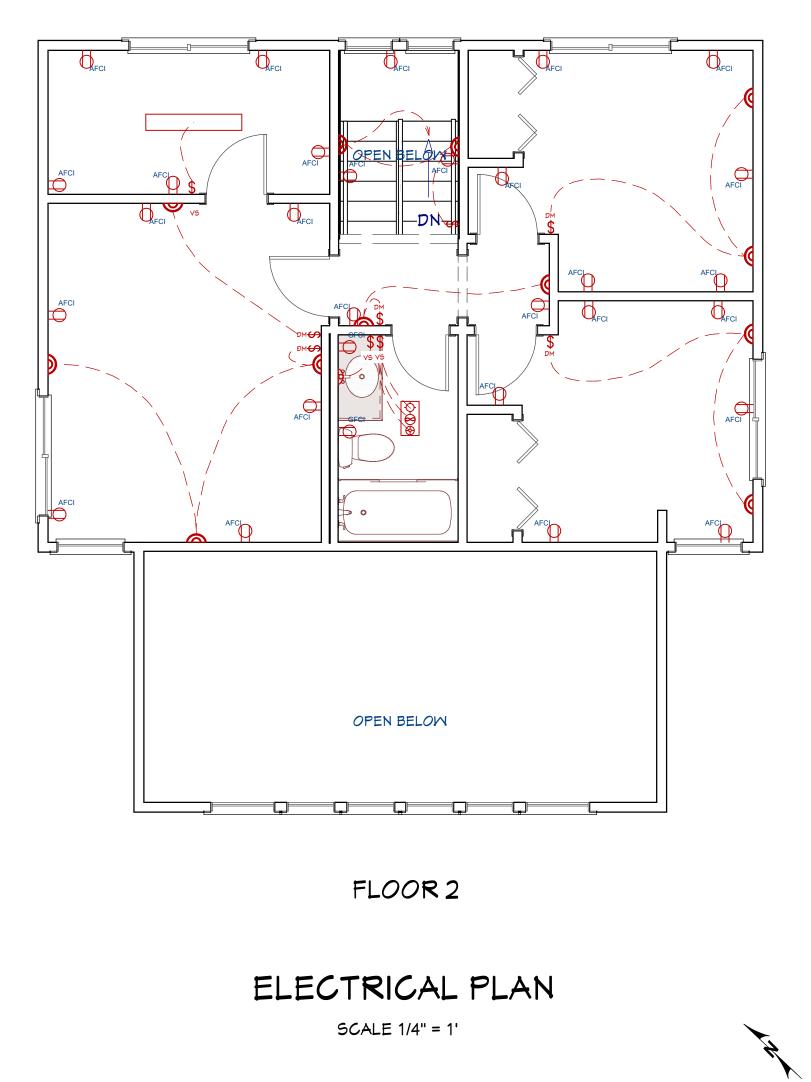
THE KITCHEN EXHAUST HOOD VENT MUST TERMINATE ON THE BUILDING EXTERIOR AT LEAST 3 FT. FROM OTHER OPENINGS INTO THE BUILDING [CMC502.2.1]. FLEXIBLE (CORRUGATED) DUCTING IS NOT ALLOWED FOR EXHAUST HOODS [2019 C.M.C. 504.3].

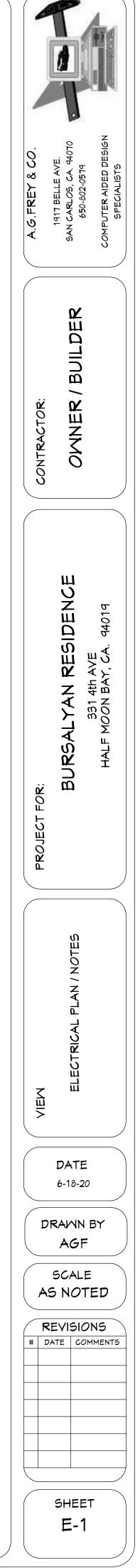
EACH (N) BATHROOM CONTAINING A BATHTUB, SHOWERS, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH CMC CHAPTER 4. AND CALGREEN DIVISION 4.5. (2019 CRC R303.3.1)

THE MINIMUM LOCAL EXHAUST RATES SHALL BE 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION PER 2019 C.M.C TABLE 403.7. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. (2019 CRC R303.3)

BOND ALL METAL PIPES TO GROUND. ALL GROUND CLAMPS MUST BE ACCESSIBLE AND OF AN APPROVED TYPE PER (2019 C.E.C. 250)

> ******* DUE TO WATER INTRUSION, THE EXISTING ELECTRICAL SYSTEM IS TO BE REMOVED AND REPLACED.





SMOKE ALARMS (2019 C.R.C. R314)

R314.1 GENERAL. SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314.

R314.1.1 LISTINGS. SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.

R314.2 WHERE REQUIRED. SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION.

R314.2.1 NEW CONSTRUCTION. SMOKE ALARMS SHALL BE PROVIDED IN DWELLING UNITS.

R314.2.2 ALTERATIONS, REPAIRS AND ADDITIONS. WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS. EXCEPTION: SEE SECTION R314.6.

R314.3 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. IN EACH SLEEPING ROOM.

2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. 4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY THIS SECTION. SEE SECTION R314.3.3 FOR SPECIFIC LOCATION REQUIREMENTS.

R314.3.1 INSTALLATION NEAR COOKING APPLIANCES. SEE SECTION R314.3.3 FOR SPECIFIC LOCATION REQUIREMENTS.

R314.3.2 SMOKE ALARMS. SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. SMOKE ALARMS THAT NO LONGER FUNCTION SHALL BE REPLACED.

R314.3.3 SPECIFIC LOCATION REQUIREMENTS.

EXTRACT FROM NFPA 72 SECTION 29.8.3.4 SPECIFIC LOCATION REQUIREMENTS. *

THIS EXTRACT HAS BEEN PROVIDED BY NFPA AS AMENDED BY THE OFFICE OF THE STATE FIRE MARSHAL AND ADOPTED BY REFERENCE AS FOLLOWS: 29.8.3.4 SPECIFIC LOCATION REQUIREMENTS. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE

FOLLOWING REQUIREMENTS: (1) SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE LOCATED WHERE AMBIENT CONDITIONS, INCLUDING HUMIDITY AND

TEMPERATURE, ARE OUTSIDE THE LIMITS SPECIFIED BY THE MANUFACTURER'S PUBLISHED INSTRUCTIONS. (2) SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE LOCATED WITHIN UNFINISHED ATTICS OR GARAGES OR IN OTHER SPACES WHERE TEMPERATURES CAN FALL BELOW 40°F (4°C) OR EXCEED 100°F (38°C). (3) WHERE THE MOUNTING SURFACE COULD BECOME CONSIDERABLY WARMER OR COOLER THAN THE ROOM, SUCH AS A POORLY

INSULATED CEILING BELOW AN UNFINISHED ATTIC OR AN EXTERIOR WALL, SMOKE ALARMS AND SMOKE DETECTORS SHALL BE MOUNTED ON AN INSIDE MALL. (4) SMOKE ALARMS OR SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20FEET HORIZONTAL DISTANCE FROM A PERMANENTLY

INSTALLED COOKING APPLIANCE. EXCEPTION: IONIZATION SMOKE ALARMS WITH AN ALARM- SILENCING SWITCH OR PHOTOELECTRIC SMOKE ALARMS SHALL BE PERMITTED TO BE INSTALLED 10 FEET (3 M) OR GREATER FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

PHOTOELECTRIC SMOKE ALARMS SHALL BE PERMITTED TO BE INSTALLED GREATER THAN 6 FEET (1.8 M) FROM A PERMANENTLY INSTALLED COOKING APPLIANCE WHERE THE KITCHEN OR COOKING AREA AND ADJACENT SPACES HAVE NO CLEAR INTERIOR PARTITIONS AND THE 10 FT DISTANCES WOULD PROHIBIT THE PLACEMENT OF A SMOKE ALARM OR SMOKE DETECTOR REQUIRED BY OTHER SECTIONS OF THE CODE. SMOKE ALARMS LISTED FOR USE IN CLOSE PROXIMITY TO A PERMANENTLY INSTALLED COOKING APPLIANCE.

(5) INSTALLATION NEAR BATHROOMS. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN A 3 FOOT (0.91 M) HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY OTHER SECTIONS OF THE CODE.

(6) SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN A 36 IN. (910 MM) HORIZONTAL PATH FROM THE SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM AND SHALL BE INSTALLED OUTSIDE OF THE DIRECT AIRFLOW FROM THOSE REGISTERS.

(7) SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN A 36 IN. (910 MM) HORIZONTAL PATH FROM THE TIP OF THE BLADE OF A CEILING-SUSPENDED (PADDLE) FAN. (8) WHERE STAIRS LEAD TO OTHER OCCUPIED LEVELS, A SMOKE ALARM OR SMOKE DETECTOR SHALL BE LOCATED SO THAT SMOKE RISING

IN THE STAIRWAY CANNOT BE PREVENTED FROM REACHING THE SMOKE ALARM OR SMOKE DETECTOR BY AN INTERVENING DOOR OR OBSTRUCTION. (9) FOR STAIRWAYS LEADING UP FROM A BASEMENT, SMOKE ALARMS OR SMOKE DETECTORS SHALL BE LOCATED ON THE BASEMENT

CEILING NEAR THE ENTRY TO THE STAIRS. (10) FOR TRAY-SHAPED CEILINGS (COFFERED CEILINGS), SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED ON THE HIGHEST

PORTION OF THE CEILING OR ON THE SLOPED PORTION OF THE CEILING WITHIN 12 IN. (300 MM) VERTICALLY DOWN FROM THE HIGHEST POINT

(11) SMOKE ALARMS AND DETECTORS INSTALLED IN ROOMS WITH JOISTS OR BEAMS SHALL COMPLY WITH THE REQUIREMENTS OF 17.7.3.2.4. (12) HEAT ALARMS AND DETECTORS INSTALLED IN ROOMS WITH JOISTS OR BEAMS SHALL COMPLY WITH THE REQUIREMENTS OF 17.6.3. *FOR ADDITIONAL REQUIREMENTS OR CLARIFICATION SEE NFPA 72.

R314.4 INTERCONNECTION. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

EXCEPTIONS:

1. INTERCONNECTION IS NOT REQUIRED IN BUILDINGS THAT ARE NOT UNDERGOING ALTERATIONS, REPAIRS OR CONSTRUCTION OF ANY KIND.

2. SMOKE ALARMS IN EXISTING AREAS ARE NOT REQUIRED TO BE INTERCONNECTED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES. 3. SMOKE ALARMS ARE NOT REQUIRED TO BE INTERCONNECTED WHERE REPAIRS OR ALTERATIONS ARE LIMITED TO THE EXTERIOR SURFACES OF DWELLINGS, SUCH AS THE REPLACEMENT OF ROOFING OR SIDING, OR THE ADDITION OR REPLACEMENT OF WINDOWS OR DOORS, OR THE ADDITION OF A PORCH OR DECK.

4. SMOKE ALARMS ARE NOT REQUIRED TO BE INTERCONNECTED WHEN WORK IS LIMITED TO THE INSTALLATION, ALTERATION OR REPAIRS OF PLUMBING OR MECHANICAL SYSTEMS OR THE INSTALLATION, ALTERATION OR REPAIR OF ELECTRICAL SYSTEMS WHICH DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE.

R314.5 COMBINATION ALARMS. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.

R314.6 POWER SOURCE. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION. EXCEPTIONS:

1. SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE.

2. SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED IN BUILDINGS THAT ARE NOT SERVED FROM A COMMERCIAL POWER SOURCE.

3. SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED IN EXISTING AREAS OF BUILDINGS UNDERGOING ALTERATIONS OR REPAIRS THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR BUILDING WIRING WITHOUT THE REMOVAL OF INTERIOR FINISHES.

4. SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED WHERE REPAIRS OR ALTERATIONS ARE LIMITED TO THE EXTERIOR SURFACES OF DWELLINGS, SUCH AS THE REPLACEMENT OF ROOFING OR SIDING, OR THE ADDITION OR REPLACEMENT OF WINDOWS OR DOORS, OR THE ADDITION OF A PORCH OR DECK.

5. SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED WHEN WORK IS LIMITED TO THE INSTALLATION, ALTERATION OR REPAIRS OF PLUMBING OR MECHANICAL SYSTEMS OR THE INSTALLATION, ALTERATION OR REPAIR OF ELECTRICAL SYSTEMS WHICH DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE.

R314.7 FIRE ALARM SYSTEMS. FIRE ALARM SYSTEMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS AND SHALL COMPLY WITH SECTIONS R314.7.1 THROUGH R314.7.4.

R314.7.1 GENERAL. FIRE ALARM SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 268. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.

R314.7.2 LOCATION. SMOKE DETECTORS SHALL BE INSTALLED IN THE LOCATIONS SPECIFIED IN SECTION R314.3.

R314.7.3 PERMANENT FIXTURE. WHERE A HOUSEHOLD FIRE ALARM SYSTEM IS INSTALLED, IT SHALL BECOME A PERMANENT FIXTURE OF THE OCCUPANCY, OWNED BY THE HOMEOWNER.

R314.7.4 COMBINATION DETECTORS. COMBINATION SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE PERMITTED TO BE INSTALLED IN FIRE ALARM SYSTEMS IN LIEU OF SMOKE DETECTORS, PROVIDED THAT THEY ARE LISTED IN ACCORDANCE WITH UL 268 AND UL 2075.

R314.8 EXISTING GROUP R-3 OCCUPANCIES.

R314.8.1 EXISTING BUILDINGS HOUSING GROUP R-3 OCCUPANCIES ESTABLISHED PRIOR TO THE EFFECTIVE DATE OF THESE REGULATIONS MAY HAVE THEIR USE CONTINUED IF THEY CONFORM OR ARE MADE TO CONFORM TO PROVISIONS OF THESE REGULATIONS TO THE EXTENT THAT REASONABLE AND ADEQUATE LIFE SAFETY AGAINST THE HAZARDS OF FIRE, PANIC AND EXPLOSION IS SUBSTANTIALLY PROVIDED. ADDITIONAL MEANS OF EGRESS, THE INSTALLATION OF AUTOMATIC SPRINKLER SYSTEMS, AUTOMATIC FIRE ALARM SYSTEM OR OTHER LIFE SAFETY MEASURES, MAY BE REQUIRED TO PROVIDE REASONABLE AND ADEQUATE SAFETY. NOTE: IT IS THE INTENT OF THIS SECTION THAT EVERY EXISTING OCCUPANCY NEED NOT MANDATORILY CONFORM WITH THE REQUIREMENTS

FOR NEW CONSTRUCTION. REASONABLE JUDGMENT IN THE APPLICATION OF REQUIREMENTS MUST BE EXERCISED BY THE ENFORCING AGENCY.

R314.8.2 FOR PURPOSES OF CLARIFICATION, HEALTH AND SAFETY CODE SECTION 13113.7 IS REPEATED. A. EXCEPT AS OTHERWISE PROVIDED IN THIS SECTION, A SMOKE DETECTOR, APPROVED AND LISTED BY THE STATE FIRE MARSHAL PURSUANT TO SECTION 13114, SHALL BE INSTALLED, IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS IN EACH DWELLING INTENDED FOR HUMAN OCCUPANCY WITHIN THE EARLIEST APPLICABLE TIME PERIOD AS FOLLOWS: 1. FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION ON OR AFTER JANUARY> 1, 1985, FOR A

PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). 2. FOR ALL OTHER DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY ON OR AFTER JANUARY 1, 1987. HOWEVER, IF ANY LOCAL RULE,

REGULATION, OR ORDINANCE, ADOPTED PRIOR TO THE COMPLIANCE DATES SPECIFIED IN PARAGRAPHS (1) AND (2) REQUIRES INSTALLATION IN A DWELLING UNIT INTENDED FOR HUMAN OCCUPANCY OF SMOKE DETECTOR, WHICH RECEIVE THEIR POWER FROM THE ELECTRICAL SYSTEM OF THE BUILDING AND REQUIRES COMPLIANCE WITH THE LOCAL RULE, REGULATION, OR ORDINANCE AT A DATE SUBSEQUENT TO THE DATES SPECIFIED IN THIS SECTION. THE COMPLIANCE DATE SPECIFIED IN THE RULE. REGULATION, OR ORDINANCE SHALL, BUT ONLY WITH RESPECT TO THE DWELLING UNITS SPECIFIED IN THIS SECTION, TAKE PRECEDENCE OVER THE DATES SPECIFIED IN THIS SECTION.

THE STATE FIRE MARSHAL MAY ADOPT REGULATIONS EXEMPTING DWELLINGS INTENDED FOR HUMAN OCCUPANCY WITH FIRE SPRINKLER SYSTEMS FROM THE PROVISIONS OF THIS SECTION, IF HE OR SHE DETERMINES THAT A SMOKE DETECTOR IS NOT REASONABLY NECESSARY 'FOR FIRE SAFETY IN THE OCCUPANCY.

UNLESS PROHIBITED BY LOCAL RULES, REGULATIONS, OR ORDINANCES, A BATTERY-OPERATED SMOKE DETECTOR WHICH OTHERWISE MEETS THE STANDARDS ADOPTED PURSUANT TO SECTION 13114 FOR SMOKE DETECTORS, SATISFIES THE REQUIREMENTS OF THIS SECTION. B. "DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, " AS USED IN THIS SECTION, INCLUDES A DUPLEX, LODGING, HOUSE, APARTMENT COMPLEX, HOTEL, MOTEL, CONDOMINIUM, STOCK COOPERATIVE, TIME-SHARE PROJECT, OR DWELLING UNIT OF A MULTIPLE-UNIT DWELLING COMPLEX. FOR THE PURPOSE OF THIS PART, "DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY" DOES NOT INCLUDE MANUFACTURED HOMES AS DEFINED IN SECTION 18007, MOBILE HOMES AS DEFINED IN SECTION 18008, AND COMMERCIAL COACHES AS DEFINED IN SECTION 18001.8.

C. THE OWNER OF EACH DWELLING UNIT SUBJECT TO THIS SECTION SHALL SUPPLY AND INSTALL SMOKE DETECTORS REQUIRED BY THIS SECTION IN THE LOCATIONS AND IN THE MANNER SET FORTH IN THE MANUFACTURER'S INSTRUCTIONS, AS APPROVED BY THE STATE FIRE MARSHAL'S REGULATIONS. IN THE CASE OF APARTMENT COMPLEXES AND OTHER MULTIPLE- DWELLING COMPLEXES, A SMOKE DETECTOR SHALL BE INSTALLED IN THE COMMON STAIRWELLS. ALL FIRE ALARM WARNING SYSTEMS SUPPLEMENTAL TO THE SMOKE DETECTOR SHALL ALSO BE LISTED BY THE STATE FIRE MARSHAL. D. A HIGH-RISE STRUCTURE, AS DEFINED IN SUBDIVISION (B) OF SECTION 13210 AND REGULATED BY CHAPTER 3 (COMMENCING WITH SECTION

13210), AND WHICH IS USED FOR PURPOSES OTHER THAN AS DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, IS EXEMPT FROM THE REQUIREMENTS OF THIS SECTION.

E. THE OWNER SHALL BE RESPONSIBLE FOR TESTING AND MAINTAINING DETECTORS IN HOTELS, MOTELS, LODGING HOUSES, AND COMMON STAIRWELLS OF APARTMENT COMPLEXES AND OTHER MULTIPLE-DWELLING COMPLEXES. AN OWNER OR THE OWNER'S AGENT MAY ENTER ANY DWELLING UNIT, EFFICIENCY DWELLING UNIT, GUEST ROOM, AND SUITE OWNED BY THE

OWNER FOR THE PURPOSE OF INSTALLING, REPAIRING, TESTING, AND MAINTAINING SINGLE STATION SMOKE DETECTORS REQUIRED BY THIS SECTION. EXCEPT IN CASES OF EMERGENCY, THE OWNER OR OWNER'S AGENT SHALL GIVE THE TENANTS OF EACH SUCH UNIT, ROOM, OR SUITE REASONABLE NOTICE IN WRITING OF THE INTENTION TO ENTER AND SHALL ENTER ONLY DURING NORMAL BUSINESS HOURS. TWENTY-FOUR HOURS SHALL BE PRESUMED TO BE REASONABLE NOTICE IN ABSENCE OF EVIDENCE TO THE CONTRARY.

THE SMOKE DETECTOR SHALL BE OPERABLE AT THE TIME THAT THE TENANT TAKES POSSESSION. THE APARTMENT COMPLEX TENANT SHALL BE RESPONSIBLE FOR NOTIFYING THE MANAGER OR OWNER IF THE TENANT BECOMES AWARE OF AN INOPERABLE SMOKE DETECTOR WITHIN HIS OR HER UNIT. THE OWNER OR AUTHORIZED AGENT SHALL CORRECT ANY REPORTED DEFICIENCIES IN THE SMOKE DETECTOR AND SHALL NOT BE IN VIOLATION OF THIS SECTION FOR A DEFICIENT SMOKE DETECTOR WHEN HE OR SHE HAS NOT RECEIVED NOTICE OF THE DEFICIENCY. F A VIOLATION OF THIS SECTION IS AN INFRACTION PUNISHÂ ABLE BY A MAXIMUM FINE OF TWO HUNDRED DOLLARS (\$200) FOR EACH OFFENSE. G. THIS SECTION SHALL NOT AFFECT ANY RIGHTS WHICH THE PARTIES MAY HAVE UNDER ANY OTHER PROVISION OF LAW BECAUSE OF THE PRESENCE OR ABSENCE OF A SMOKE DETECTOR.

H. THIS SECTION SHALL NOT APPLY TO THE INSTALLATION OF SMOKE DETECTORS IN SINGLE-FAMILY DWELLINGS OR FACTORY-BUILT HOUSING WHICH IS REGULATED BY SECTION 13113.8, AS ADDED BY ASSEMBLY BILL NO. 2285 OF THE 1983-84 REGULAR SESSION.

R314.8.3 FOR PURPOSES OF CLARIFICATION, HEALTH AND SAFETY CODE SECTION 13113.8 IS REPEATED.

A. ON AND AFTER JANUARY 1, 1986, EVERY SINGLE-FAMILY DWELLING AND FACTORY-BUILT HOUSING, AS DEFINED IN SECTION 19971, WHICH IS SOLD SHALL HAVE AN OPERABLE SMOKE DETECTOR. THE DETECTOR SHALL BE APPROVED AND LISTED BY THE STATE FIRE MARSHAL AND INSTALLED IN ACCORDANCE WITH THE STATE FIRE MARSHAL'S REGULATIONS. UNLESS PROHIBITED BY LOCAL RULES, REGULATIONS, OR ORDINANCES, A BATTERY-OPERATED SMOKE DETECTOR SHALL BE DEEMED TO SATISFY THE REQUIREMENTS OF THIS SECTION. B. ON AND AFTER JANUARY 1, 1986, THE TRANSFEROR OF ANY REAL PROPERTY CONTAINING A SINGLE-FAMILY DWELLING, AS DESCRIBED IN SUBDIVISION (A), WHETHER THE TRANSFER IS MADE BY SALE, EXCHANGE, OR REAL PROPERTY SALES CONTRACT, AS DEFINED IN SECTION 2985 OF THE CIVIL CODE, SHALL DELIVER TO THE TRANSFEREE A WRITTEN STATEMENT INDICATING THAT THE TRANSFEROR IS IN COMPLIANCE WITH THIS SECTION. THE DISCLOSURE STATEMENT SHALL BE EITHER INCLUDED IN THE RECEIPT FOR DEPOSIT IN A REAL ESTATE TRANSACTION, AN ADDENDUM ATTACHED THERETO, OR A SEPARATE DOCUMENT.

C. THE TRANSFEROR SHALL DELIVER THE STATEMENT REFERRED TO IN SUBDIVISION (B) AS SOON AS PRACTICABLE BEFORE THE TRANSFER OF TITLE IN THE CASE OF A SALE OR EXCHANGE, OR PRIOR TO EXECUTION OF THE CONTRACT WHERE THE TRANSFER IS BY A REAL PROPERTY SALES CONTRACT, AS DEFINED IN SECTION 2985. FOR PURPOSES OF THIS SUBDIVISION, "DELIVERY" MEANS DELIVERY IN PERSON OR BY MAIL TO THE TRANSFEREE OR TRANSFEROR, OR TO ANY PERSON AUTHORIZED TO ACT FOR HIM OR HER IN THE TRANSACTION, OR TO ADDITIONAL TRANSFEREES WHO HAVE REQUESTED DELIVERY FROM THE TRANSFEROR IN WRITING. DELIVERY TO THE SPOUSE OF A TRANSFEREE OR TRANSFEROR SHALL BE DEEMED DELIVERY TO A TRANSFEREE OR TRANSFEROR, UNLESS THE CONTRACT STATES OTHERWISE.

D. THIS SECTION DOES NOT APPLY TO ANY OF THE FOLLOWING: 1. TRANSFERS WHICH ARE REQUIRED TO BE PRECEDED BY THE FURNISHING TO A PROSPECTIVE TRANSFEREE OF A COPY OF A PUBLIC REPORT PURSUANT TO SECTION 11018.1 OF THE BUSINESS AND PROFESSIONS CODE.

2. TRANSFERS PURSUANT TO COURT ORDER, INCLUDING, BUT NOT LIMITED TO, TRANSFERS ORDERED BY A PROBATE COURT IN THE ADMINISTRATION OF AN ESTATE, TRANSFERS PURSUANT TO A WRIT OF EXECUTION, TRANSFERS BY A TRUSTEE IN BANKRUPTCY, TRANSFERS BY EMINENT DOMAIN, OR TRANSFERS RESULTING FROM A DECREE FOR SPECIFIC PERFORMANCE.

3. TRANSFERS TO A MORTGAGEE BY A MORTGAGOR IN DEFAULT, TRANSFERS TO A BENEFICIARY' OF A DEED OF TRUST BY A TRUSTOR IN DEFAULT, TRANSFERS BY ANY FORECLOSURE SALE AFTER DEFAULT, TRANSFERS BY ANY FORECLOSURE SALE AFTER DEFAULT IN AN OBLIGATION SECURED BY A MORTGAGE. OR TRANSFERS BY A SALE UNDER A POWER OF SALE AFTER A DEFAULT IN AN OBLIGATION SECURED BY

A DEED OF TRUST OR SECURED BY ANY OTHER INSTRUMENT CONTAINING A POWER OF SALE. 4. TRANSFERS BY A FIDUCIARY IN THE COURSE OF THE ADMINISTRATION OF A DECEDENT'S ESTATE, GUARDIANSHIP, CONSERVATORSHIP, OR TRUST.

5. TRANSFERS FROM ONE CO-OWNER TO ONE OR MORE CO-OWNERS.

6. TRANSFERS MADE TO A SPOUSE, OR TO A PERSON OR PERSONS IN THE LINEAL LINE OF CONSANGUINITY OF ONE OR MORE OF THE TRANSFERORS.

7. TRANSFERS BETWEEN SPOUSES RESULTING FROM A DECREE OF DISSOLUTION OF A MARRIAGE, FROM A DECREE OF LEGAL SEPARATION, ORFROM A PROPERTY SETTLEMENT AGREEMENT INCIDENTAL TO EITHER OF THOSE DECREES.

8. TRANSFERS BY THE CONTROLLER IN THE COURSE OF ADMINISTERING THE UNCLAIMED PROPERTY LAW PROVIDED FOR IN CHAPTER 7 (COMMENCING WITH SECTION 1500) OF TITLE 10 OF PART 3 OF THE CODE OF CIVIL PROCEDURE. 9. TRANSFERS UNDER THE PROVISIONS OF CHAPTER 7 (COMMENCING WITH SECTION 3691) OR CHAPTER 8 (COMMENCING WITH SECTION 3771) OF PART 6 OF DIVISION 1 OF THE REVENUE AND TAXATION CODE.

E. NO LIABILITY SHALL ARISE, NOR ANY ACTION BE BROUGHT OR MAINTAINED AGAINST, ANY AGENT OF ANY PARTY TO A TRANSFER OF TITLE, INCLUDING ANY PERSON OR ENTITY ACTING IN THE CAPACITY OF AN ESCROW, FOR ANY ERROR, INACCURACY, OR OMISSION RELATING TO THE DISCLOSURE REQUIRED TO BE MADE BY A TRANSFEROR PURSUANT TO THIS SECTION. HOWEVER, THIS SUBDIVISION DOES NOT APPLY TO A LICENSEE. AS DEFINED IN SECTION 10011 OF THE BUSINESS AND PROFESSIONS CODE, WHERE THE LICENSEE PARTICIPATES IN THE MAKING OF THE DISCLOSURE REQUIRED TO BE MADE PURSUANT TO THIS SECTION WITH ACTUAL KNOWLEDGE OF THE FALSITY OF THE DISCLOSURE. F. EXCEPT AS OTHERWISE PROVIDED IN THIS SECTION, THIS SECTION SHALL NOT BE DEEMED TO CREATE OR IMPLY A DUTY UPON A LICENSEE, AS DEFINED IN SECTION 10011 OF THE BUSINESS AND PROFESSIONS CODE, OR UPON ANY AGENT OF ANY PARTY TO A TRANSFER OF TITLE, INCLUDING ANY PERSON OR ENTITY ACTING IN THE CAPACITY OF AN ESCROW, TO MONITOR OR ENSURE COMPLIANCE WITH THIS SECTION. G. NO TRANSFER OF TITLE SHALL BE INVALIDATED ON THE BASIS OF A FAILURE TO COMPLY WITH THIS SECTION, AND THE EXCLUSIVE REMEDY FOR THE FAILURE TO COMPLY WITH THIS SECTION IS AN AWARD OF ACTUAL DAMAGES NOT TO EXCEED ONE HUNDRED DOLLARS (\$100), EXCLUSIVE OF ANY COURT COSTS AND ATTORNEY'S FEES.

H. LOCAL ORDINANCES REQUIRING SMOKE DETECTORS IN SINGLE-FAMILY DWELLINGS MAY BE ENACTED OR AMENDED.

HOWEVER, THE ORDINANCES SHALL SATISFY THE MINIMUM REQUIREMENTS OF THIS SECTION. I. FOR THE PURPOSES OF THIS SECTION, "SINGLE-FAMILY DWELLING" DOES NOT INCLUDE A MANUFACTURED HOME AS DEFINED IN SECTION

18007, A MOBILE HOME AS DEFINED IN SECTION 18008, OR A COMMERCIAL COACH AS DEFINED IN SECTION 18001.8. J. THIS SECTION SHALL NOT APPLY TO THE INSTALLATION OF SMOKE DETECTORS IN DWELLINGS INTENDED FOR HUMAN OCCUPANCY, AS DEFINED IN AND REGULATED BY SECTION 13113.7 OF THE HEALTH AND SAFETY CODE, AS ADDED BY SENATE BILL NO. 1448 IN THE 1983-84 REGULAR SESSION.

R315.1.1 LISTINGS. CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND UL 217. NO PERSON SHALL INSTALL, MARKET, DISTRIBUTE, OFFER FOR SALE, OR SELL ANY CARBON MONOXIDE DEVICE IN THE STATE OF CALIFORNIA UNLESS THE DEVICE AND INSTRUCTIONS HAVE BEEN APPROVED AND LISTED BY THE OFFICE OF THE STATE FIRE MARSHAL.

R315.2 WHERE REQUIRED. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R315.2.1 AND R315.2.2.

R315.2.1 EXISTING BUILDINGS AND NEW CONSTRUCTION. FOR EXISTING BUILDINGS AND NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS WHERE EITHER OR BOTH OF THE FOLLOWING CONDITIONS EXIST. 1. THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE OR FIREPLACE. 2. THE DWELLING UNIT HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING UNIT.

R315.2.2 ALTERATIONS, REPAIRS AND ADDITIONS. WHERE AN ADDITION IS MADE TO AN EXISTING DWELLING, OR A FUEL-BURNING HEATER, APPLIANCE, OR FIREPLACE IS ADDED TO AN EXISTING DWELLING, NOT PREVIOUSLY REQUIRED TO BE PROVIDED WITH CARÂ BON MONOXIDE ALARMS, NEW CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R315.

EXCEPTIONS: 1. WORK INVOLVING THE EXTERIOR SURFACES OF DWELLINGS, SUCH AS THE REPLACEMENT OF ROOFING OR SIDING, OR THE ADDITION OR REPLACEMENT OF WINDOWS OR DOORS, OR THE ADDITION OF A PORCH OR DECK. 2. INSTALLATION, ALTERATION OR REPAIRS OF PLUMBING OR MECHANICAL SYSTEMS.

R315.4 COMBINATION ALARMS. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS. COMBINATION CARBON MONOXIDE/SMOKE ALARMS SHALL COMÂ PLY WITH SECTION R315 AND ALL REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL FOR SMOKE ALARMS.

R315.5 INTERCONNECTIVITY. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R315.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF CARBON MONOXIDE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM

EXCEPTION: INTERCONNECTION OF CARBON MONOXIDE ALARMS IN EXISTING BUILDINGS PRIOR TO JANUARY 1, 2011, SHALL NOT BE REQUIRED UNDER ANY OF THE FOLLOWING CONDITIONS: 1. WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES. 2. NO CONSTRUCTION IS TAKING PLACE. 3. REPAIRS OR ALTERATIONS ARE LIMITED TO THE EXTERIOR SURFACES OF DWELLINGS, SUCH AS THE REPLACEMENT OF ROOFING OR SIDING, OR THE ADDITION OR REPLACEMENT OF WINDOWS OR DOORS, OR THE ADDITION OF A PORCH OR DECK. 4. WORK IS LIMITED TO THE INSTALLATION, ALTERATION OR REPAIR OF PLUMBING, MECHANICAL, OR ELECTRICAL SYSTEMS, WHICH DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE IN AREAS/ SPACES WHERE CARBON MONOXIDE ALARMS ARE REQUIRED.

R315.6 POWER SOURCE. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.

COMMERCIAL POWER. POWERED

R315.7 CARBON MONOXIDE DETECTION SYSTEMS. CARBON MONOXIDE DETECTION SYSTEMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS AND SHALL COMPLY WITH SECTIONS R315.7.1 THROUGH R315.7.4.

R315.7.1 GENERAL. HOUSEHOLD CARBON MONOXIDE DETECTION SYSTEMS SHALL COMPLY WITH NFPA 720. CARBON MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2075.

R315.7.2 LOCATION. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED AND MAINTAINED IN THE LOCATIONS SPECIFIED IN SECTION R315.3 OR NFPA 720.

2075 AND UL 268.

CARBON MONOXIDE ALARMS (2019 C.R.C R315)

R315.1 GENERAL. CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315.

R315.3 LOCATION. CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS IN THE FOLLOWING LOCATIONS:

1. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 2. ON EVERY OCCUPIABLE LEVEL OF A DWELLING UNIT, INCLUDING BASEMENTS.

3. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDÂ ROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

EXCEPTIONS 1.CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHERE INSTALLED IN BUILDINGS WITHOUT 2. CARBON MONOXIDE ALARMS INSTALLED IN ACCORDANCE WITH SECTION R315.2.2 SHALL BE PERMITTED TO BE BATÂ TERY

3. CARBON MONOXIDE ALARMS IN GROUP R OCCUPANCIES SHALL BE PERMITTED TO RECEIVE THEIR PRIMARY' POWER FROM

OTHER POWER SOURCES RECOGNIZED FOR USE BY NFPA 720. 4. CARBON MONOXIDE ALARMS IN GROUP R OCCUPANCIES SHALL BE PERMITTED TO BE BATTERY-POWERED OR PLUG-IN WITH A BATTERY BACKUP IN EXISTING BUILDINGS BUILT PRIOR TO JANUARY 1, 2011, UNDER ANY OF THE FOLLOWING CONDITIONS: 4.1. NO CONSTRUCTION IS TAKING PLACE.

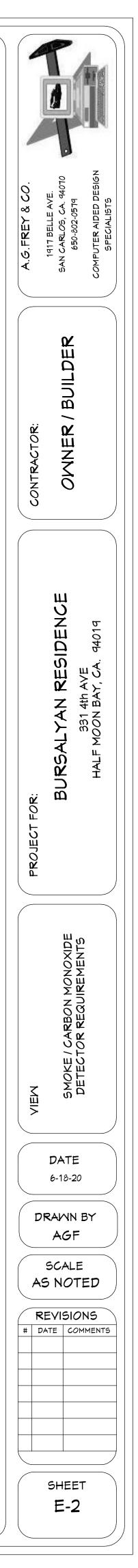
4.2. REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL AND CEILING FINISHES EXPOSING THE STRUCTURE IN AREAS/SPACES WHERE CARBON MONOXIDE ALARMS ARE REQUIRED. 4.3. REPAIRS OR ALTERATIONS ARE LIMITED TO THE EXTERIOR SURFACES OF DWELLINGS, SUCH AS THE REPLACEMENT OF

ROOFING OR SIDING, OR THE ADDITION OR REPLACEMENT OF WINDOWS OR DOORS, OR THE ADDITION OFA PORCH OR DECK. 4.4. WORK IS LIMITED TO THE INSTALLATION, ALTERATION OR REPAIR OF PLUMBING, MECHANICAL OR ELECTRICAL SYSTEMS, WHICH DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE IN AREAS/ SPACES WHERE CARBON MONOXIDE ALARMS ARE REQUIRED.

R315.7.3 PERMANENT FIXTURE. WHERE A HOUSEHOLD CARBON MONOXIDE DETECTION SYSTEM IS INSTALLED, IT SHALL BECOME A PERMANENT FIXTURE OF THE OCCUPANCY AND OWNED BY THE HOMEOWNER.

R315.7.4 COMBINATION DETECTORS. COMBINATION CARBON MONOXIDE AND SMOKE DETECTORS INSTALLED IN CARBON MONOXIDE DETECTION SYSTEMS IN LIEU OF CARBON MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL

COMBINATION CARBON MONOXIDE/SMOKE DETECTORS SHALL COMPLY WITH ALL REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL FOR SMOKE ALARMS.



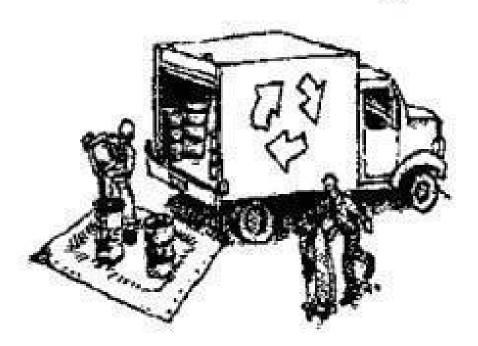


Water Pollution **Prevention Program** Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project. Please note: the wet season begins on October 1 and continues through April 30.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & **Spill Control**

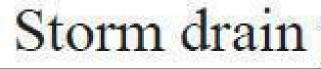


Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite. clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

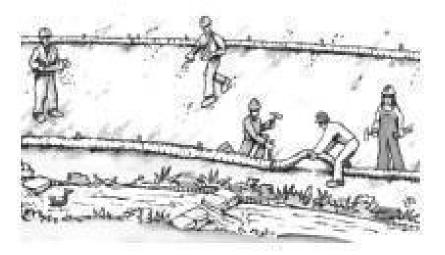
Spill Prevention and Control

- □ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).





Earthwork & Contaminated Soils

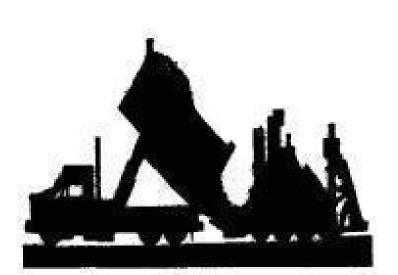


Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

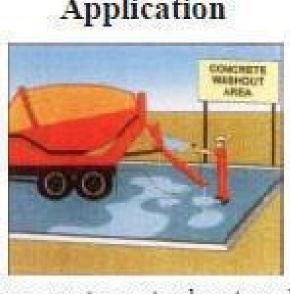
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
- □ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.



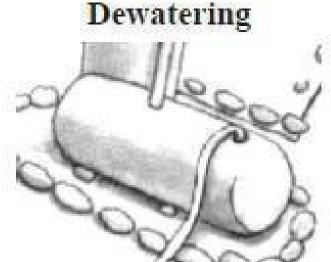
- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, abosorb, or vacuum saw-cut shurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.



- storm drain.



- may be required.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

Paving/Asphalt Work

Concrete, Grout & Mortar Application



Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a

Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.

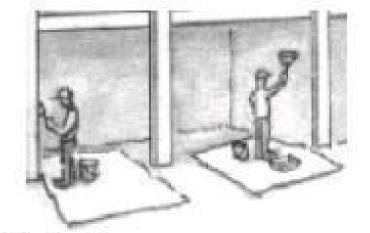
Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance. When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap

In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Painting & Paint Removal



Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

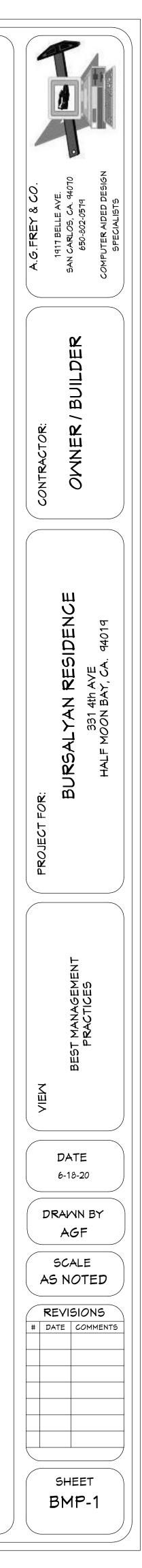
Paint removal

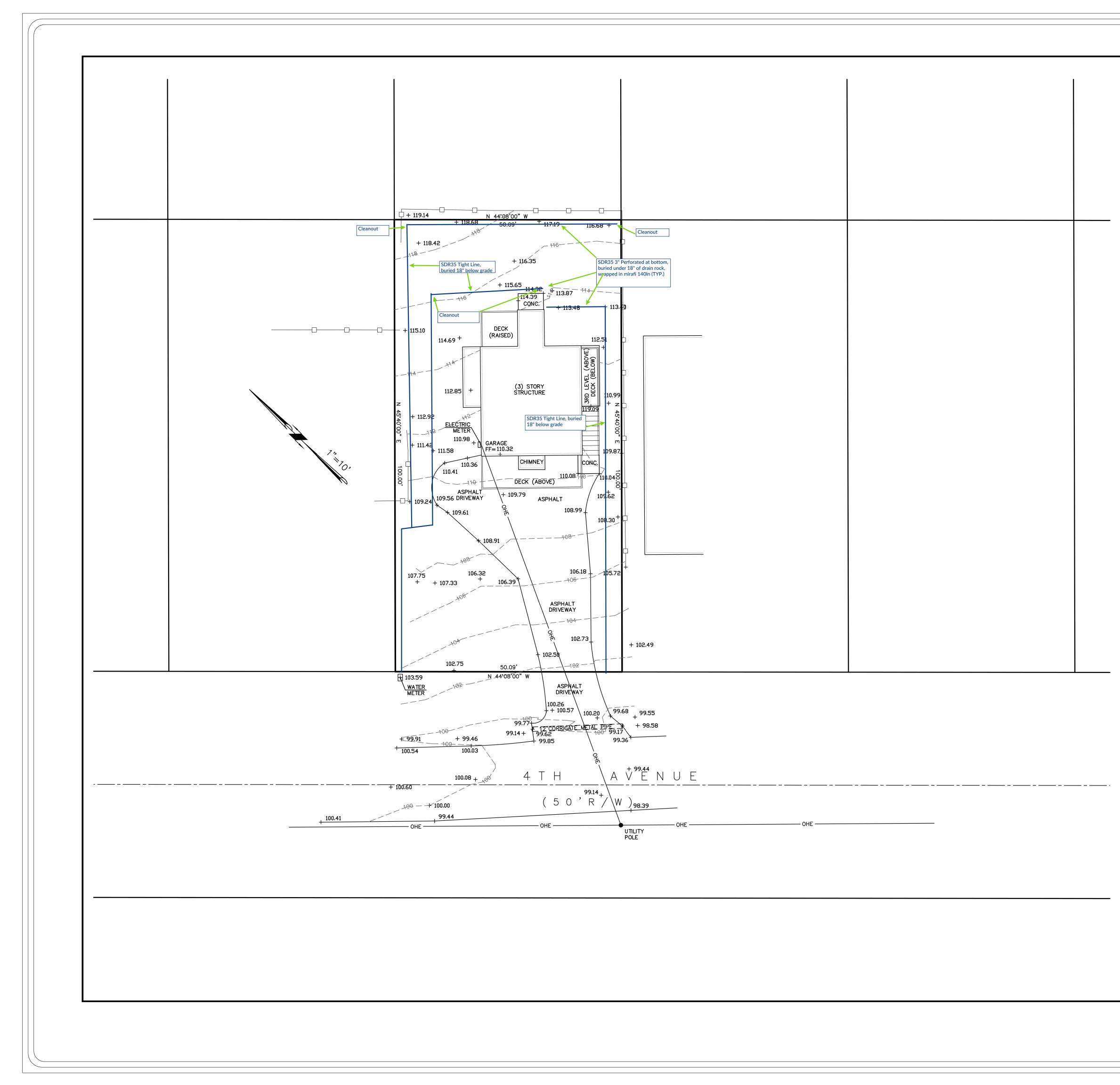
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Landscape Materials



- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.





	SAVIOR P. MICALLEF LAND SURVEYING 421 WILDWOOD DRIVE SOUTH SAN FRANCISCO, CA 94080 805/709-2423
	CALIFORNIA
	TOPOGRAPHIC SURVEY OF 331 4TH AVENUE CITY OF HALF MOON BAY SAN MATEO COUNTY
BENCHMARK STATEMENT: THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM. SURVEYOR'S STATEMENT: THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MAY 2020. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN.	Revisions
SAVIOR P. MICALLEF LAND SURVEYOR, LS 8289 (805) 709-2423	Date OS-11-20 Scale 1=10' Scale 1=10' Drawn SPM Job No SPM
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