

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

Planning Permit Application Form

PLN: _____

BLD: _____

Applicant/Owner Information

Applicant: Rocha and Son Construction

Mailing Address: P.O. Box 71

Half Moon Bay, CA Zip: 94019

Phone, W: 6507128181 H: _____

E-mail Address: info@rochason.com FAX: _____

Name of Owner (1): Jason/Kristeen Ament

Mailing Address:

671 Franklin Street

Montara, CA Zip: 94037

Phone, W: _____

H: _____

E-mail Address: wyattsmom13@gmail.com

Name of Owner (2): _____

Mailing Address: _____

Zip: _____

Phone, W: _____

H: _____

E-mail Address: _____

Project Information

Project Location (address):

671 Franklin Street

Montara, CA 94037

Zoning: R-1 / S-17

Assessor's Parcel Numbers: 36 — 122 — 340

— — — —

— —

Parcel/lot size: 9,375 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

Convert existing 1-car Garage into Guest Bed/Bath, with small addition. Remove existing exterior stairwell and construct new Covered Front Porch to relocate primary entrance to street level. Convert existing deck off of Master Bedroom into new office.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

The existing parcel is relatively flat, with an approximate overall grade change of 3'-4'. Existing grass and landscaped areas existing at the side are rear yards, and raised planters exist on the front and street sides.

There is a large Redwood tree at the northeast of the parcel.

Describe Existing Structures and/or Development:

An existing 2-story home exists on the property, with an existing 2-story high solarium with ground level pool at the southwest. The home has 2 garages: one 2-car garage (proposed to remain) and one 1-car garage (proposed to be converted to living space). A detached shed lies in the rear corner.

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: _____

Owner's signature: _____

Applicant's signature: 

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650.363.4161 ■ FAX 650.363.4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN _____

Other Permit #: _____

1. Basic Information

Applicant:

Name: ROCHA AND SON CONSTRUCTION

Address: PO BOX 71

HALF MOON BAY, CA Zip: 94019

Phone,W: (650) 712-8181 H:

Email: INFO@ROCHASON.COM

Owner (if different from Applicant):

Name: JASON AMENT
KRISTEEN MUNZIATI-AMENT

Address: 671 FRANKLIN STREET

MONTARA, CA Zip: 94037

Phone,W: H:

Email: WYATTSMOM13@GMAIL.COM

Architect or Designer (if different from Applicant):

Name: (APPLICANT)

Address: Zip:

Phone,W: H: Email:

2. Project Site Information

Project location:

APN: 036-122-340

Address: 671 FRANKLIN STREET

MONTARA, CA Zip: 94037

Zoning: R-1/S-17

Parcel/lot size: 9,375 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):
(E) 2-STORY SINGLE FAMILY HOME WITH ATTACHED 2-CAR AND 1-CAR GARAGES.

3. Project Description

Project:

- New Single Family Residence: _____ sq. ft
- Addition to Residence: 527 sq. ft
- Other: _____

Describe Project:

CONVERT (E) 1-CAR GARAGE INTO GUEST BED/BATH w/ SMALL ADDITION. REMOVE (E) EXTERIOR STAIRS. ADD (N) FRONT PORCH. CONVERT (E) MASTER BEDROOM DECK INTO (N) OFFICE.

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	T1-11	LIGHT GRAY (MATCH (E))	<input checked="" type="checkbox"/>
b. Trim	WOOD	BLUE-GRAY (MATCH (E))	<input checked="" type="checkbox"/>
c. Windows	VINYL	"BRONZE"	<input type="checkbox"/>
d. Doors	WOOD	#	<input type="checkbox"/>
e. Roof	COMP ASPHALT SHINGLE	(MATCH (E))	<input checked="" type="checkbox"/>
f. Chimneys	BRICK	NO CHANGE	<input checked="" type="checkbox"/>
g. Decks & railings	N/A		<input type="checkbox"/>
h. Stairs	N/A		<input type="checkbox"/>
i. Retaining walls	BRICK	ORANGISH RED (MATCH (E))	<input checked="" type="checkbox"/>
j. Fences	WOOD	NATURAL	<input checked="" type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	BRICK	NO CHANGE	<input checked="" type="checkbox"/>

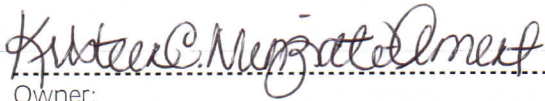
5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.


Owner:


Applicant:

3/9/2020
Date:

3/9/2020
Date:

Certificate of Exemption or Exclusion from a Coastal Development Permit

Permanent Record
Microfilming Required

Permit #: PLN _____
Permit #: BLD _____

1. Basic Information

Owner
Name: JASON AMENT / KRISTEEN NUNZIATI-AMENT
Address: 671 FRANKLIN STREET
MONTARA, CA
Zip: 94037
Phone, W: _____ H: _____
Email Address: WYATTSMOM13@GMAIL.COM

Applicant
Name: ROCHA AND SON CONSTRUCTION
Address: PO BOX 71
HALF MOON BAY, CA 94019
Zip: _____
Phone, W: (650) 712-8181 H: _____
Email Address: INFO@ROCHASON.COM

2. Project Information

Project Description:
CONVERT (E) 1-CAR GARAGE INTO GUEST
BED/BATH w/ SMALL ADDITION. REMOVE (E)
EXTERIOR STAIRS. ADD (N) FRONT PORCH.
CONVERT (E) MASTER BEDROOM DECK INTO
(N) OFFICE.

Assessor's Parcel Number(s):
036 - 122 - 340

Existing water source:
 Utility connection _____
 Well _____

Proposed water source:
 Utility connection _____
 Well _____

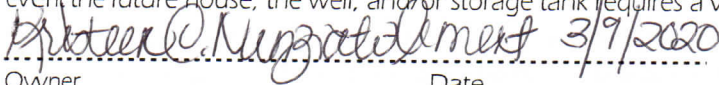
Staking of well location and property lines are required.


Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

 3/9/2020
 Owner _____ Date _____

 03/09/2020
 Applicant _____ Date _____

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

- Initial**
- | | |
|--|--|
| <p><input type="checkbox"/> A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCR13250, ZR 6328.5(a)]</p> <p><input type="checkbox"/> B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCR13253, ZR 6328.5(b)]</p> <p><input type="checkbox"/> C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]</p> <p><input type="checkbox"/> D. Repair or Maintenance Activity. [PRC 30610(d), CCR13252, ZR 6328.5(d)]</p> <p><input type="checkbox"/> E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCR13240, AB 643, ZR 6328.5(e)]</p> | <p><input type="checkbox"/> F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCR13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]</p> <p><input type="checkbox"/> G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]</p> <p><input type="checkbox"/> H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]</p> <p><input type="checkbox"/> I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]</p> <p><input type="checkbox"/> J. Lot Line Adjustment. [ZR 6328.5(i)]</p> <p><input type="checkbox"/> K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]</p> |
|--|--|

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____ Date of Inspection: _____

Yes	No
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

Planning Department

Date

Project is subject to the following condition(s) of approval:

7. Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.

- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit*Plan Case Screen and Activities

Environmental Information Disclosure Form

PLN _____
BLD _____

Project Address: 671 FRANKLIN STREET
MONTARA, CA 94037

Assessor's Parcel No.: 036 - 122 - 340

Zoning District: R-1 / S-17

Name of Owner: JASON AMENT
KRISTEEN PUNZIATI-AMENT

Address: 671 FRANKLIN STREET
MONTARA, CA 94037 Phone: _____

Name of Applicant: ROCHA & SON CONSTRUCTION

Address: PO BOX 71
HALIF MOON BAY, CA 94019 Phone: (650) 712-8181

Existing Site Conditions

Parcel size: 9,375 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

RELATIVELY FLAT PARCEL w/ AN EXISTING 2-STORY HOME w/ ATTACHED GARAGES AND A REAL DETACHED SHED STRUCTURE

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

SMALL ADDITION AT FRONT OF (E) HOME


3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:


(Applicant may sign)

Date: 03.13.2020

671 Franklin Exterior Light Fixture

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Item # bci844977

KICHLER



Kichler

Seaside Single Light 14" Tall Outdoor Wall Sconce

Model: **9023BK**

from the Seaside Collection

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◆ **Kichler Memorial Day Sale**
20% Off - Discount Already Applied. No Coupon Necessary.
Offer Ends 05-31-2020

\$79.99

Finish: **Black**



Black
\$79.99
51 In Stock

Select



Brushed Nickel
\$79.99
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Select



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133 In Stock

Select



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Select

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Height: 14"

- 7"
- 12"
- 14"
- 16"

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 **FREE Delivery by Tomorrow**
if ordered in the next 4 hrs 19 mins
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51 In Stock

-
-

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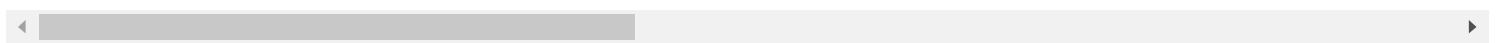
Globe Electric 44176


\$44.66



Progress Lighting P56002

\$149.00



- Overview
- Reviews 23
- Product Q&A 9
- Matching Products
-  Chat with an E...

Product Overview

With an aura that is as pure as a sea breeze, the Seaside Collection offers the homeowner a unique line of outdoor fixtures guaranteed to bring a new identity to your home's landscape.

Features:

- Ultra secure mounting assembly
- Dark Skies compliant
- Housing is constructed of aluminum - providing years of reliable performance
- Covered under Kichler's 1-year limited warranty
- Complete your outdoor look with the full Seaside Collection - see Related Items

Dimensions:

- Height: 14.25"
- Width: 10.25" (measured from furthest point left to furthest point right on fixture)
- Backplate Diameter: 4.75"
- Backplate Height: 4.25"
- Backplate Width: 4.25"
- Product Weight: 4 lbs
- Height to Center of Outlet: 8.75" (height from center of outlet)

Electrical Specifications:

- Bulb Base: Medium (E26)
- Number of Bulbs: 1
- Bulb Included: No
- Watts Per Bulb: 150
- Maximum Wattage: 150 watts
- Voltage: 120 (U.S. standard line voltage)

Additional Kichler Links

- [View the Manufacturer Warranty](#)
- [Browse All Kichler Products](#)
- [Kichler Seaside Collection](#)

This product is listed under the following manufacturer number(s):

Kichler 9023BK	Kichler 9023NI
Black	Brushed Nickel
Kichler 9023OB	Kichler 9023OZ
Olde Brick	Olde Bronze
Kichler 9023WH*	
White	

*Denotes a finish or option that has been discontinued.

Manufacturer Resources

[Kichler Catalog Page](#)

[Installation Sheet](#)

[Specification Sheet](#)

Dimensions and Measurements

Backplate Depth	<input type="checkbox"/>	0.75 in.
Backplate Diameter	<input type="checkbox"/>	4.75 in.
Backplate Height	<input type="checkbox"/>	4.25 in.
Backplate Width	<input type="checkbox"/>	4.25 in.
Extension	<input type="checkbox"/>	11.5 in.
HCO	<input type="checkbox"/>	8.75 in.
Height	<input type="checkbox"/>	14.25 in.
Nominal Height	<input type="checkbox"/>	15 in.
Nominal Width	<input type="checkbox"/>	11 in.
Product Weight	<input type="checkbox"/>	4 lbs.
Width	<input type="checkbox"/>	10.25 in.

Included Components

Bulb Included	<input type="checkbox"/>	No
Includes Glass Guard	<input type="checkbox"/>	Yes
Motion Sensor	<input type="checkbox"/>	No
Wall Control Included	<input type="checkbox"/>	No

Characteristics and Features

Related Kichler Categories

- Browse by Brand
- Outdoor Wall Sconces
- Landscape Lighting
- Post Lights
- Security Lights
- Outdoor Ceiling Lights
- Outdoor Pendant Lighting
- Outdoor Chandeliers

Questions about Kichler 9023BK?

Contact us for advice or more details. Our product specialists are here to help.

- Call Us
- Email an Expert
- Live Chat



Frankie R.

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REMODEL & ADDITION

671 FRANKLIN STREET, MONTARA, CA



ABBREVIATIONS

@ #	AT NUMBER	N (N) N/A NA NIC NOM NR NSF NTS	NORTH NEW NOT APPLICABLE NOT AVAILABLE NOT IN CONTRACT NOMINAL NON-RATED NET SQUARE FEET NOT TO SCALE
BLDG BLK BLKG BM BOT	BUILDING BLOCK BLOCKING BEAM BOTTOM	O OA OC OD	OVEN OVERALL ON CENTER OUTSIDE DIAMETER OR OVERFLOW DRAIN
CAB CB CL CLG CLST CMU CO COL CONC CONT	CABINET CATCH BASIN CENTERLINE CEILING CLOSET CONCRETE MASONRY UNIT CLEAN OUT COLUMN CONCRETE CONTINUOUS	OFF OPNG OH O/H OPP PL PLYWD PR PT	OFFICE OPENING OVERHANG OVERHEAD OPPOSITE PLATE OR PROPERTY LINE PLYWOOD PAIR POINT OR PRESSURE TREATED
D DBL DEPT DEG DIA DIM DN DR DS DW DWG	DRYER DOUBLE DEPARTMENT DEGREES DIAMETER DIMENSION DOWN DOOR DOWNSPOUT DISHWASHER DRAWING	R RAG RD REF REINF REQ'D REV RHB RM RO ROW	RADIUS RETURN AIR GRILLE ROOF DRAIN REFRIGERATOR REINFORCED OR REINFORCEMENT REQUIRED REVISION RADIANT HEATING BOILER ROOM ROUGH OPENING RIGHT-OF-WAY
(E) EA ELEC ELEV ENG EQPT EXT	EXISTING EACH ELECTRICAL ELEVATION ENGINEER EQUIPMENT EXTERIOR	S SB SCHD SD	SOUTH SETBACK SCHEDULE SMOKE DETECTOR/STORM DRAIN
FAU FAR FD FF FIN FL FLUOR FOUND FP FT FTG FURN	FORCED AIR UNIT FLOOR AREA RATIO FLOOR DRAIN FINISHED FLOOR FINISH FLOOR FLUORESCENT FOUNDATION FIREPLACE FOOT OR FEET FOOTING FURNACE	SF SH SHT SHWR SHTG SIM SL SPEC SQ SS STL STOR STRUCT SUB SUBFLR SW SYM	SQUARE FEET OR SQUARE FOOT SHOWER HEAD SHEET SHOWER SHEATHING SIMILAR SLIDING SPECIFICATION SQUARE SANITARY SEWER STEEL STORAGE STRUCTURAL SUBCONTRACTOR SUBFLOOR SHEAR WALL SYMMETRICAL
G GA GALV GC GD GL GR GYP BD	GAS GAUGE GALVANIZED GENERAL CONTRACTOR GARBAGE DISPOSAL GLASS GRADE GYPSUM BOARD	T T & G TBD TEL THK TO TOC TOP TOS TOW TP TV TYP	TILE, TREAD, TOP, OR TRANSFORMER TONGUE AND GROOVE TO BE DETERMINED TELEPHONE THICK TOP OF TOP OF CURB TOP OF PLATE TOP OF SUBFLOOR TOP OF WALL TOP OF PAVEMENT TELEVISION TYPICAL
HC HDR HDWD HT HORIZ HR INSUL INT JT	HANDICAP HEADER HARDWOOD HEIGHT HORIZONTAL HOUR INSULATION INTERIOR JOINT OR JOINT TRENCH	UNO VERT	UNLESS NOTED OTHERWISE VERTICAL
LINEN LAM LAV LT	LINEN CLOSET LAMINATE LAVATORY LIGHT	W W/ WC WD WH W x H WNDW W/O WP WR WT	WEST, WASHER, OR WATER WITH WATER CLOSET WOOD WATER HEATER WIDTH BY HEIGHT WINDOW WITHOUT WATERPROOF WATER RESISTANT WEIGHT
MAX MECH MFR MH MIN MISC MLDG MTD MTL	MAXIMUM MECHANICAL MANUFACTURER MANHOLE MINIMUM MISCELLANEOUS MOULDING MOUNTED METAL		

PROJECT SCOPE

PARTIAL REMODEL AND SINGLE STORY ADDITION AT FRONT/RIGHT OF (E) 2-STORY HOME TO CONVERT (E) SINGLE CAR GARAGE TO (N) GUEST BEDROOM & BATHROOM, AND CREATE A (N) COVERED FRONT PORCH. REMOVE (E) EXTERIOR STAIRS TO RELOCATE MAIN HOME ENTRY TO LEVEL 1. ENCLOSE (E) UNCOVERED DECK OFF OF MASTER BEDROOM TO CREATE (N) OFFICE. REMOVE (E) RAISED PLANTERS AND PORTION OF (E) FENCE AND ADD (N) CONCRETE PATIO.

PLANNING DATA

PROJECT COMMON ADDRESS:
671 FRANKLIN STREET
MONTARA, CA 94037
ASSESSOR'S PARCEL NUMBER: 036-122-340
ZONING: R-1/S-17 SINGLE FAMILY RESIDENTIAL

BUILDING CODE DATA

TYPE OF OCCUPANCY: R3/U
CONSTRUCTION TYPE: VB
BEARING AND NON-BEARING WALLS (LESS THAN 5' FROM PROPERTY LINE): 1-HOUR
OPENINGS NOT PERMITTED LESS THAN 3' FROM PROPERTY LINE
NUMBER OF STORIES: 2
ALL WORK TO CONFORM TO 2019 CRC, CBC, CFC, CPC, CMC, CEC, CEnC, AND CGBC

PROJECT DIRECTORY

SERVICE	COMPANY	CONTACT	TELEPHONE
OWNER	JASON AMENT KRISTEEN NUNZIATI-AMENT		
DESIGN / DRAFTING	BRIAN BRINKMAN DRAFTING & DESIGN INC.	BRIAN BRINKMAN	(650) 922-7993
APPLICANT / BUILDER	ROCHA AND SON CONSTRUCTION	GREGORY ROCHA	(650) 712-8181

PROJECT NOTES

FIRE SPRINKLERS ARE NOT A PART OF THE PROJECT SCOPE. NO FIRE SUPPRESSION SYSTEM EXISTS AT THE PROPERTY. SMOKE DETECTORS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER CURRENT BUILDING CODE.

CALGREEN CONSTRUCTION REQUIREMENTS

- * CONTRACTOR SHALL PROVIDE, AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL TO THE OWNER OR OCCUPANT, ADDRESSING ITEMS 1 THROUGH 10 IN CALGREEN SECTION 4.410.1.
- * PER CALGREEN SECTION 4.408.2, CONTRACTOR SHALL PROVIDE AND SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN, DIVERTING A MINIMUM OF 65% OF WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE, TO THE BUILDING DEPARTMENT. THE FOLLOWING INFORMATION SHALL BE PROVIDED IN THE PLAN:
 - IDENTIFY MATERIALS TO BE RECYCLED, REUSED, OR SALVAGED
 - SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR MIXED FOR TRANSPORTATION
 - IDENTIFY THE DIVERSION FACILITY(IES) TO BE USED
 - IDENTIFY CONSTRUCTION METHODS TO BE USED TO LIMIT WASTE GENERATION
 - SPECIFY THAT THE AMOUNT OF MATERIALS DIVERTED ARE TO BE CALCULATED BY WEIGHT OR VOLUME
- * AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.
- * PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AND CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
- * COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION.
- * ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- * PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- * AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
- * VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- * CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
- * MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
- * PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD, AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- * INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS.
- * CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
- * EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- * DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.

PROJECT INFORMATION

LOT SIZE	9,375 SF
EXISTING LEVEL 1 (2)-CAR GARAGE (TO REMAIN)	531 SF
EXISTING LEVEL 1 (1)-CAR GARAGE (TO BE CONVERTED TO LIVING SPACE)	338 SF
EXISTING TOTAL LEVEL 1 LIVING AREA	633 SF
EXISTING SOLARIUM AREA	523 SF
EXISTING EXTERIOR STAIRS (TO BE REMOVED)	83 SF
EXISTING LEVEL 2 LIVING AREA	1,721 SF
EXISTING LEVEL 2 DECK AREA (TO BE CONVERTED TO LIVING SPACE)	106 SF
EXISTING TOTAL LIVING AREA	633 + 1,721 = 2,354 SF
EXISTING SHED (TO REMAIN)	96 SF
(E) TOTAL CONCRETE WALKWAYS, PATIOS, ETC.	733+328+209+103+118=1,491 SF
(N) TOTAL CONCRETE WALKWAYS, PATIOS, ETC.	733+328+209+115 = 1,385 SF
(N) PERVIOUS CONCRETE PATIO	750 SF
NEW TOTAL LEVEL 1 LIVING AREA	1,078 SF
NEW TOTAL LEVEL 2 LIVING AREA	1,829 SF
NEW TOTAL LIVING AREA	1,078 + 1,829 = 2,907 SF
TOTAL ADDED LIVING AREA	2,907 - 2,354 = 553 SF
NEW COVERED FRONT PORCH AREA	118 SF
EXISTING LOT COVERAGE	518 + 1,504 + 96 + 58 = 2,176 SF / 9,375 = 23.21%
NEW LOT COVERAGE	518 + 1,504 + 103 + 96 = 2,221 SF / 9,375 = 23.69%
EXISTING F.A.R.	518+1,504+96= 4,508 SF / 9,375 = 43.29%
NEW F.A.R.	2,252+1,892+96 = 4,240 SF / 9,375 = 45.23%

DRAWING INDEX

REV	DATE	DESCRIPTION
A0.0		TITLE SHEET
A0.1		MATERIALS PERSPECTIVE
1 OF 1		ORIGINAL SURVEY
A1.1		EXISTING SITE PLAN
A1.2		NEW SITE PLAN
A1.3		EROSION CONTROL PLAN
A2.1		EXISTING LEVEL 1 FLOOR PLAN
A2.2		EXISTING LEVEL 2 FLOOR PLAN
A3.1		NEW LEVEL 1 FLOOR PLAN
A3.2		NEW LEVEL 2 FLOOR PLAN
A3.3		NEW ROOF PLAN
A3.4		FLOOR AREA AND LOT COVERAGE DIAGRAMS
A4.1		EXISTING AND NEW FRONT ELEVATIONS
A4.2		EXISTING AND NEW LEFT ELEVATIONS
A4.3		EXISTING AND NEW REAR ELEVATIONS
A4.4		EXISTING AND NEW RIGHT ELEVATIONS
A4.5		CROSS SECTIONS

PROJECT NAME:
**PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
AMENT / NUNZIATI-AMENT RESIDENCE**

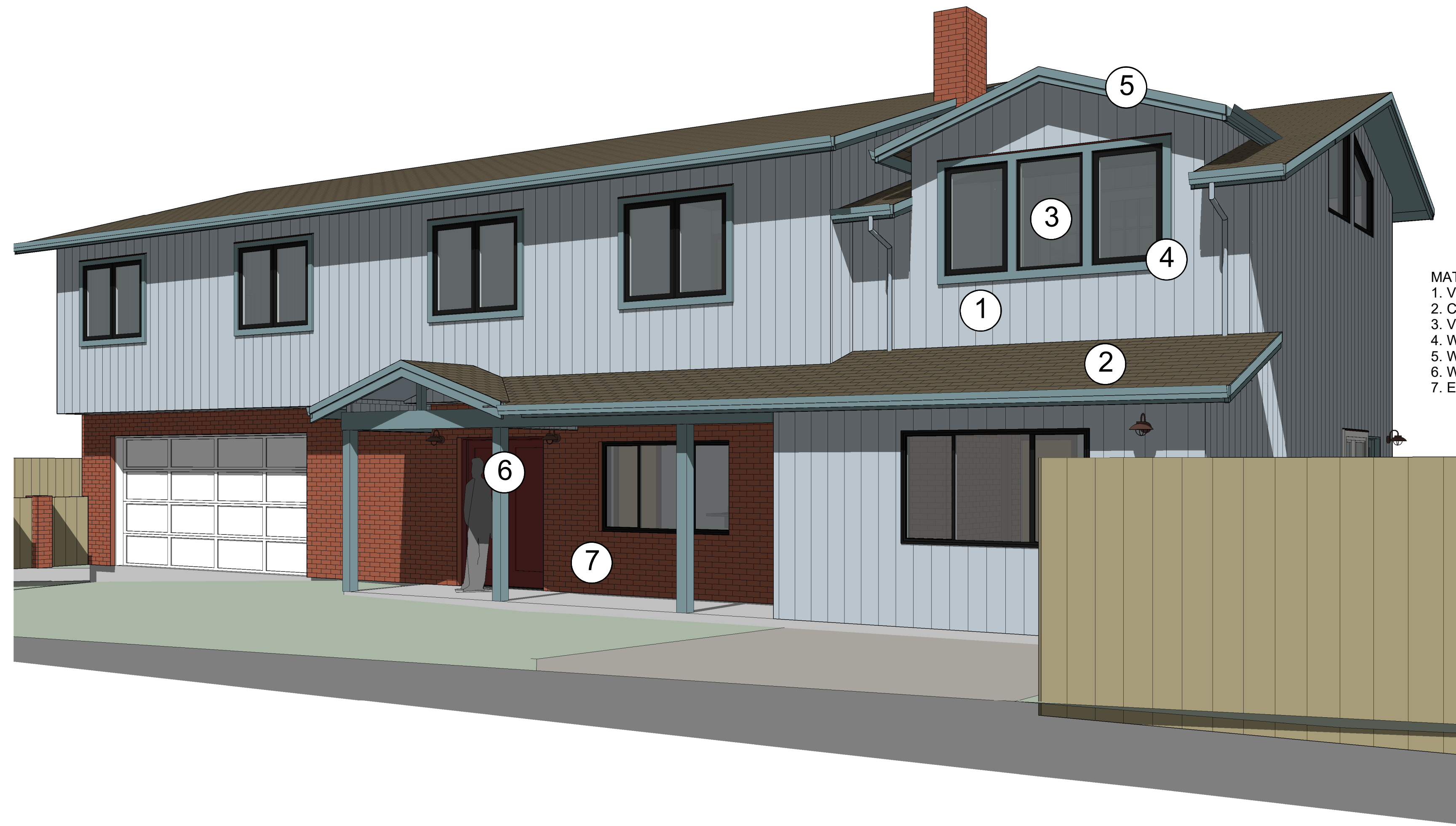
PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

SHEET TITLE
TITLE SHEET

SHEET
A0.0



ROCHA & SON
CONSTRUCTION
LIC. 838772



- MATERIALS:**
1. VERTICAL SIDING PAINTED TO MATCH EXISTING (BLUEISH-GREY)
 2. COMPOSITION ASPHALT SHINGLES TO MATCH EXISTING (BROWN)
 3. VINYL WINDOWS WITH DARK COLOR SASH TO MATCH EXISTING (BRONZE)
 4. WOOD TRIM PAINTED TO MATCH EXISTING (DARKER BLUEISH-GREY)
 5. WOOD FASCIA SIZED AND PAINTED TO MATCH EXISTING (DARKER TEAL)
 6. WOOD PORCH FRAMING PAINTED TO MATCH TRIM COLOR (DARKER BLUEISH-GREY)
 7. EXISTING BRICK VENEER TO REMAIN

① MATERIALS PERSPECTIVE

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6	02/10/2021	PLANNING RESUBMITTAL

PROJECT NAME:
PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
AMENT / NUNZIATI-AMENT RESIDENCE

PROJECT ADDRESS:
671 FRANKLIN STREET
MONTARA, CA 94037

PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

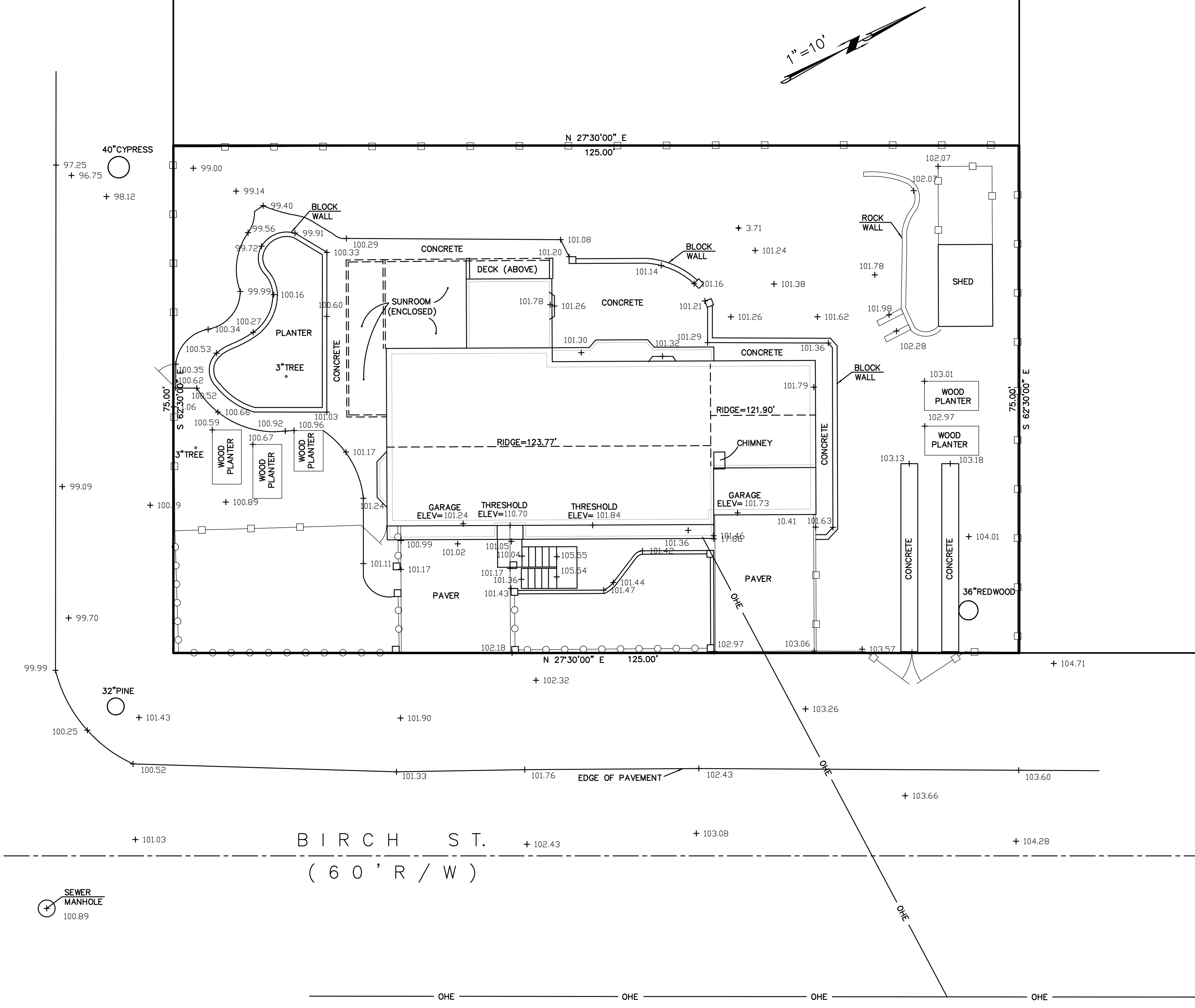
SHEET TITLE

**MATERIALS
PERSPECTIVE**

SHEET

A0.1

FRANKLIN ST.



BIRCH ST.
(60' R / W)

BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE OCTOBER 2020. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN.



SAVIDR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 709-2423

10-19-20
DATE

SAVIDR P. MICALLEF LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
805/709-2423

TOPOGRAPHIC SURVEY OF
671 FRANKLIN STREET

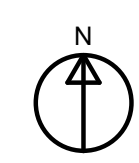
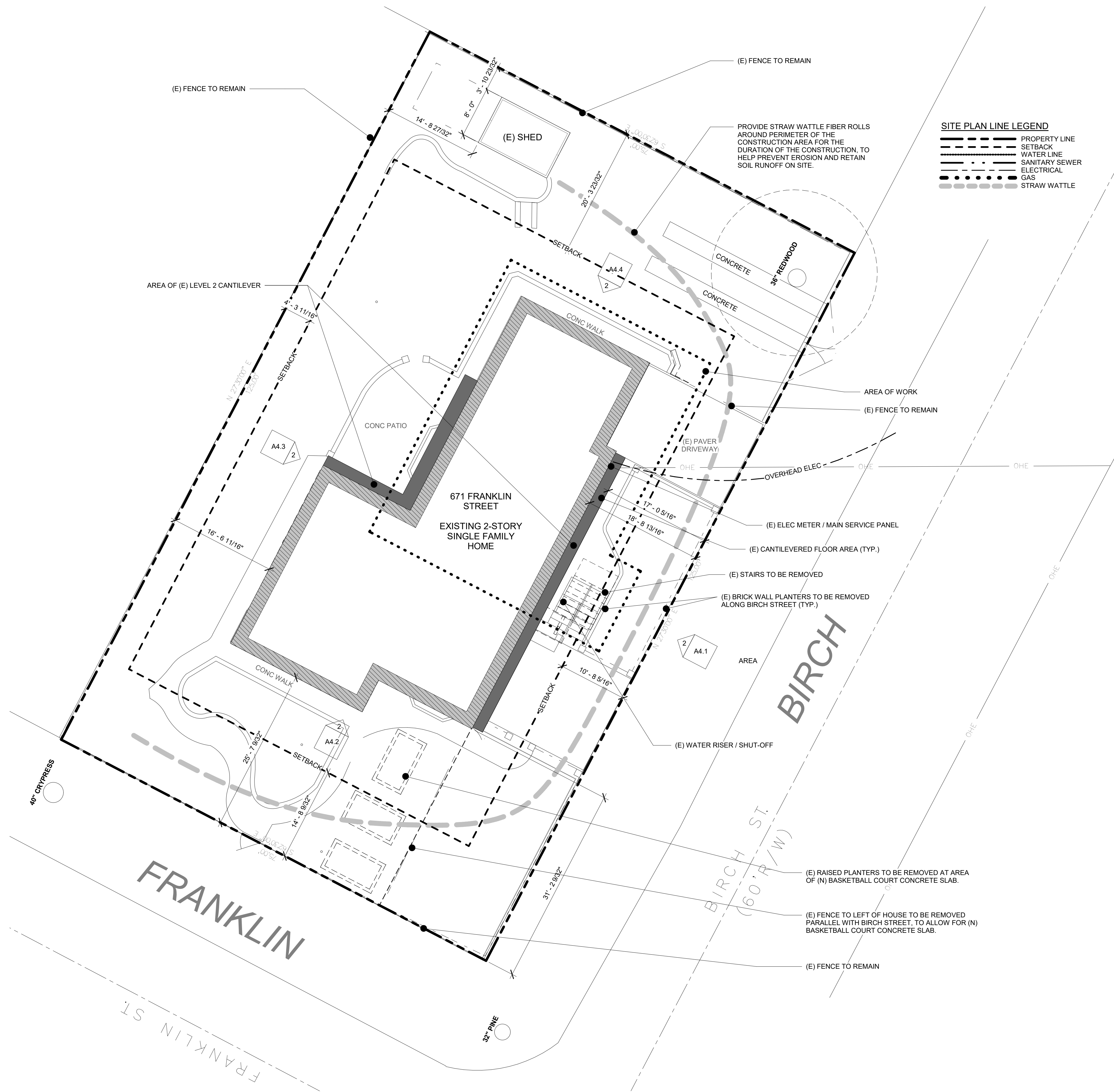
UNINCORPORATED SAN MATEO COUNTY

CALIFORNIA

Revisions	No.	Date	5-25-12
		Scale	1"=10'
		Design	SPM
		Drawn	SPM
		Approved	SPM
		Job No	
Drawing Number:			
1 OF 1			



ROCHA & SON
CONSTRUCTION
Lic. 838772



1 EXISTING SITE PLAN
1/8" = 1'-0"

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PROJECT NAME:
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PROJECT ADDRESS:
671 FRANKLIN STREET
MONTARA, CA 94037

SHEET TITLE
EXISTING SITE PLAN

SHEET
A1.1

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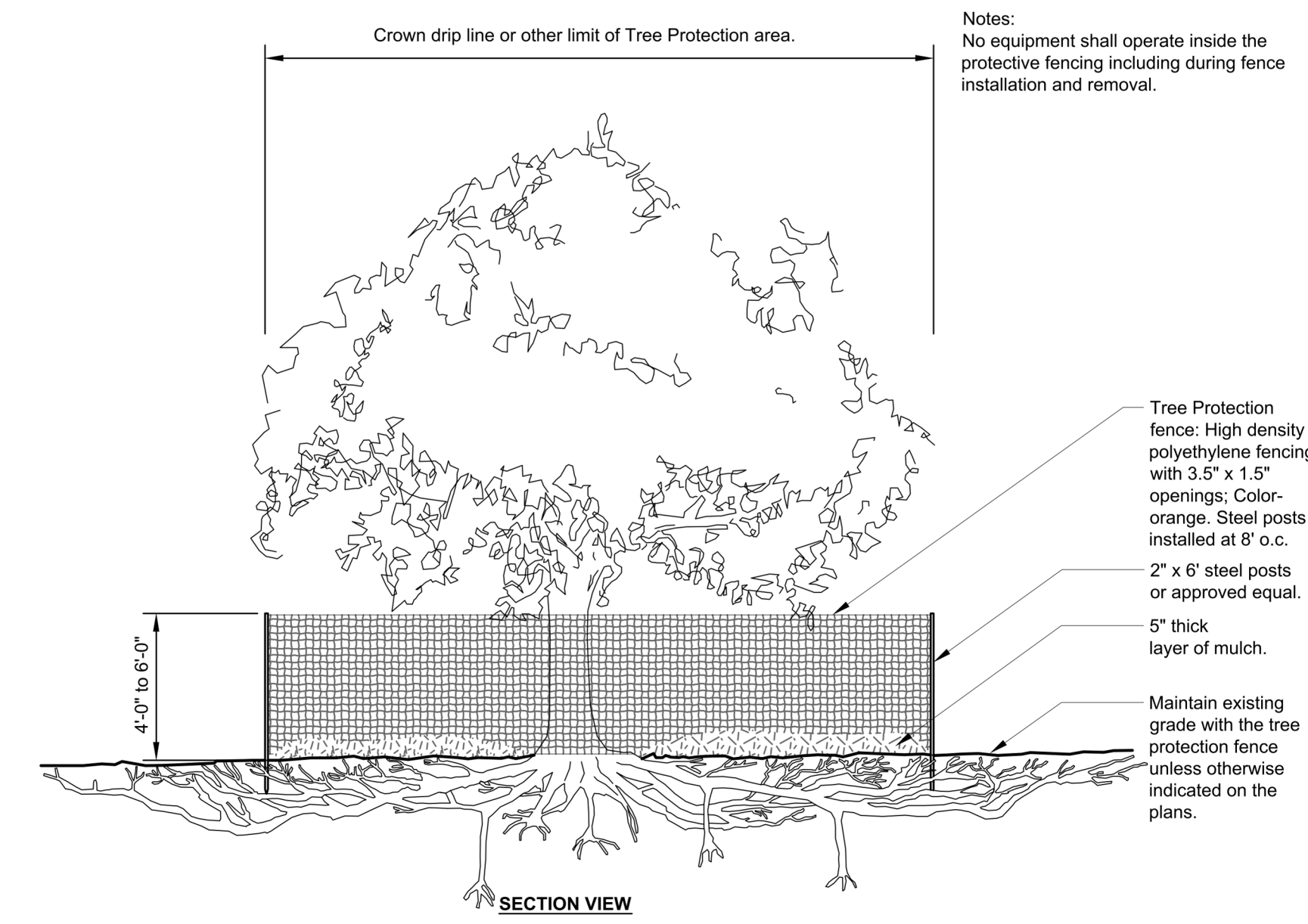
PROJECT NAME:
**PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
AMENT / NUNZIATI-AMENT RESIDENCE**

PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

PROJECT ADDRESS:
**671 FRANKLIN STREET
MONTARA, CA 94037**

SHEET TITLE
NEW SITE PLAN

SHEET
A1.2

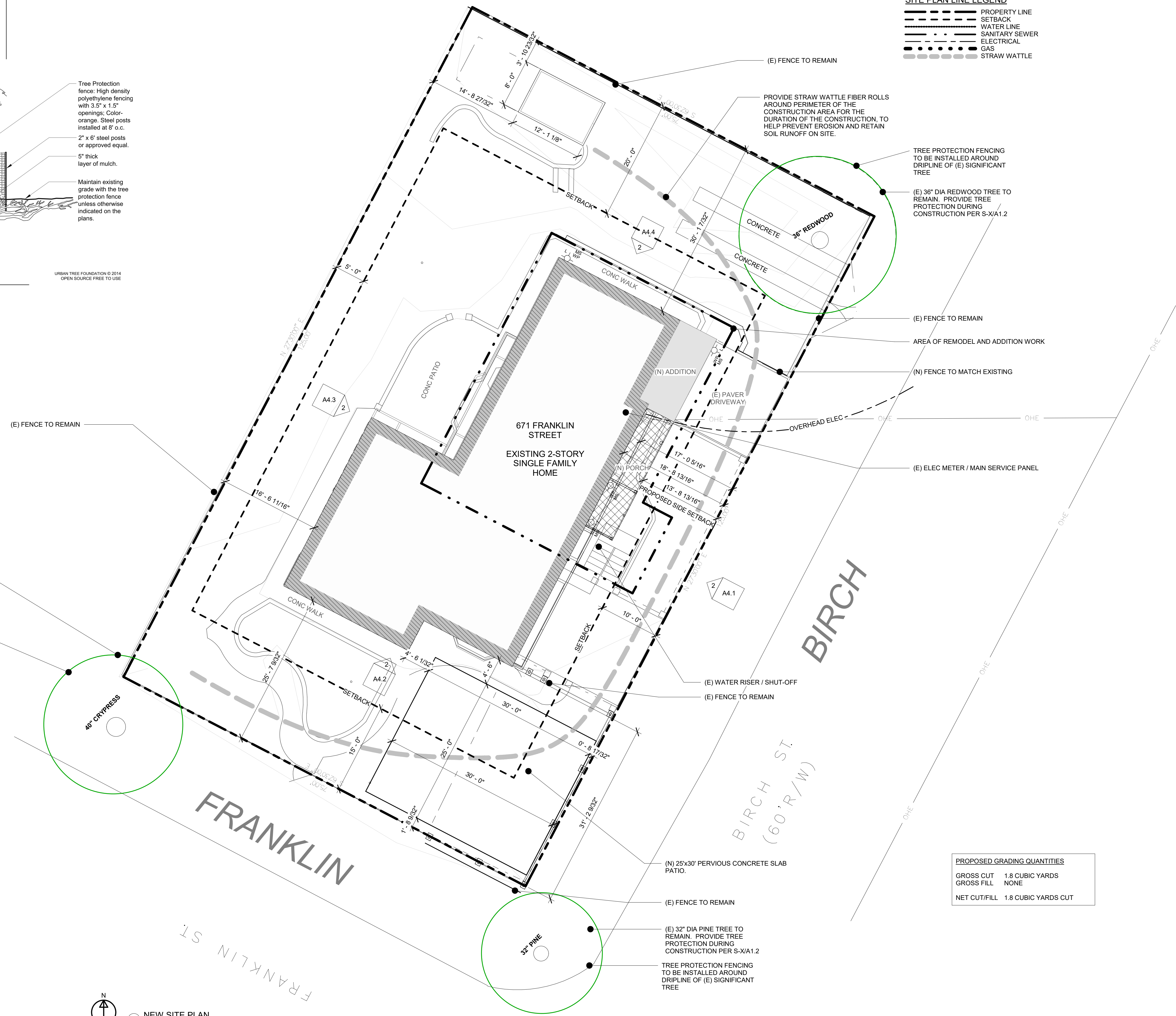


S-X TREE PROTECTION

URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE

SITE PLAN LINE LEGEND

---	PROPERTY LINE
- - - -	SETBACK
---	WATER LINE
- - - -	SANITARY SEWER
---	ELECTRICAL
---	GAS
---	STRAW WATTLE

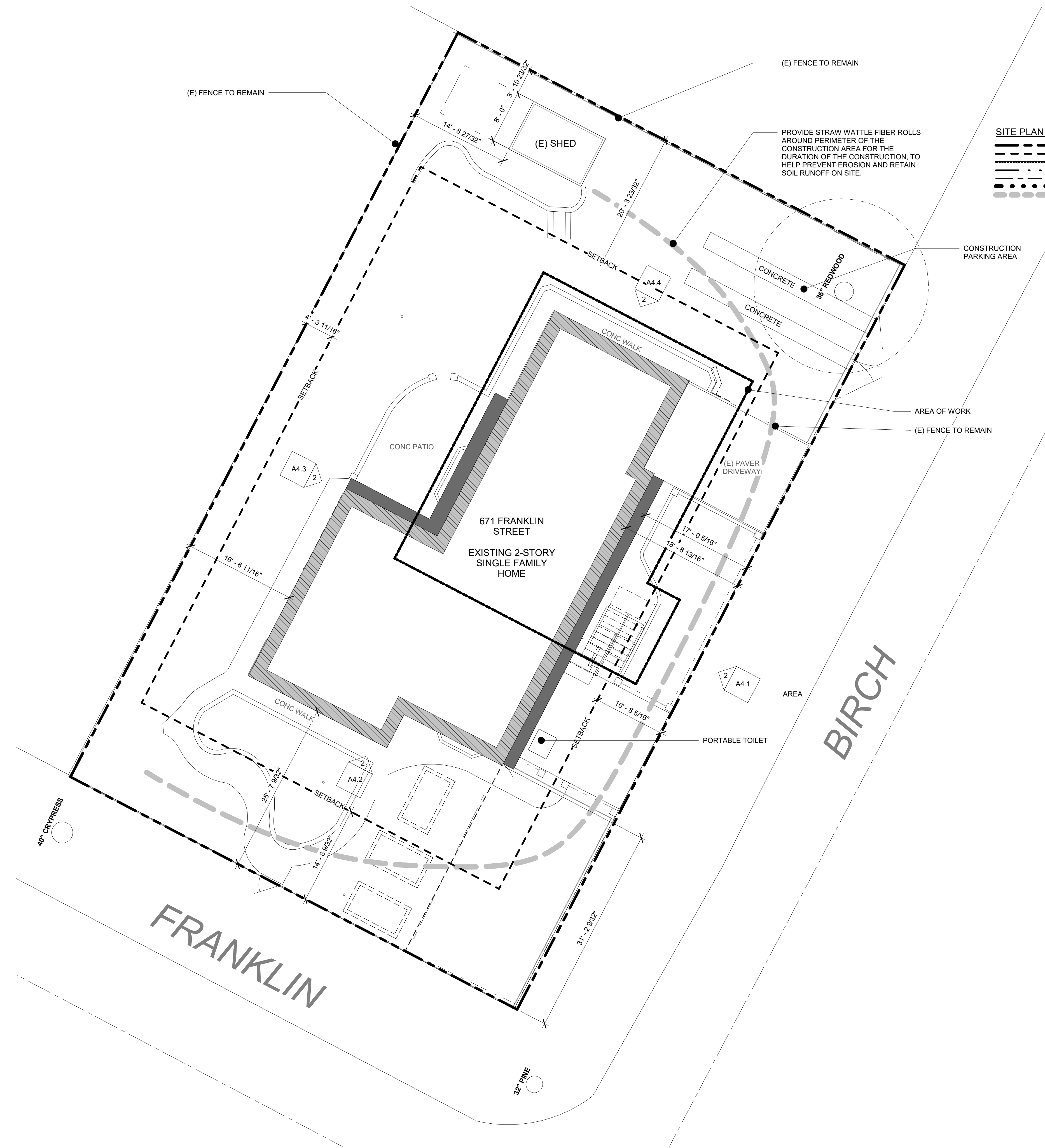


PROPOSED GRADING QUANTITIES

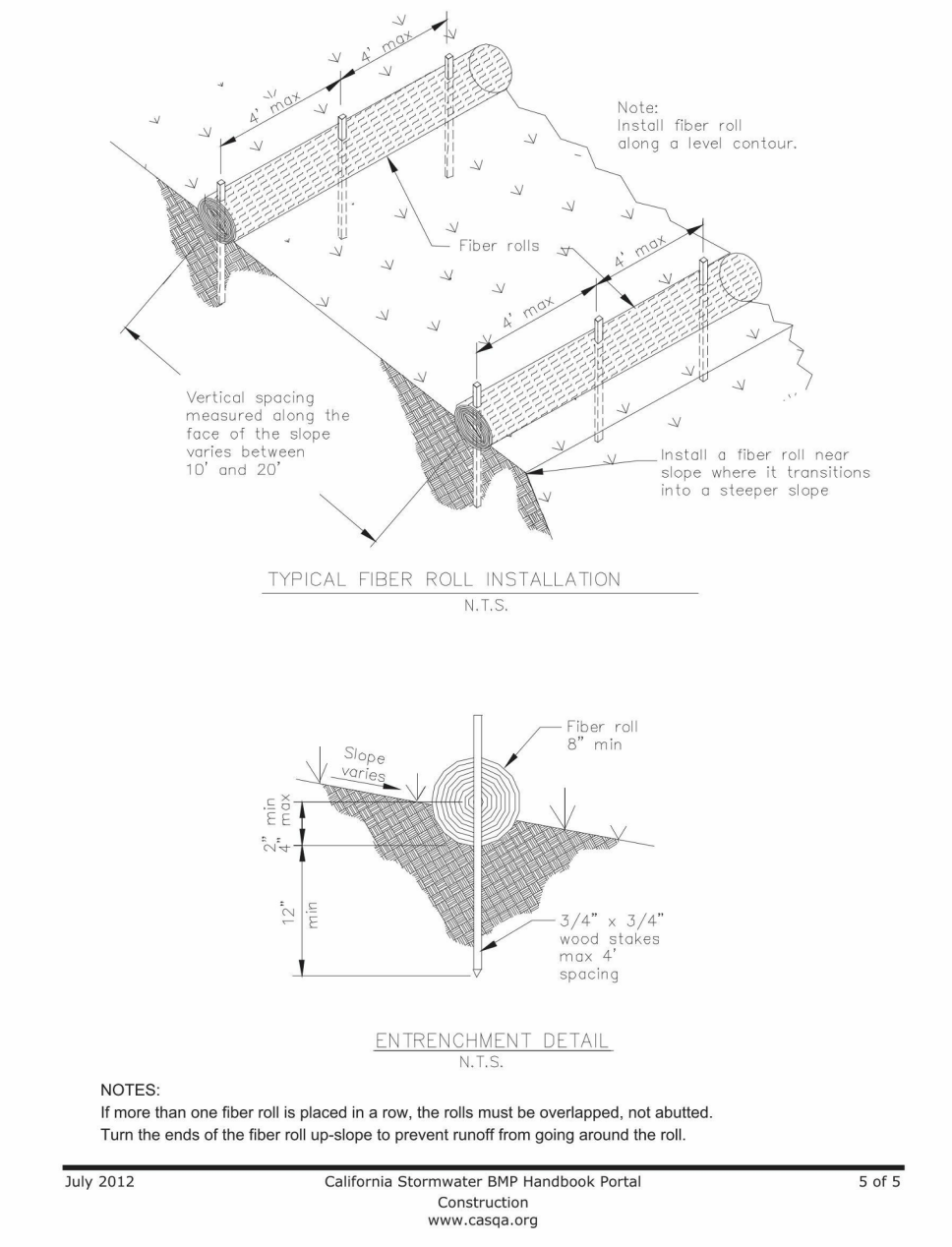
GROSS CUT	1.8 CUBIC YARDS
GROSS FILL	NONE
NET CUT/FILL	1.8 CUBIC YARDS CUT

1 NEW SITE PLAN
1/8" = 1'-0"

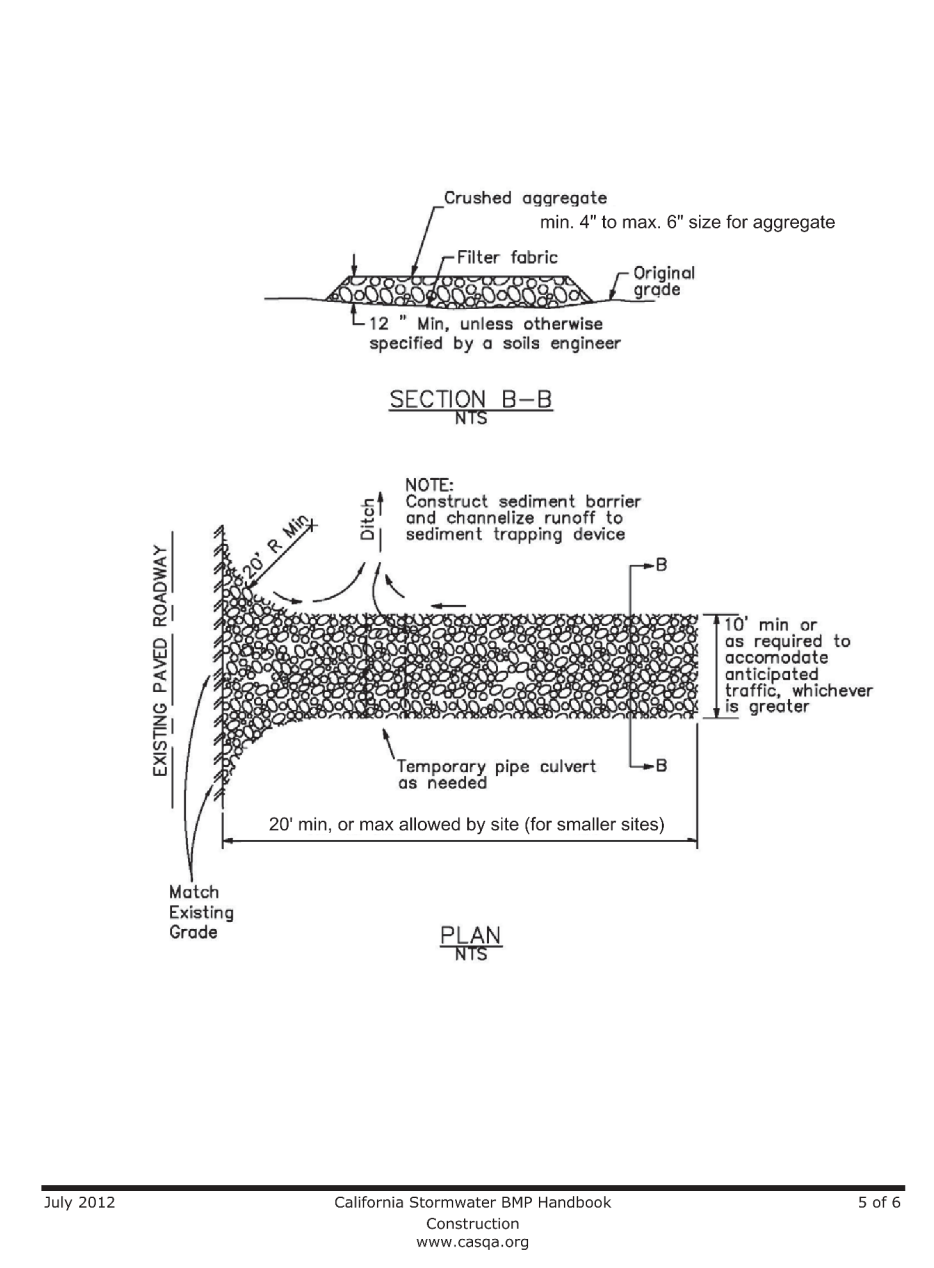
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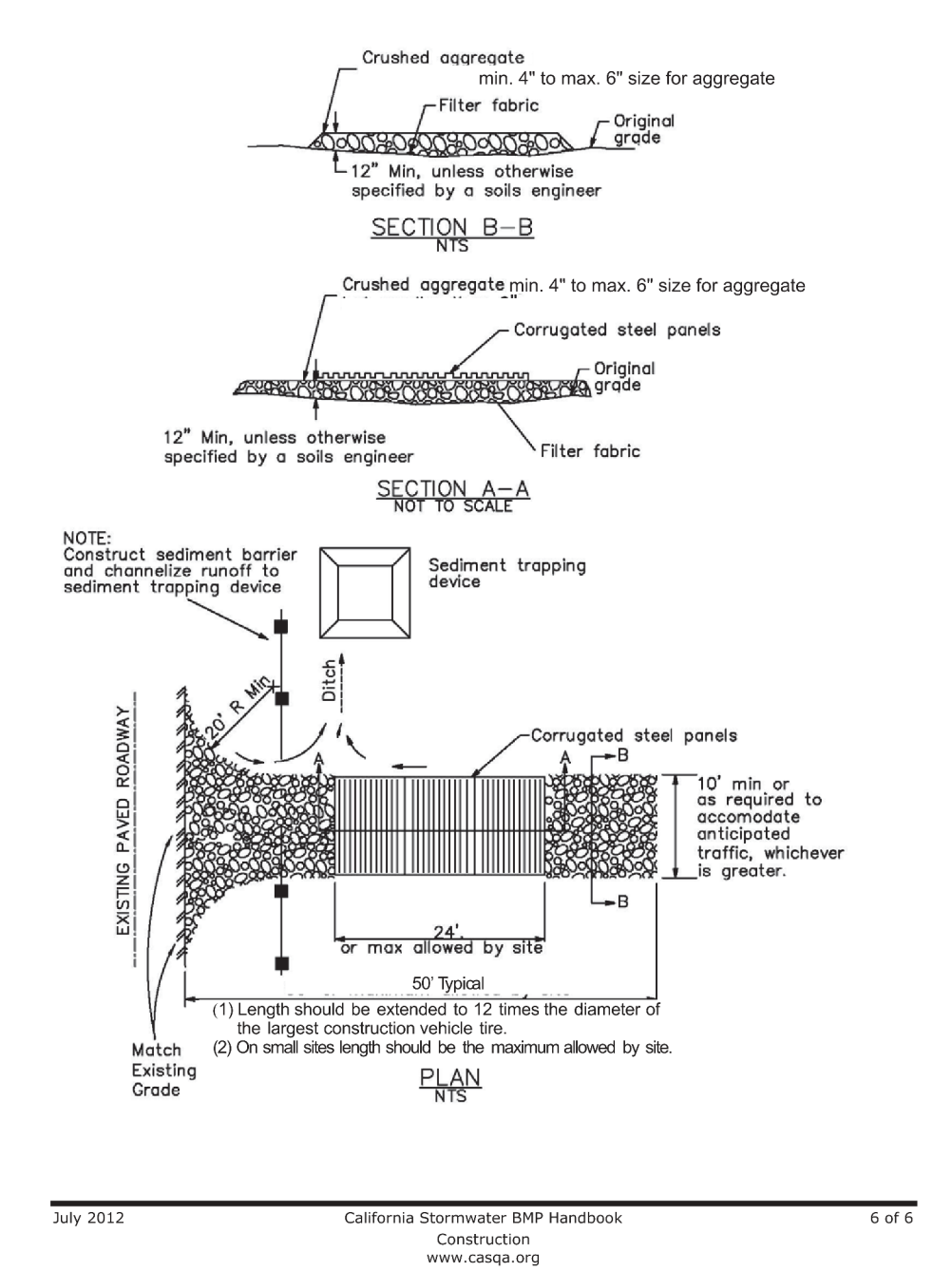
Fiber Rolls SE-5



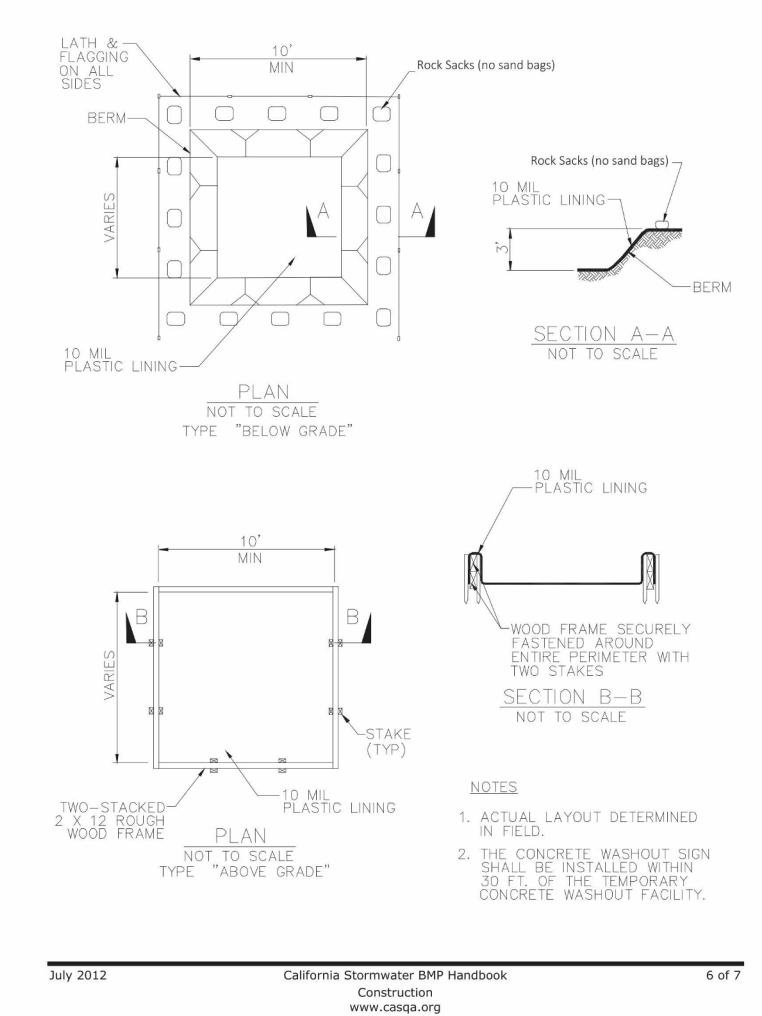
Stabilized Construction Entrance/Exit TC-1



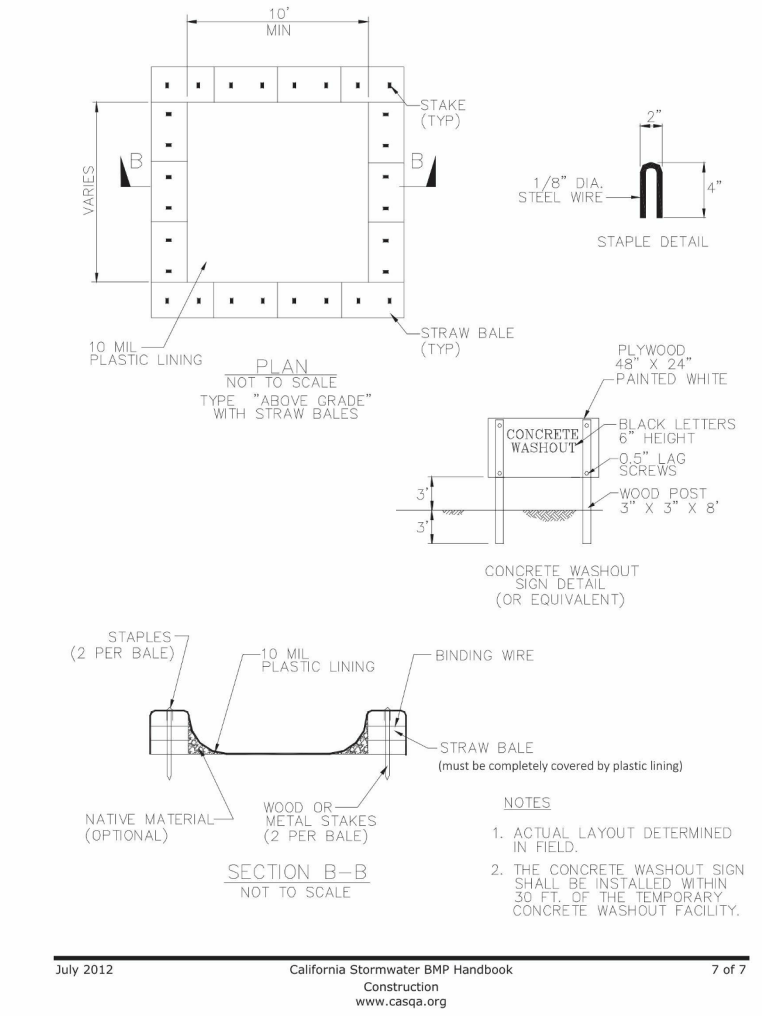
Stabilized Construction Entrance/Exit TC-1



Concrete Waste Management WM-8



Concrete Waste Management WM-8



① EROSION CONTROL PLAN
1/8" = 1'-0"



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PROJECT NAME:
PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
AMENT / NUNZIATI-AMENT RESIDENCE

PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

PROJECT ADDRESS:
671 FRANKLIN STREET
MONTARA, CA 94037

SHEET TITLE
EROSION CONTROL PLAN

SHEET
A1.3

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EXISTING PLUMBING FIXTURES NOTES

EXISTING PLUMBING FIXTURES WITHIN THE HOUSE THAT DO NOT MEET THE COMPLIANT FLOW RATES SHALL BE REPLACED, PER THE FOLLOWING:

- WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF SHALL BE REPLACED WITH WATER CLOSETS WITH A MAX FLOW RATE OF 1.28 GPF.
- SHOWER HEADS WITH A FLOW RATE IN EXCESS OF 2.5 GPM SHALL BE REPLACED WITH SHOWER HEADS WITH A MAX FLOW RATE OF 1.8 GPM.
- LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE IN EXCESS OF 2.2 GPM SHALL BE REPLACED WITH FAUCETS WITH A MAX FLOW RATE OF 1.2 GPM (1.8 GPM FOR KITCHEN FAUCETS).

NEW PLUMBING FIXTURE NOTES:

- MAX FLOW RATE OF SHOWERHEADS SHALL BE 1.8 GPM
- MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.2 GPM
- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
- ALL TOILETS SHALL BE MAX 1.28 GPF

EGRESS NOTES:

AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:

- MIN. 5.7 SF IN OVERALL SIZE
- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR

GENERAL NOTES:

- ALL FRAMING DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

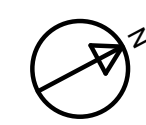
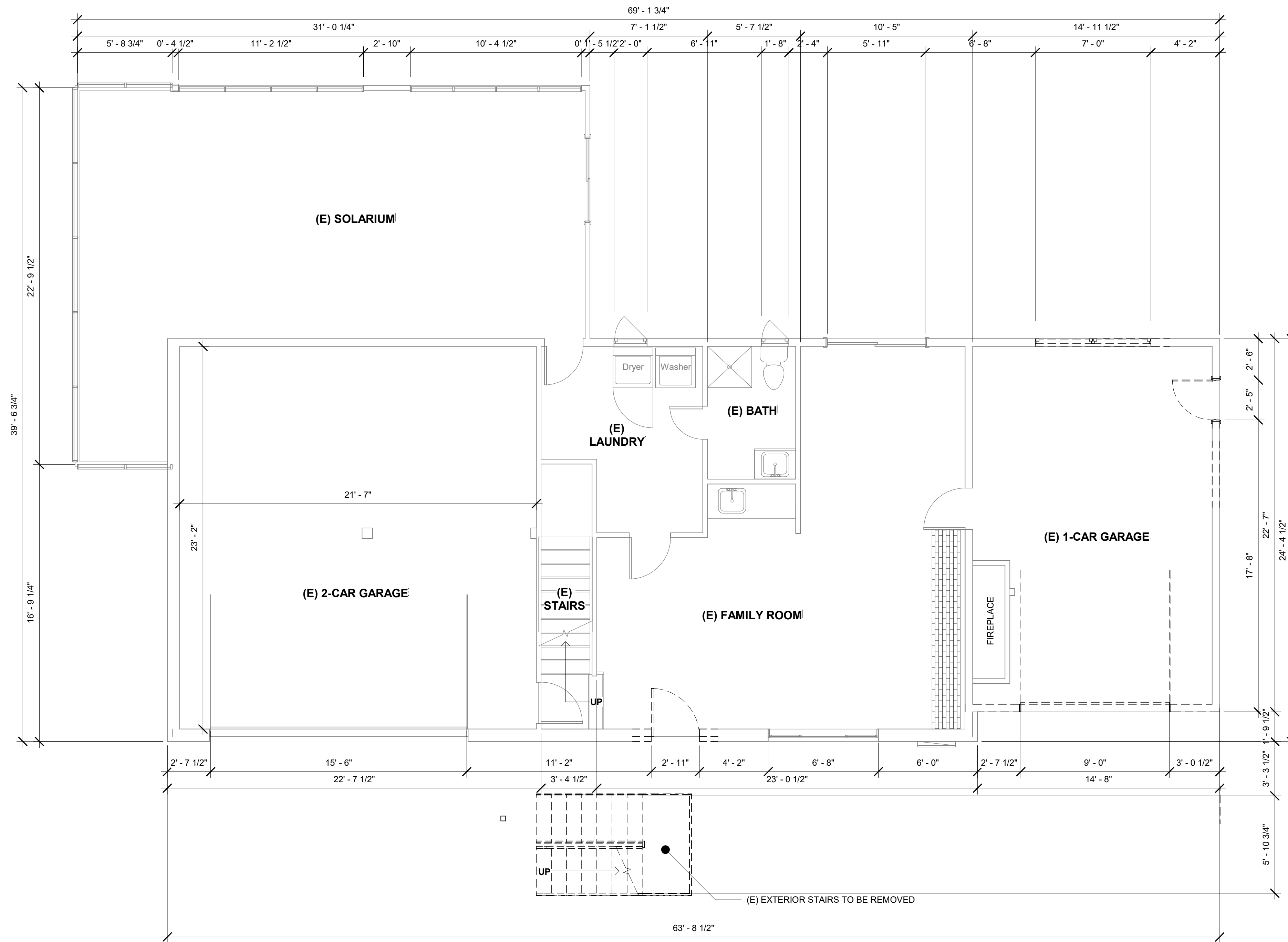
DEMO NOTES

1. HOME PROTECTION: PROVIDE BUILDCLEAN SYSTEM.
2. SELECTIVE DEMOLITION: REMOVE EXISTING DOORS AND WINDOWS IN EXISTING 1-CAR GARAGE, REMOVE ENTIRE EXTERIOR STAIRS, REMOVE WALLS AND DOOR MAKING ENTRY ALCOVE AT EXISTING LEVEL 2. KEEP GARAGE CABINETS FOR FUTURE REUSE.

WALL LEGEND

- PROPOSED STUD WALL
- PROPOSED PARTIAL HEIGHT WALL
- EXISTING / PROPOSED CONCRETE WALL
- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED

NOTE:
WALLS, DOORS, WINDOWS, CABINETS, FIXTURES,
ECT. SHOWN DASHED TO BE REMOVED (TYP.)



1 EXISTING LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



ROCHA & SON
CONSTRUCTION
LIC. 838772

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PROJECT ADDRESS:
**671 FRANKLIN STREET
MONTARA, CA 94037**

PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

SHEET TITLE
**EXISTING LEVEL
1 FLOOR PLAN**

SHEET
A2.1

EXISTING PLUMBING FIXTURES NOTES

EXISTING PLUMBING FIXTURES WITHIN THE HOUSE THAT DO NOT MEET THE COMPLIANT FLOW RATES SHALL BE REPLACED, PER THE FOLLOWING:

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GENERAL NOTES:

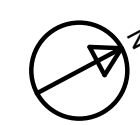
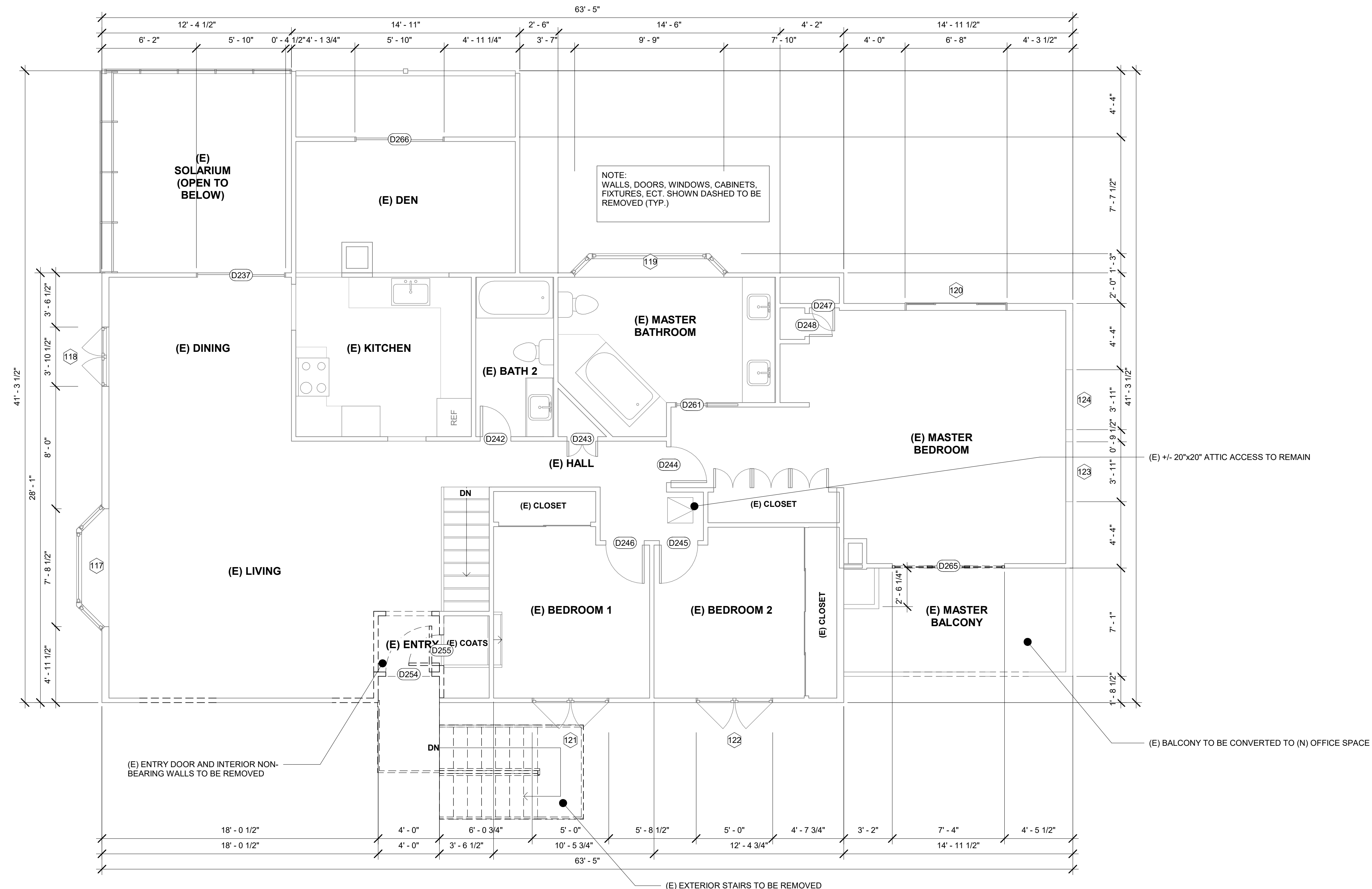
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WALL LEGEND

- PROPOSED STUD WALL
- PROPOSED PARTIAL HEIGHT WALL
- EXISTING / PROPOSED CONCRETE WALL
- EXISTING WALL TO REMAIN
- ⊔ ⊔ ⊔ WALL TO BE DEMOLISHED



1 EXISTING LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



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**PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
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OF (E) EXTERIOR STAIRWAY

PROJECT ADDRESS:
671 FRANKLIN STREET
MONTARA, CA 94037

SHEET TITLE
**EXISTING LEVEL
2 FLOOR PLAN**

SHEET
A2.2

EXISTING PLUMBING FIXTURES NOTES

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AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:

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- SILL A MAX. OF 44" ABOVE FINISHED FLOOR

GENERAL NOTES:

- ALL FRAMING DIMENSIONS ARE TO RUGH FRAMING UNLESS OTHERWISE NOTED.

SCOPE OF WORK NOTES

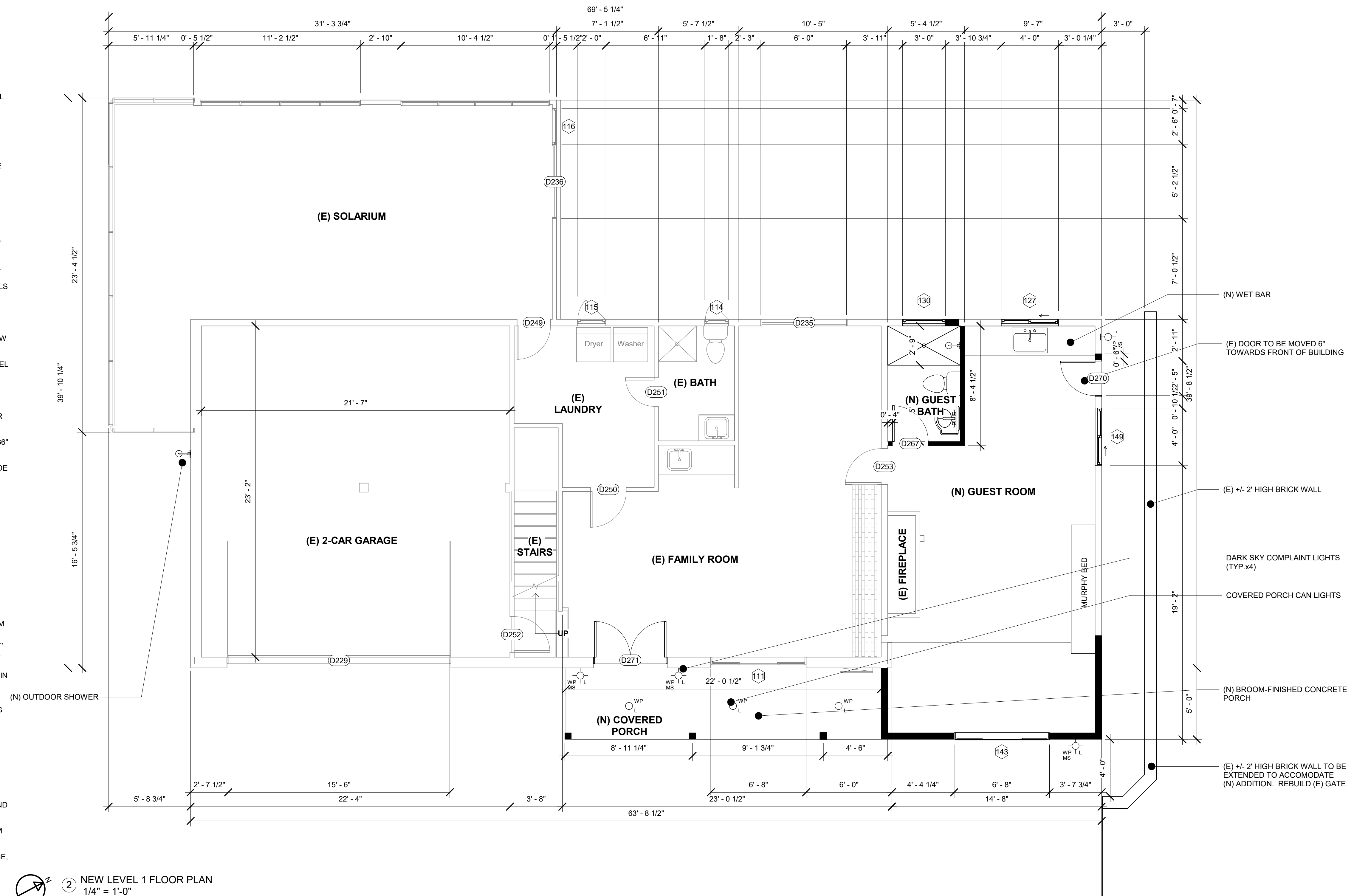
- ACCESSORIES:** INSTALL CLIENT-SUPPLIED TOILET PAPER HOLDER, TOWEL RING, AND TOWEL BAR.
- APPLIANCES:** INSTALL CLIENT-SUPPLIED UNDER-COUNTER FRIDGE AT NEW GUEST ROOM.
- CABINETS - BATHROOM:** INSTALL CLIENT-SUPPLIED RECESSED MEDICINE CABINET.
- CABINETS - KITCHEN:** INSTALL APPROX. 9 LINEAL FEET OF BASE CABINETS AT KITCHEN AREA OF NEW GUEST ROOM, AND OPEN SHELVES IN LIEU OF UPPER CABINETS.
- CONCRETE:** INSTALL APPROXIMATELY 5'X15' NEW SLAB FOUNDATION WITH PERIMETER FOOTING FOR (N) ADDITION AND APPROXIMATELY 5'X22' CONCRETE SLAB WITH BROOM FINISH FOR (N) FRONT PORCH. PROVIDE (N) 25'X30' CONCRETE SLAB FOR NEW PARTIAL HALF COURT BASKETBALL COURT.
- COUNTERTOPS - KITCHEN:** PROVIDE AND INSTALL APPROXIMATELY 9 LINEAL FEET OF QUARTZ COUNTERTOP WITH 1 UNDERMOUNT SINK CUTOUT WITH 6" MATCHING QUARTZ BACKSPLASH.
- DOORS - EXTERIOR:** INSTALL 1 NEW CLIENT-SUPPLIED DOUBLE BORE FIBERGLASS DOOR WITH BRONZE THRESHOLD, WHITE WEATHERSTRIPPING, AND SATIN NICKEL HARDWARE AT NEW GUEST BEDROOM. INSTALL 1 NEW CLIENT-SUPPLIED DOUBLE BORE FIBERGLASS ENTRY DOOR WITH 2 SIDELITES, WITH BRONZE THRESHOLD, WHITE WEATHERSTRIPPING, AND SATIN NICKEL HARDWARE AT NEW MAIN FRONT ENTRY.
- DOORS - INTERIOR:** INSTALL CLIENT-SUPPLIED SOLID CORE, 6 PANEL SQUARE DOOR (TO MATCH EXISTING) WITH SATIN NICKEL HARDWARE. INSTALL CLIENT-SUPPLIED HALF-LITE FRENCH DOORS WITH SATIN NICKEL HARDWARE AT OFFICE.
- DRYWALL:** PROVIDE NEW DRYWALL AT ALL NEW AND EXPOSED ROUGH FRAMING (WALLS AND CEILING), PATCHING AROUND DOORS AND WINDOWS AS NECESSARY. PROVIDE ORANGE PEER TEXTURED FINISH THROUGHOUT NEW OFFICE, GUEST BEDROOM, AND BATHROOM.
- ELECTRICAL:** INSTALL NEW WHITE OUTLETS AND ROCKER STYLE SWITCHES, PER PLANS. PROVIDE AND INSTALL NEW LIGHT/FAN COMBO AT NEW BATHROOM, WITH NEW VENT COMPLETE. INSTALL 6 NEW RECESSED 4" LED CAN LIGHTS IN NEW GUEST ROOM, 3 IN KITCHEN AREA OF GUEST ROOM, AND 4 IN NEW OFFICE. INSTALL 2 NEW RECESSED 6" LED EXTERIOR CAN LIGHTS AT NEW COVERED FRONT PORCH. ADD 1 NEW CARBON MONOXIDE AND SMOKE ALARM AT LEVEL 1.
- ELECTRICAL FIXTURES:** INSTALL 1 NEW CLIENT-SUPPLIED LIGHT FIXTURE ABOVE NEW BATHROOM VANITY. INSTALL 2 WALL MOUNTED EXTERIOR LIGHT FIXTURES (ONE ON EITHER SIDE OF NEW FRONT DOOR).
- EXCAVATION AND FILL:** EXCAVATE AS NECESSARY FOR NEW FOOTINGS FOR CONCRETE SLAB FOUNDATION AND CONCRETE SLAB PORCH. EXCAVATE AS NECESSARY FOR APPROXIMATE 7' EXTENSION OF EXISTING 2' HIGH BRICK WALL AT SIDE OF HOUSE.
- FENCES AND GATES:** EXTEND EXISTING 6' HIGH REDWOOD FENCE APPROXIMATELY 5' WITH NEW 36" GATE AT RIGHT SIDE OF GARAGE.
- FINISH CARPENTRY:** PROVIDE AND INSTALL NEW PRIMED PINE BASEBOARD AT NEW GUEST BEDROOM AND BATHROOM, AND NEW OFFICE. TO MATCH EXISTING. PROVIDE AND INSTALL NEW PRIMED PINE PICTURE STYLE CASING AT WINDOW TRIM/JAMB.
- FLOORING:** INSTALL NEW VINYL FLOORING AT NEW GUEST BEDROOM AND BATHROOM (MIMICKING WOOD), AND NEW ENGINEERED WOOD FLOORING AT NEW OFFICE.
- GUTTERS & DOWNSPOUTS:** PROVIDE AND INSTALL NEW SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS AT NEW ROOFS, TO MATCH EXISTING.
- HOME PROTECTION:** PROVIDE BUILDCLEAN SYSTEM.
- INSULATION:** PROVIDE AND INSTALL NEW BATT INSULATION AT EXTERIOR WALLS OF NEW LIVING SPACES, AND AT CEILING OF NEW OFFICE.
- MASONRY & STONE:** EXTEND EXISTING 2' HIGH BRICK WALL AT RIGHT SIDE OF GARAGE APPROXIMATELY 7' TO ALLOW FOR NEW GATE AND FENCE AT FRONT RIGHT CORNER OF NEW ADDITION.
- PAINTING - EXTERIOR:** PAINT NEW T1-11 SIDING AT AREAS OF WORK, TO MATCH EXISTING.
- PAINTING - INTERIOR:** PAINT ALL WALLS, CEILINGS, BASEBOARD, AND DOOR/WINDOW TRIM AT AREAS OF WORK. PAINT NEW INTERIOR AND EXTERIOR DOORS, INCLUDING JAMBS AND CASING.
- PLUMBING:** SET NEW CLIENT-SUPPLIED TOILET AND FLANGE. INSTALL 1 NEW BATHROOM SINK, FAUCET, AND DRAIN WASTE WITH NEW SUPPLY LINES AND ANGLE STOPS. INSTALL 1 NEW CLIENT-SUPPLIED KITCHEN SINK, FAUCET, DISPOSAL, AND DRAIN WASTE AND ANGLE STOPS IN GUEST BEDROOM. INSTALL 1 NEW UNDER-COUNTER REFRIGERATOR AT NEW GUEST BEDROOM. INSTALL NEW STANDARD CLIENT-SUPPLIED SHOWER VALVE AND FIXTURE AT NEW GUEST BEDROOM. ADD OUTDOOR SHOWER AT LEFT SIDE OF (E) GARAGE TO REMAIN. INSTALL NEW COMPOSITION ASPHALT SHINGLE ROOFING AT NEW ROOFS OVER NEW OFFICE, NEW FRONT PORCH, AND NEW GUEST BEDROOM EXPANSION.
- ROUGH CARPENTRY:** AT EXISTING FRONT ENTRY, DEMO TILE AND FLOOR AND CUT BACK EXISTING CANTILEVERED JOISTS TO CONNECT EXTERIOR WALLS AND CLOSE OFF THE EXISTING ENTRY ALCOVE. FRAME NEW WALLS OF NEW GUEST BATHROOM, AND PROVIDE BLOCKING FOR TOILET ACCESSORIES, TOWEL BARS, ETC. FRAME NEW ADDITIONS (NEW EXPANSION OF GUEST BEDROOM AND FRONT PORCH AT FIRST FLOOR, AND NEW OFFICE AND ALCOVE ENCLOSING AT SECOND FLOOR). FRAME IN 2 NEW WINDOWS AT EXISTING SECOND FLOOR LIVING ROOM, AND REFRAME FIRST FLOOR ENTRY DOOR FOR NEW FRENCH DOORS.
- SCAFFOLDING:** PROVIDE SCAFFOLDING AT FRONT OF EXISTING GARAGE AND AT NEW ADDITIONS OF OFFICE AND GUEST BEDROOM EXPANSION.
- SHEET METAL & FLASHINGS:** PROVIDE AND INSTALL COPPER FLASHING AT ALL NEW EXTERIOR DOORS AND WINDOWS, NEW EXTERIOR DOOR PANS, AND FLASHING FOR SIDING AND TRIM.
- SHOWER DOORS:** PROVIDE AND INSTALL FRAMED SHOWER DOORS IN NEW GUEST BATHROOM WITH SATIN NICKEL FINISH.
- SIDING & TRIM:** PROVIDE AND INSTALL NEW T1-11 SIDING AT THE FOLLOWING AREAS - APPROX. 7'x15' EXPANSION OF NEW GUEST ROOM, NEW 7'x15' LEVEL 2 OFFICE, NEW 4' WIDE SECTION AT EXISTING LEVEL 2 ALCOVE BEING ENCLOSED, AND VARIOUS PATCH AND FILL-IN WORK FOR NEW, REMOVED, AND ALTERED WINDOWS AND DOORS.
- TILING:** PROVIDE AND INSTALL NEW SHOWER PAN AT NEW GUEST BATHROOM SHOWER. INSTALL CLIENT-SUPPLIED TILE AT SHOWER FLOOR AND WALLS UP TO THE CEILING, AND AT FLOOR OF BATHROOM.
- WEATHERPROOFING:** PROVIDE AND INSTALL FLASHING AT ALL NEW EXTERIOR DOORS AND WINDOWS, AND BUILDING PAPER AT NEW AND FILLED-IN EXTERIOR WALLS.
- WINDOWS:** PROVIDE AND INSTALL 9 NEW MILGARD VINYL WINDOWS WITH BRONZE SASH.

LEVEL 1 WINDOW SCHEDULE									
Mark	Level	Width	Height	Sill Height	Head Height	Operation	Comments	Phase Created	Phase Demolished
111	LEVEL 1 F.F.	6'-8"	3'-10"	2'-8"	6'-6"	SLIDING		Existing	None
112	LEVEL 1 F.F.	7'-0"	2'-0"	4'-8"	6'-8"	AWNING		Existing	New Construction
114	LEVEL 1 F.F.	1'-8"	3'-0"	3'-8"	6'-8"	CASEMENT		Existing	None
115	LEVEL 1 F.F.	2'-0"	3'-0"	3'-8"	6'-8"	CASEMENT		Existing	None
116	LEVEL 1 F.F.	2'-6"	4'-0"	0'-0"	4'-0"	FIXED		Existing	None
127	LEVEL 1 F.F.	4'-0"	3'-2"	3'-6"	6'-8"	SLIDING		New Construction	None
130	LEVEL 1 F.F.	3'-0"	2'-0"	5'-2"	7'-2"	AWNING		New Construction	None
143	LEVEL 1 F.F.	6'-8"	3'-10"	2'-10"	6'-8"	SLIDING		New Construction	None
149	LEVEL 1 F.F.	4'-0"	3'-2"	3'-6"	6'-8"	SLIDING		New Construction	None

LEVEL 1 DOOR SCHEDULE							
Mark	Level	Width	Height	Operation	Comments	Phase Created	Phase Demolished
D229	LEVEL 1 F.F.	15'-6"	7'-0"	OVERHEAD		Existing	None
D233	LEVEL 1 F.F.	9'-0"	7'-0"	OVERHEAD		Existing	New Construction
D234	LEVEL 1 F.F.	2'-5"	6'-8"	SINGLE		Existing	New Construction
D235	LEVEL 1 F.F.	5'-11"	6'-8"	SLIDING		Existing	None
D236	LEVEL 1 F.F.	5'-0"	6'-8"	SLIDING		Existing	None
D249	LEVEL 1 F.F.	2'-4"	6'-8"	SINGLE		Existing	None
D250	LEVEL 1 F.F.	2'-6"	6'-8"	SINGLE		Existing	None
D251	LEVEL 1 F.F.	2'-0"	6'-8"	SINGLE		Existing	None
D252	LEVEL 1 F.F.	2'-5"	6'-8"	SINGLE		Existing	None
D253	LEVEL 1 F.F.	2'-6"	6'-8"	SINGLE		Existing	None
D267	LEVEL 1 F.F.	2'-6"	6'-8"	SINGLE		New Construction	None
D270	LEVEL 1 F.F.	2'-5"	6'-8"	SINGLE		New Construction	None
D271	LEVEL 1 F.F.	5'-0"	6'-8"	DOUBLE		New Construction	None
D272	LEVEL 1 F.F.	2'-11"	6'-8"	SINGLE		Existing	New Construction

WALL LEGEND

- PROPOSED STUD WALL
- PROPOSED PARTIAL HEIGHT WALL
- EXISTING / PROPOSED CONCRETE WALL
- EXISTING WALL TO REMAIN
- ⊔ ⊓ ⊒ ⊑ WALL TO BE DEMOLISHED



REV	DATE	DESCRIPTION
2	09/20/2019	DESIGN SET REVIEW
3	01/27/2020	DESIGN SET
4	04/23/2020	PLANNING SUBMITTAL
5	10/26/2020	PLANNING SUBMITTAL
6	02/10/2021	PLANNING RESUBMITTAL

REV	DATE	DESCRIPTION
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5	10/26/2020	PLANNING SUBMITTAL
6	02/10/2021	PLANNING RESUBMITTAL

PROJECT NAME:
**PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
 AMENT / NUNZIATI-AMENT RESIDENCE**

PROJECT ADDRESS:
 671 FRANKLIN STREET
 MONTARA, CA 94037

PROJECT SCOPE:
 PARTIAL REMODEL OF (E) 2-STORY
 SINGLE FAMILY HOME AND REMOVAL
 OF (E) EXTERIOR STAIRWAY

SHEET TITLE
**NEW LEVEL 1
 FLOOR PLAN**

SHEET
A3.1

ALL DRAWINGS, NOTES, SPECIFICATIONS, DESIGNS, DETAILS, AND CONTENTS REPRESENTED ON THIS SHEET ARE, AND SHALL REMAIN, THE PROPERTY OF GREG ROCHA - ROCHA & SON CONSTRUCTION. NO PART SHALL BE USED, COPIED, OR DISCLOSED TO OTHERS, AND/OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIED PROJECT AND SPECIFIED OWNER ON THIS SHEET FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED. WRITTEN CONSENT FROM GREG ROCHA - ROCHA & SON CONSTRUCTION SHALL BE REQUIRED FOR ANY USE OTHER THAN AS DETAILED ON THIS SHEET. VISUAL CONTACT OF THESE PLANS AND SPECIFICATIONS SHALL BE CONCLUSIVE EVIDENCE OF STATED RESTRICTIONS. GREG ROCHA - ROCHA & SON CONSTRUCTION SHALL RESERVE THE RIGHT TO REFUSE THE USE OF THESE DRAWINGS AND SPECIFICATIONS BY THE CITY, COUNTY, AND/OR STATE OF JURISDICTION FOR ISSUANCE OF ANY PLANNING, BUILDING, OR RELATED PERMITS.

EXISTING PLUMBING FIXTURES NOTES

EXISTING PLUMBING FIXTURES WITHIN THE HOUSE THAT DO NOT MEET THE COMPLIANT FLOW RATES SHALL BE REPLACED, PER THE FOLLOWING:

- WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF SHALL BE REPLACED WITH WATER CLOSETS WITH A MAX FLOW RATE OF 1.28 GPF.
- SHOWER HEADS WITH A FLOW RATE IN EXCESS OF 2.5 GPM SHALL BE REPLACED WITH SHOWER HEADS WITH A MAX FLOW RATE OF 1.8 GPM.
- LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE IN EXCESS OF 2.2 GPM SHALL BE REPLACED WITH FAUCETS WITH A MAX FLOW RATE OF 1.2 GPM (1.8 GPM FOR KITCHEN FAUCETS).

NEW PLUMBING FIXTURE NOTES:

- MAX FLOW RATE OF SHOWERHEADS SHALL BE 1.8 GPM
- MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.2 GPM
- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
- ALL TOILETS SHALL BE MAX 1.28 GPF

EGRESS NOTES:

AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:

- MIN. 5.7 SF IN OVERALL SIZE
- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR

GENERAL NOTES:

- ALL FRAMING DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

SCOPE OF WORK NOTES

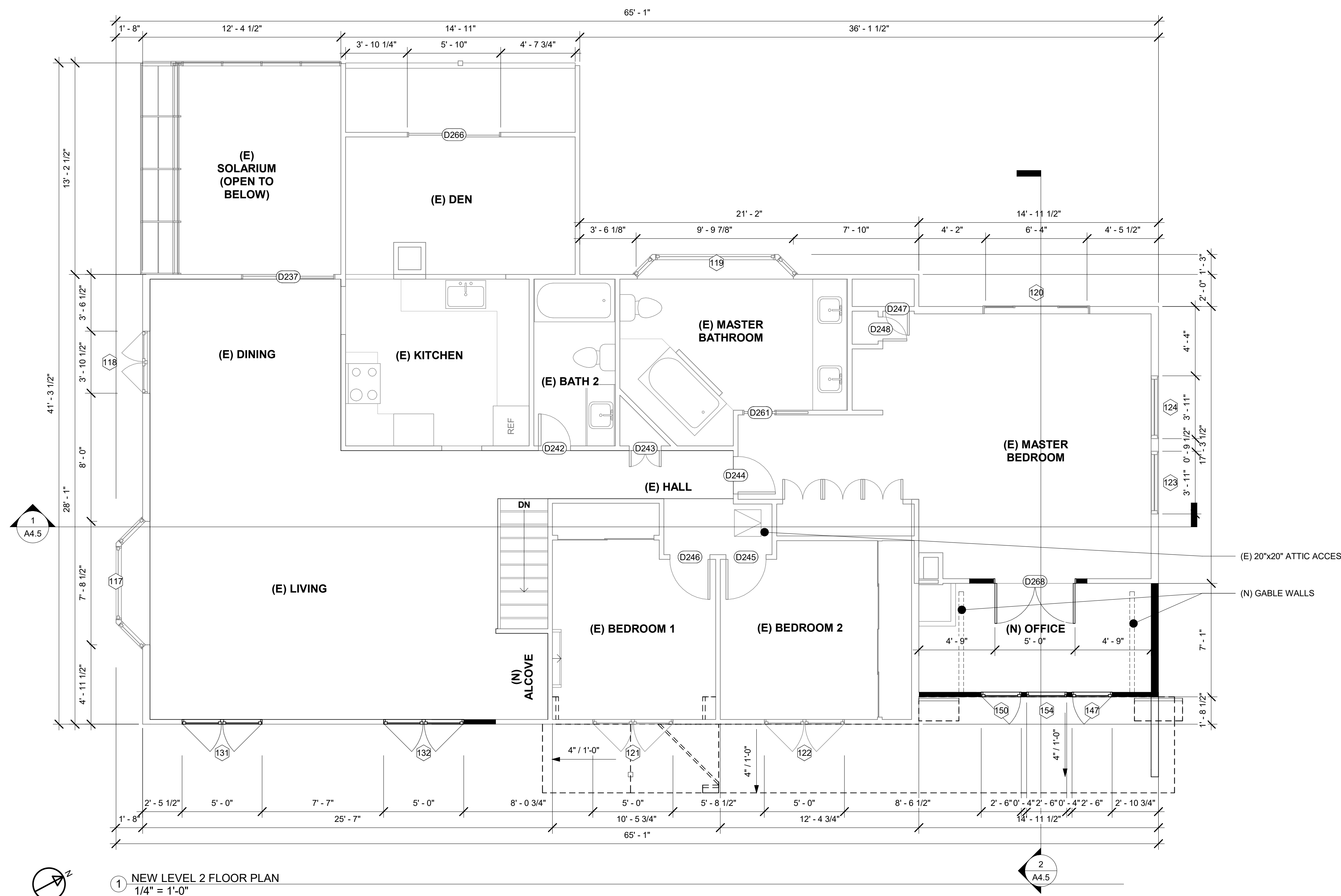
- ACCESSORIES:** INSTALL CLIENT-SUPPLIED TOILET PAPER HOLDER, TOWEL RING, AND TOWEL BAR.
- APPLIANCES:** INSTALL CLIENT-SUPPLIED UNDER-COUNTER FRIDGE AT NEW GUEST ROOM.
- CABINETS - BATHROOM:** INSTALL CLIENT-SUPPLIED RECESSED MEDICINE CABINET.
- CABINETS - KITCHEN:** INSTALL APPROX. 9 LINEAL FEET OF BASE CABINETS AT KITCHEN AREA OF NEW GUEST ROOM, AND OPEN SHELVES IN LIEU OF UPPER CABINETS.
- CONCRETE:** INSTALL APPROXIMATELY 5'x15' NEW SLAB FOUNDATION WITH PERIMETER FOOTING FOR (N) ADDITION AND APPROXIMATELY 5'x22' CONCRETE SLAB WITH BROOM FINISH FOR (N) FRONT PORCH. PROVIDE (N) 25'x30' CONCRETE SLAB FOR NEW PARTIAL HALF COURT BASKETBALL COURT.
- COUNTERTOPS - KITCHEN:** PROVIDE AND INSTALL APPROXIMATELY 9 LINEAL FEET OF QUARTZ COUNTERTOP WITH 1 UNDERMOUNT SINK CUTOUT WITH 6" MATCHING QUARTZ BACKSPLASH.
- DOORS - EXTERIOR:** INSTALL 1 NEW CLIENT-SUPPLIED DOUBLE BORE FIBERGLASS DOOR WITH BRONZE THRESHOLD, WHITE WEATHERSTRIPPING, AND SATIN NICKEL HARDWARE AT NEW GUEST BEDROOM. INSTALL 1 NEW CLIENT-SUPPLIED DOUBLE BORE FIBERGLASS ENTRY DOOR WITH 2 SIDELITES, WITH BRONZE THRESHOLD, WHITE WEATHERSTRIPPING, AND SATIN NICKEL HARDWARE AT NEW MAIN FRONT ENTRY.
- DOORS - INTERIOR:** INSTALL CLIENT-SUPPLIED SOLID CORE, 6 PANEL SQUARE DOOR (TO MATCH EXISTING) WITH SATIN NICKEL HARDWARE. INSTALL CLIENT-SUPPLIED HALF-LITE FRENCH DOORS WITH SATIN NICKEL HARDWARE AT OFFICE.
- DRYWALL:** PROVIDE NEW DRYWALL AT ALL NEW AND EXPOSED ROUGH FRAMING (WALLS AND CEILING), PATCHING AROUND DOORS AND WINDOWS AS NECESSARY. PROVIDE ORANGE PEER TEXTURED FINISH THROUGHOUT NEW OFFICE, GUEST BEDROOM, AND BATHROOM.
- ELECTRICAL:** INSTALL NEW WHITE OUTLETS AND ROCKER STYLE SWITCHES, PER PLANS. PROVIDE AND INSTALL NEW LIGHT/FAN COMBO AT NEW BATHROOM, WITH NEW VENT COMPLETE. INSTALL 6 NEW RECESSED 4" LED CAN LIGHTS IN NEW GUEST ROOM, 3 IN KITCHEN AREA OF GUEST ROOM, AND 4 IN NEW OFFICE. INSTALL 2 NEW RECESSED 6" LED EXTERIOR CAN LIGHTS AT NEW COVERED FRONT PORCH. ADD 1 NEW CARBON MONOXIDE AND SMOKE ALARM AT LEVEL 1.
- ELECTRICAL FIXTURES:** INSTALL 1 NEW CLIENT-SUPPLIED LIGHT FIXTURE ABOVE NEW BATHROOM VANITY. INSTALL 2 WALL MOUNTED EXTERIOR LIGHT FIXTURES (ONE ON EITHER SIDE OF NEW FRONT DOOR).
- EXCAVATION AND FILL:** EXCAVATE AS NECESSARY FOR NEW FOOTINGS FOR CONCRETE SLAB FOUNDATION AND CONCRETE SLAB PORCH. EXCAVATE AS NECESSARY FOR APPROXIMATE 7' EXTENSION OF EXISTING 2' HIGH BRICK WALL AT SIDE OF HOUSE.
- FENCES AND GATES:** EXTEND EXISTING 6' HIGH REDWOOD FENCE APPROXIMATELY 5' WITH NEW 36" GATE AT RIGHT SIDE OF GARAGE.
- FINISH CARPENTRY:** PROVIDE AND INSTALL NEW PRIMED PINE BASEBOARD AT NEW GUEST BEDROOM AND BATHROOM, AND NEW OFFICE, TO MATCH EXISTING. PROVIDE AND INSTALL NEW PRIMED PINE PICTURE STYLE CASING AT WINDOW TRIM/JAMB.
- FLOORING:** INSTALL NEW VINYL FLOORING AT NEW GUEST BEDROOM AND BATHROOM (MIMICKING WOOD), AND NEW ENGINEERED WOOD FLOORING AT NEW OFFICE.
- GUTTERS & DOWNSPOUTS:** PROVIDE AND INSTALL NEW SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS AT NEW ROOFS, TO MATCH EXISTING.
- HOME PROTECTION:** PROVIDE BUILD/CLEAN SYSTEM.
- INSULATION:** PROVIDE AND INSTALL NEW BATT INSULATION AT EXTERIOR WALLS OF NEW LIVING SPACES, AND AT CEILING OF NEW OFFICE.
- MASONRY & STONE:** EXTEND EXISTING 2' HIGH BRICK WALL AT RIGHT SIDE OF GARAGE APPROXIMATELY 7' TO ALLOW FOR NEW GATE AND FENCE AT FRONT RIGHT CORNER OF NEW ADDITION.
- PAINTING - EXTERIOR:** PAINT NEW T1-11 SIDING AT AREAS OF WORK, TO MATCH EXISTING.
- PAINTING - INTERIOR:** PAINT ALL WALLS, CEILINGS, BASEBOARD, AND DOOR/WINDOW TRIM AT AREAS OF WORK. PAINT NEW INTERIOR AND EXTERIOR DOORS, INCLUDING JAMBS AND CASING.
- PLUMBING:** SET NEW CLIENT-SUPPLIED TOILET AND FLANGE. INSTALL 1 NEW BATHROOM SINK, FAUCET, AND DRAIN WASTE WITH NEW SUPPLY LINES AND ANGLE STOPS. INSTALL 1 NEW CLIENT-SUPPLIED KITCHEN SINK, FAUCET, DISPOSAL, AND DRAIN WASTE AND ANGLE STOPS IN GUEST BEDROOM. INSTALL 1 NEW UNDER-COUNTER REFRIGERATOR AT NEW GUEST BEDROOM. INSTALL NEW STANDARD CLIENT-SUPPLIED SHOWER VALVE AND FIXTURE AT NEW GUEST BEDROOM. ADD OUTDOOR SHOWER AT LEFT SIDE OF (E) GARAGE TO REMAIN OVER NEW OFFICE, NEW FRONT PORCH, AND NEW GUEST BEDROOM EXPANSION.
- ROOFING:** INSTALL NEW COMPOSITION ASPHALT SHINGLE ROOFING AT NEW ROOFS OVER NEW OFFICE, NEW FRONT PORCH, AND NEW GUEST BEDROOM EXPANSION.
- ROUGH CARPENTRY:** AT EXISTING FRONT ENTRY, DEMO TILE AND FLOOR AND CUT BACK EXISTING CANTILEVERED JOISTS TO CONNECT EXTERIOR WALLS AND CLOSE OFF THE EXISTING ENTRY ALCOVE. FRAME NEW WALLS OF NEW GUEST BATHROOM, AND PROVIDE BLOCKING FOR TOILET ACCESSORIES, TOWEL BARS, ETC. FRAME NEW ADDITIONS (NEW EXPANSION OF GUEST BEDROOM AND FRONT PORCH AT FIRST FLOOR, AND NEW OFFICE AND ALCOVE ENCLOSING AT SECOND FLOOR). FRAME IN 2 NEW WINDOWS AT EXISTING SECOND FLOOR LIVING ROOM, AND REFRAME FIRST FLOOR ENTRY DOOR FOR NEW FRENCH DOORS.
- SCAFFOLDING:** PROVIDE SCAFFOLDING AT FRONT OF EXISTING GARAGE AND AT NEW ADDITIONS OF OFFICE AND GUEST BEDROOM EXPANSION.
- SHEET METAL & FLASHINGS:** PROVIDE AND INSTALL COPPER FLASHING AT ALL NEW EXTERIOR DOORS AND WINDOWS, NEW EXTERIOR DOOR PANS, AND FLASHING FOR SIDING AND TRIM.
- SHOWER DOORS:** PROVIDE AND INSTALL FRAMED SHOWER DOORS IN NEW GUEST BATHROOM WITH SATIN NICKEL FINISH.
- SIDING & TRIM:** PROVIDE AND INSTALL NEW T1-11 SIDING AT THE FOLLOWING AREAS - APPROX. 7'x15' EXPANSION OF NEW GUEST ROOM, NEW 7'x15' LEVEL 2 OFFICE, NEW 4' WIDE SECTION AT EXISTING LEVEL 2 ALCOVE BEING ENCLOSED, AND VARIOUS PATCH AND FILL-IN WORK FOR NEW, REMOVED, AND ALTERED WINDOWS AND DOORS.
- TILING:** PROVIDE AND INSTALL NEW SHOWER PAN AT NEW GUEST BATHROOM SHOWER. INSTALL CLIENT-SUPPLIED TILE AT SHOWER FLOOR AND WALLS UP TO THE CEILING, AND AT FLOOR OF BATHROOM.
- WEATHERPROOFING:** PROVIDE AND INSTALL FLASHING AT ALL NEW EXTERIOR DOORS AND WINDOWS, AND BUILDING PAPER AT NEW AND FILLED-IN EXTERIOR WALLS.
- WINDOWS:** PROVIDE AND INSTALL 9 NEW MILGARD VINYL WINDOWS WITH BRONZE SASH.

LEVEL 2 DOOR SCHEDULE							
Mark	Level	Width	Height	Operation	Comments	Phase Created	Phase Demolished
D237	LEVEL 2 F.F.	5' - 8"	6' - 8"	SLIDING		Existing	None
D242	LEVEL 2 F.F.	2' - 0"	6' - 8"	SINGLE		Existing	None
D243	LEVEL 2 F.F.	2' - 0"	6' - 8"	DOUBLE		Existing	None
D244	LEVEL 2 F.F.	2' - 4"	6' - 8"	SINGLE		Existing	None
D245	LEVEL 2 F.F.	2' - 6"	6' - 8"	SINGLE		Existing	None
D246	LEVEL 2 F.F.	2' - 6"	6' - 8"	SINGLE		Existing	None
D247	LEVEL 2 F.F.	1' - 6"	6' - 8"	SINGLE		Existing	None
D248	LEVEL 2 F.F.	1' - 6"	6' - 8"	SINGLE		Existing	None
D254	LEVEL 2 F.F.	3' - 0"	6' - 8"	SINGLE		Existing	New Construction
D255	LEVEL 2 F.F.	2' - 0"	6' - 8"	SINGLE		Existing	New Construction
D261	LEVEL 2 F.F.	2' - 0"	6' - 8"	POCKET		Existing	None
D265	LEVEL 2 F.F.	7' - 4"	6' - 8"	SLIDING		Existing	New Construction
D266	LEVEL 2 F.F.	5' - 8"	6' - 8"	SLIDING		Existing	None
D268	LEVEL 2 F.F.	5' - 0"	6' - 10"	DOUBLE		New Construction	None
D273	LEVEL 2 F.F.	1' - 8"	1' - 8"	ATTIC ACCESS		Existing	None

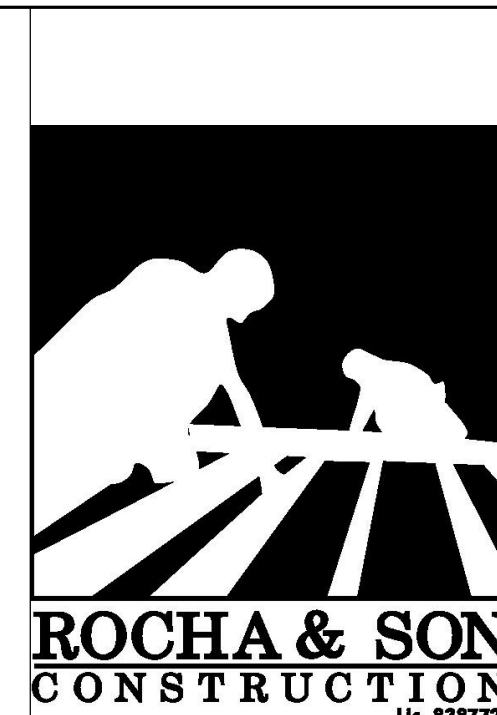
LEVEL 2 WINDOW SCHEDULE										
Mark	Level	Width	Height	Sill Height	Head Height	Operation	Comments	Phase Created	Phase Demolished	
117	LEVEL 2 F.F.	7' - 8 1/2"	5' - 0"	1' - 0"	6' - 0"	BAY		Existing	None	
118	LEVEL 2 F.F.	3' - 10 1/2"	3' - 10"	3' - 0"	6' - 10"	CASEMENT		Existing	None	
119	LEVEL 2 F.F.	9' - 9"	5' - 0"	1' - 0"	6' - 0"	BAY		Existing	None	
120	LEVEL 2 F.F.	6' - 8"	3' - 10"	2' - 10"	6' - 8"	SLIDING		Existing	None	
121	LEVEL 2 F.F.	5' - 0"	4' - 0"	2' - 8"	6' - 8"	CASEMENT		Existing	None	
122	LEVEL 2 F.F.	5' - 0"	4' - 0"	2' - 8"	6' - 8"	CASEMENT		Existing	None	
123	LEVEL 2 F.F.	3' - 11"	3' - 11"	6' - 0"	9' - 11"	FIXED		Existing	None	
124	LEVEL 2 F.F.	3' - 11"	3' - 11"	6' - 0"	9' - 11"	FIXED		Existing	None	
131	LEVEL 2 F.F.	5' - 0"	4' - 0"	2' - 8"	6' - 8"	CASEMENT		New Construction	None	
132	LEVEL 2 F.F.	5' - 0"	4' - 0"	2' - 8"	6' - 8"	CASEMENT		New Construction	None	
147	LEVEL 2 F.F.	2' - 6"	4' - 0"	3' - 0"	7' - 0"	CASEMENT		New Construction	None	
150	LEVEL 2 F.F.	2' - 6"	4' - 0"	3' - 0"	7' - 0"	CASEMENT		New Construction	None	
154	LEVEL 2 F.F.	2' - 6"	4' - 0"	3' - 0"	7' - 0"	FIXED		New Construction	None	

WALL LEGEND

- PROPOSED STUD WALL
- PROPOSED PARTIAL HEIGHT WALL
- EXISTING / PROPOSED CONCRETE WALL
- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED



1 NEW LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



REV	DATE	DESCRIPTION
2	09/20/2019	DESIGN SET REVIEW
3	01/27/2020	DESIGN SET
4	04/23/2020	PLANNING SUBMITTAL
5	10/26/2020	PLANNING SUBMITTAL
6	02/10/2021	PLANNING RESUBMITTAL

PROJECT NAME:
**PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
AMENT / NUNZIATI-AMENT RESIDENCE**

PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

PROJECT ADDRESS:
671 FRANKLIN STREET
MONTARA, CA 94037

SHEET TITLE
**NEW LEVEL 2
FLOOR PLAN**

SHEET
A3.2



ROCHA & SON
CONSTRUCTION
Lic. 838772

REV	DATE	DESCRIPTION
2	09/20/2019	DESIGN SET REVIEW
3	01/27/2020	DESIGN SET
4	04/23/2020	PLANNING SUBMITTAL
5	10/26/2020	PLANNING SUBMITTAL
6	02/10/2021	PLANNING RESUBMITTAL

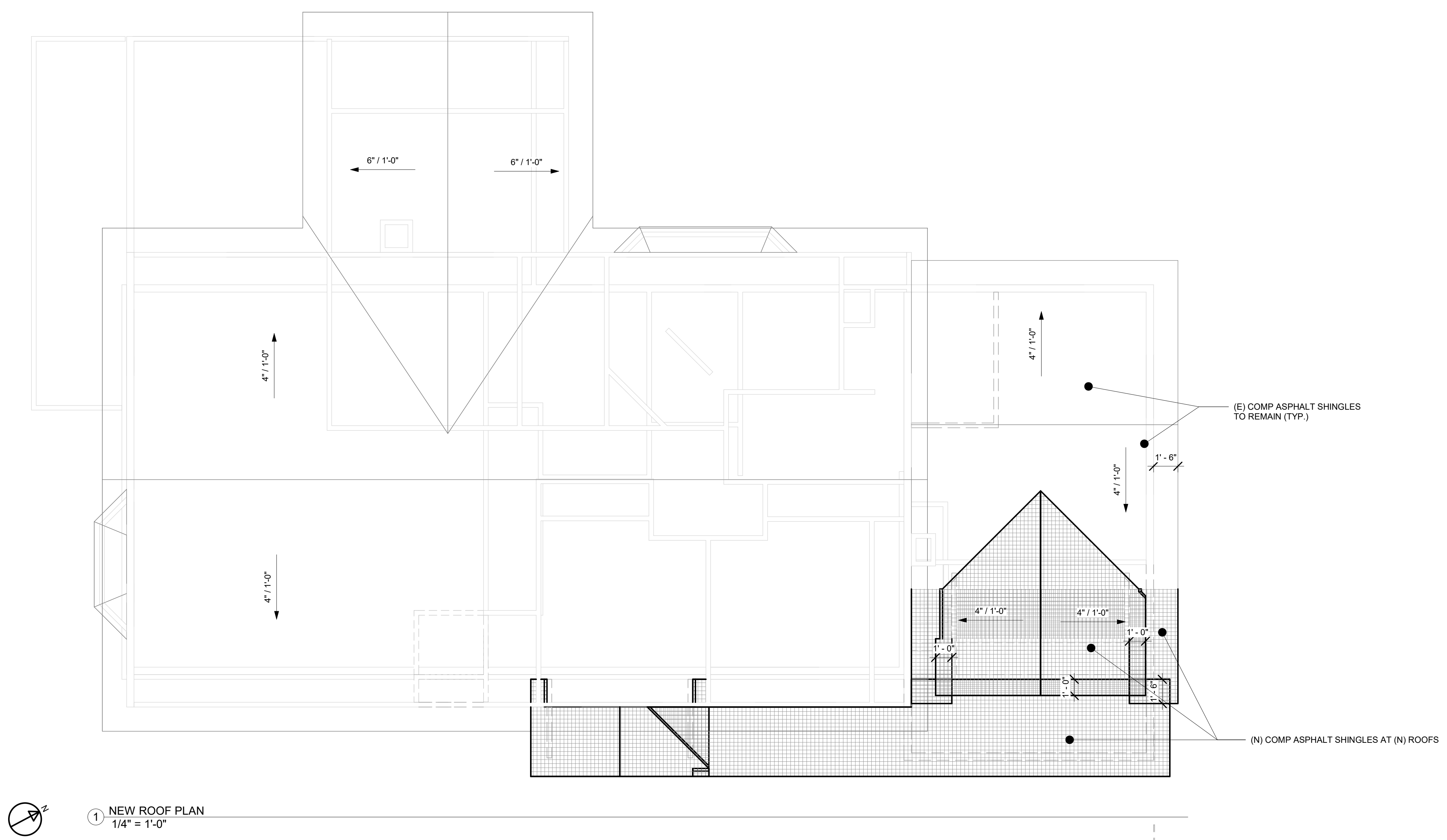
PROJECT NAME:
PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
AMENT / NUNZIATI-AMENT RESIDENCE

PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

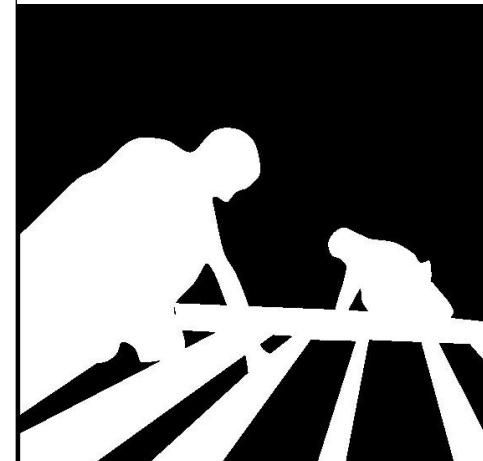
PROJECT ADDRESS:
671 FRANKLIN STREET
MONTARA, CA 94037

SHEET TITLE
NEW ROOF PLAN

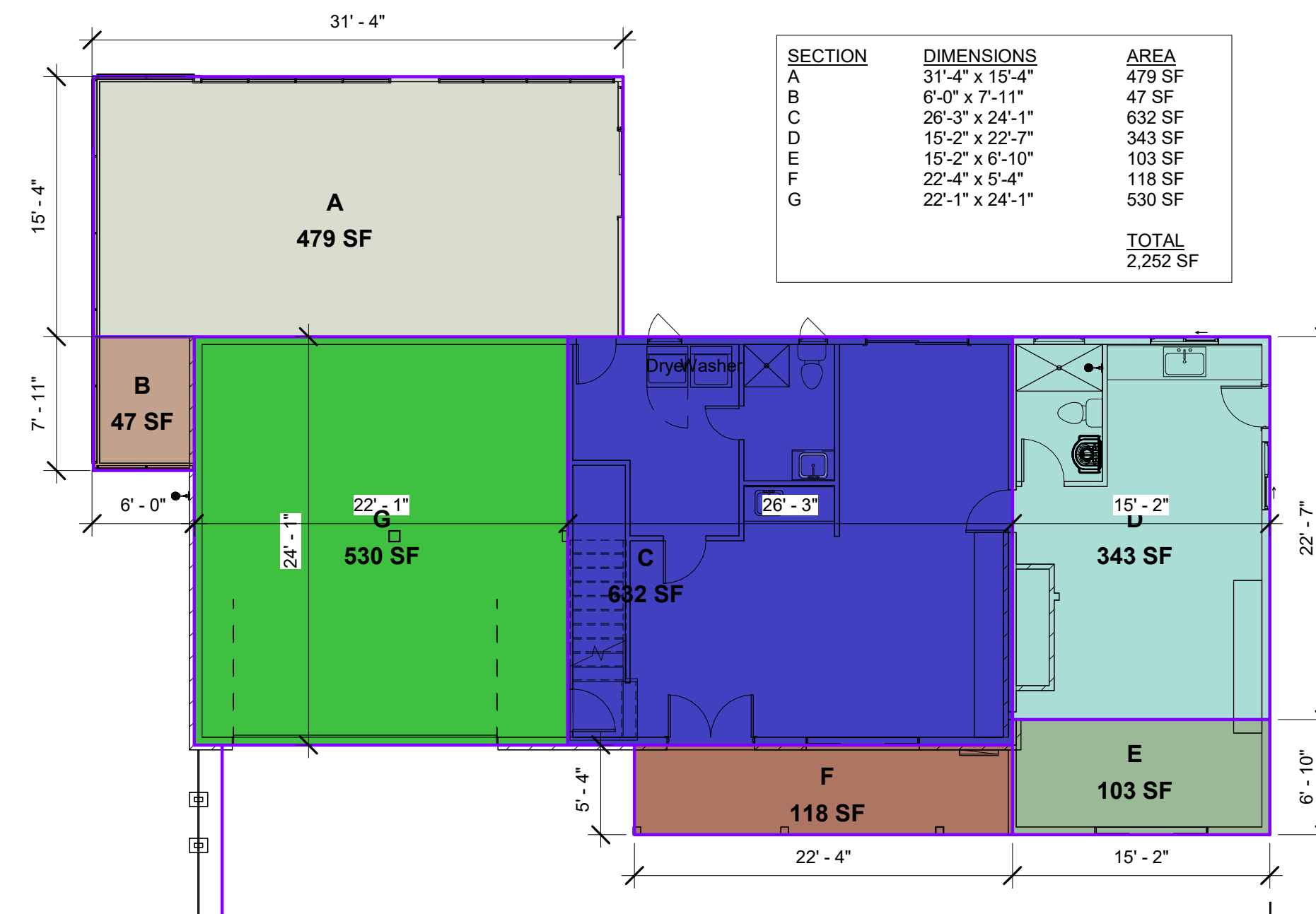
SHEET
A3.3



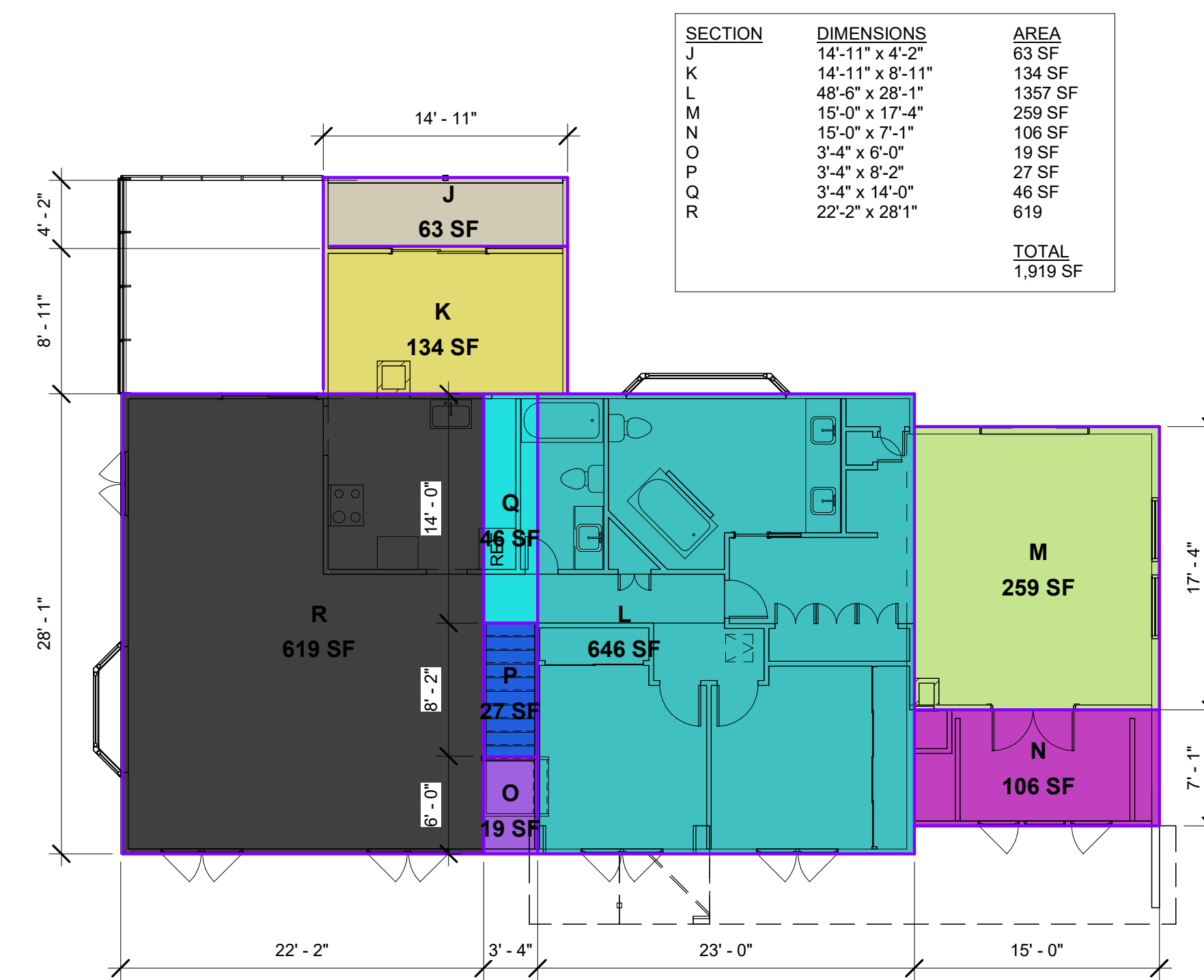
① NEW ROOF PLAN
1/4" = 1'-0"



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CONSTRUCTION
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② NEW LEVEL 1 AREAS
1/8" = 1'-0"



③ NEW LEVEL 2 AREAS
1/8" = 1'-0"

REV	DATE	DESCRIPTION
2	09/20/2019	DESIGN SET REVIEW
3	01/27/2020	DESIGN SET
4	04/23/2020	PLANNING SUBMITTAL
5	10/26/2020	PLANNING SUBMITTAL
6	02/10/2021	PLANNING RESUBMITTAL

PROJECT NAME:
**PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
AMENT / NUNZIATI-AMENT RESIDENCE**

PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

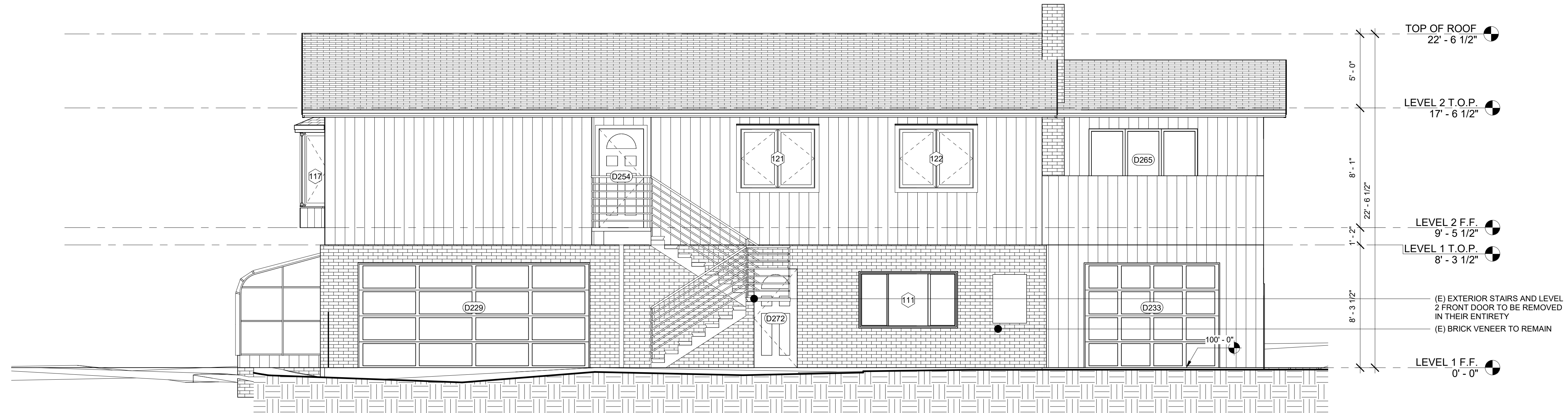
PROJECT ADDRESS:
671 FRANKLIN STREET
MONTARA, CA 94037

SHEET TITLE
**FLOOR AREA
AND LOT
COVERAGE
DIAGRAMS**

SHEET
A3.4



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① EXISTING FRONT ELEVATION
1/4" = 1'-0"



② NEW FRONT ELEVATION
1/4" = 1'-0"

REV	DATE	DESCRIPTION
2	09/20/2019	DESIGN SET REVIEW
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PROJECT NAME:
**PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
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PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
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PROJECT ADDRESS:
671 FRANKLIN STREET
MONTARA, CA 94037

SHEET TITLE
**EXISTING AND
NEW FRONT
ELEVATIONS**

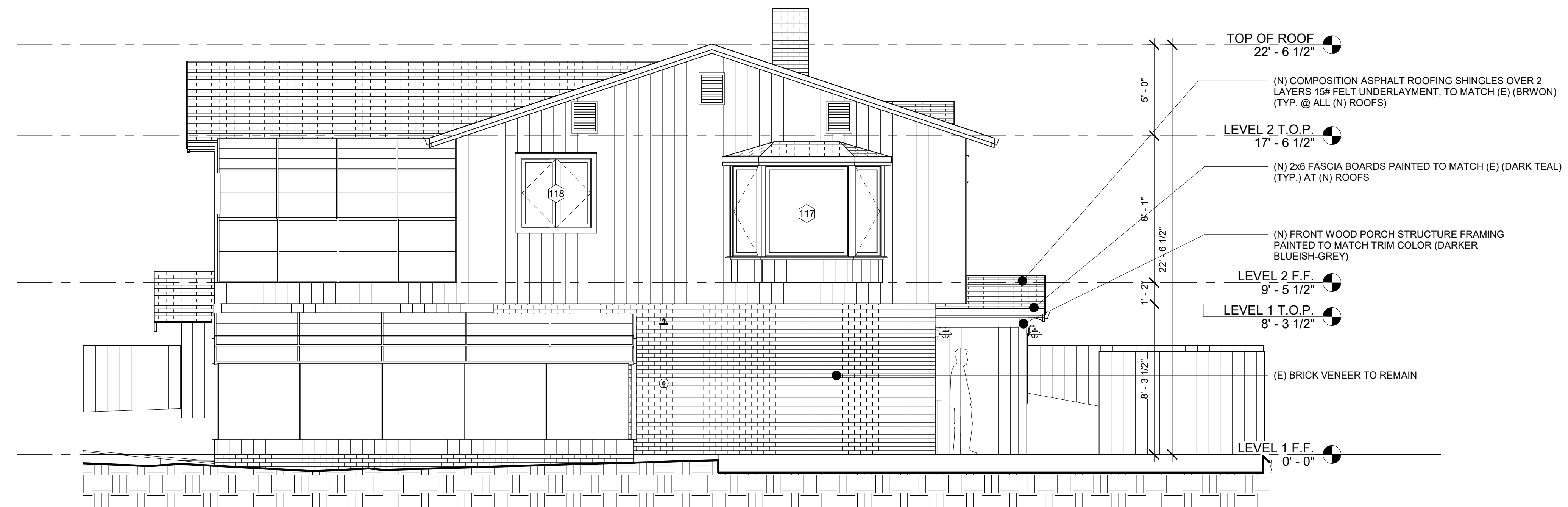
SHEET
A4.1



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① EXISTING LEFT ELEVATION
1/4" = 1'-0"



② NEW LEFT ELEVATION
1/4" = 1'-0"

REV	DATE	DESCRIPTION
2	09/20/2019	DESIGN SET REVIEW
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PROJECT NAME:
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PROJECT ADDRESS:
**671 FRANKLIN STREET
MONTARA, CA 94037**

PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

SHEET TITLE
**EXISTING AND
NEW LEFT
ELEVATIONS**

SHEET
A4.2



① EXISTING REAR ELEVATION
1/4" = 1'-0"



② NEW REAR ELEVATION
1/4" = 1'-0"

REV	DATE	DESCRIPTION
2	09/20/2019	DESIGN SET REVIEW
3	01/27/2020	DESIGN SET
4	04/23/2020	PLANNING SUBMITTAL
5	10/26/2020	PLANNING SUBMITTAL
6	02/10/2021	PLANNING RESUBMITTAL

PROJECT NAME:
**PARTIAL REMODEL AND REMOVAL OF EXT. STAIRS
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PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

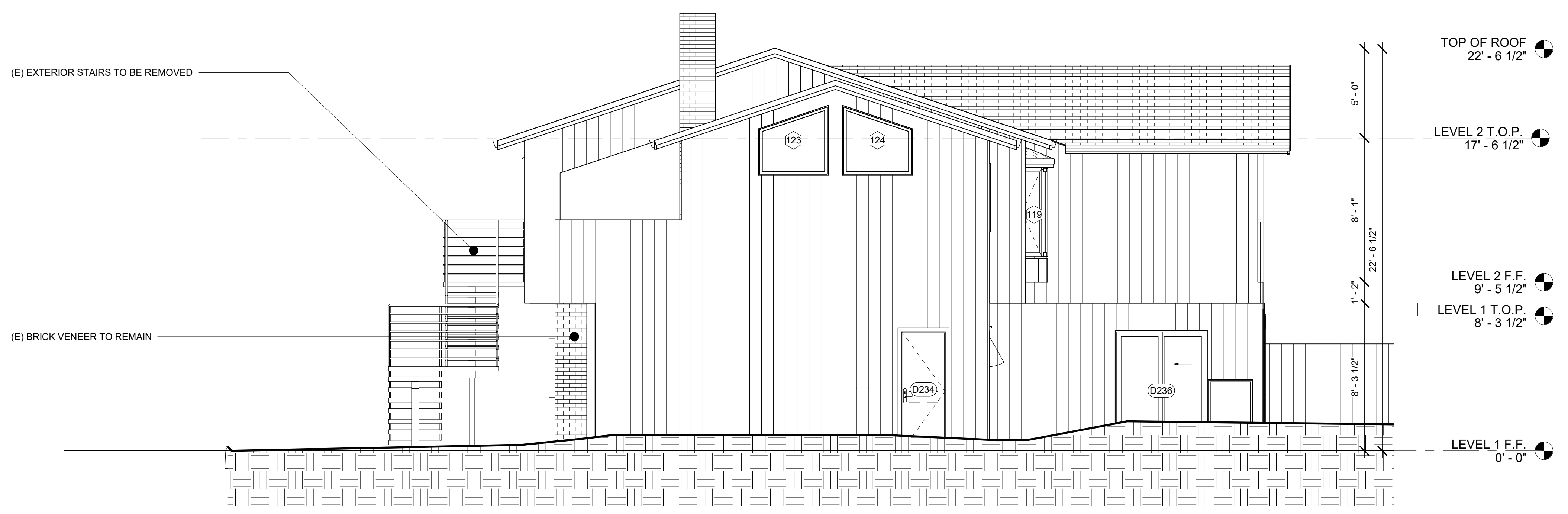
PROJECT ADDRESS:
671 FRANKLIN STREET
MONTARA, CA 94037

SHEET TITLE
**EXISTING AND
NEW REAR
ELEVATIONS**

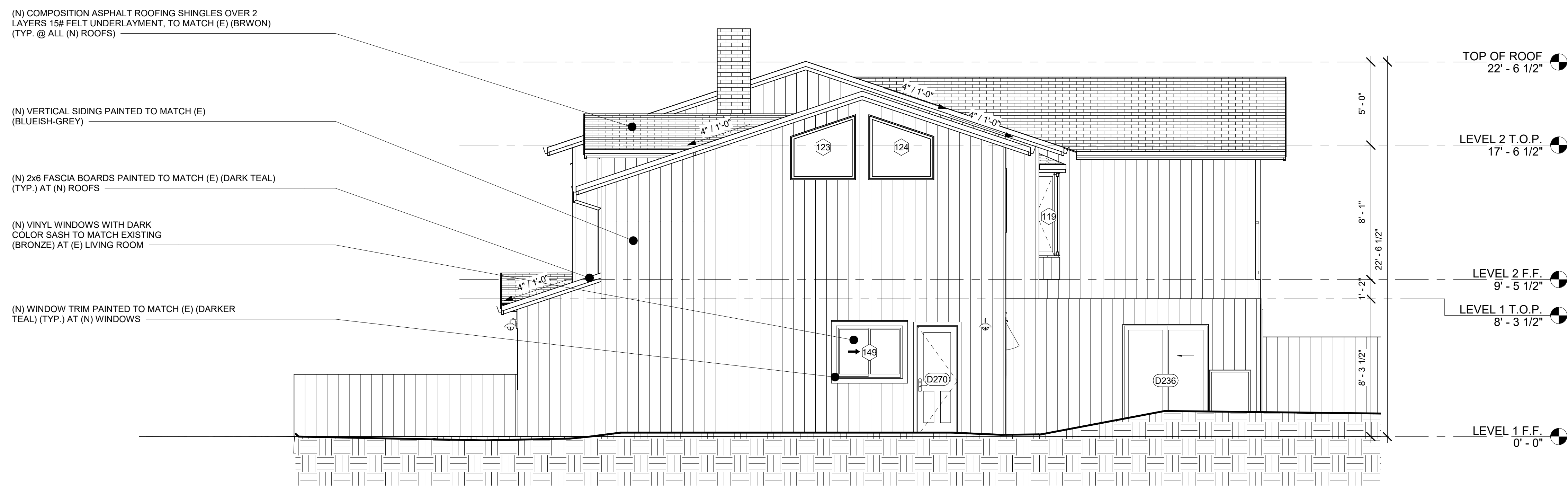
SHEET
A4.3



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① EXISTING RIGHT ELEVATION
1/4" = 1'-0"



② NEW RIGHT ELEVATION
1/4" = 1'-0"

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2	09/20/2019	DESIGN SET REVIEW
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4	04/23/2020	PLANNING SUBMITTAL
5	10/26/2020	PLANNING SUBMITTAL
6	02/10/2021	PLANNING RESUBMITTAL

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PROJECT ADDRESS:
**671 FRANKLIN STREET
MONTARA, CA 94037**

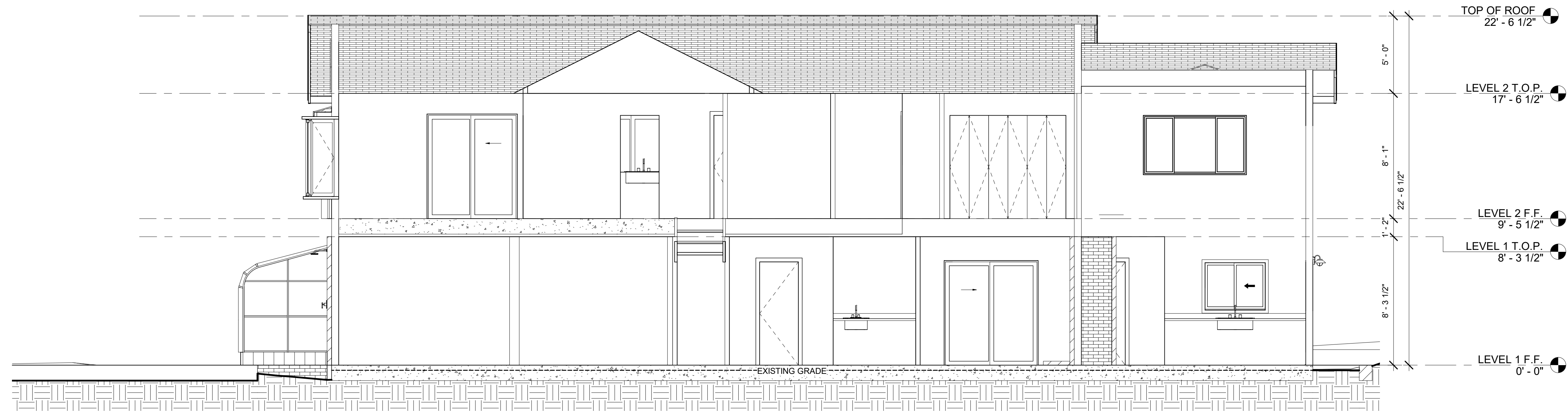
PROJECT SCOPE:
PARTIAL REMODEL OF (E) 2-STORY
SINGLE FAMILY HOME AND REMOVAL
OF (E) EXTERIOR STAIRWAY

SHEET TITLE
**EXISTING AND
NEW RIGHT
ELEVATIONS**

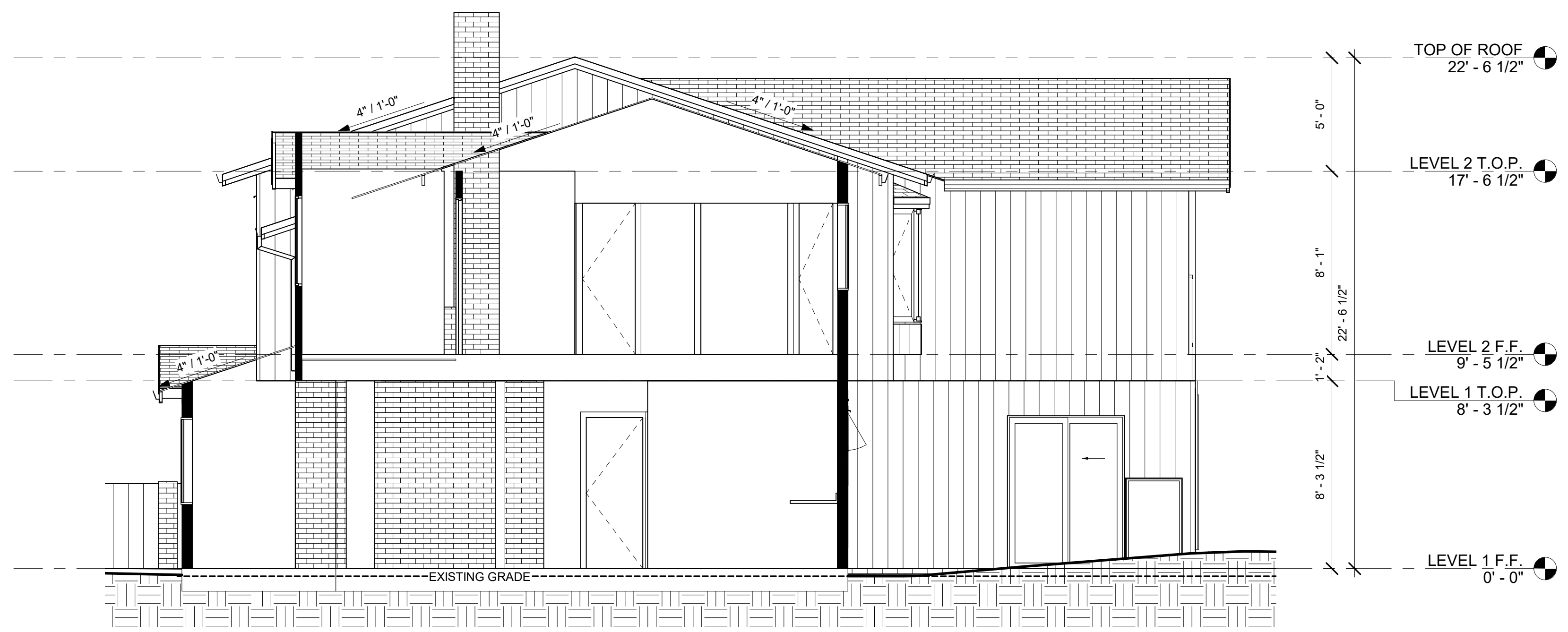
SHEET
A4.4



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① LONGITUDINAL SECTION
1/4" = 1'-0"



② TRANSVERSE SECTION
1/4" = 1'-0"

REV	DATE	DESCRIPTION
2	09/20/2019	DESIGN SET REVIEW
3	01/27/2020	DESIGN SET
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MONTARA, CA 94037

SHEET TITLE
**CROSS
SECTIONS**

SHEET
A4.5