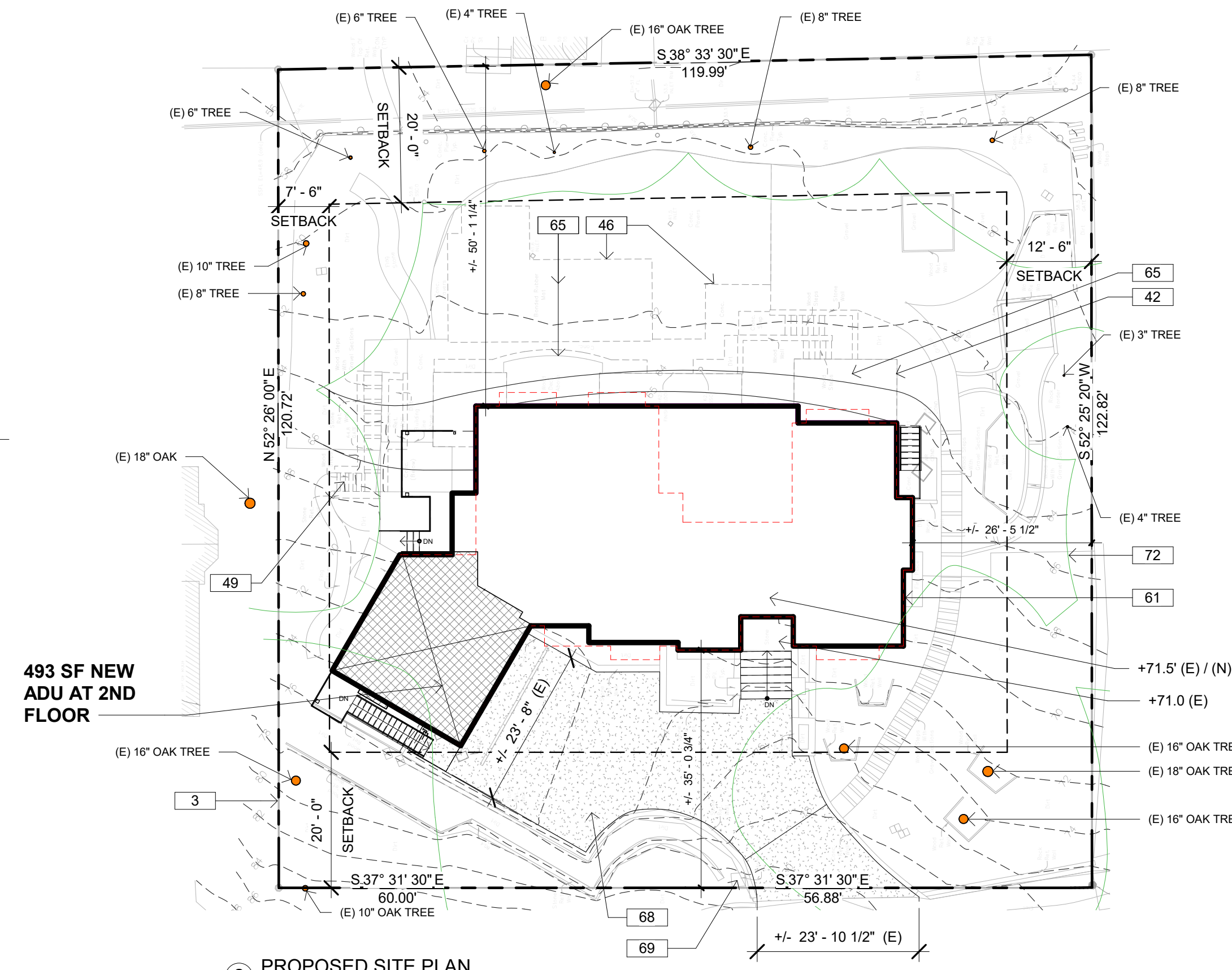
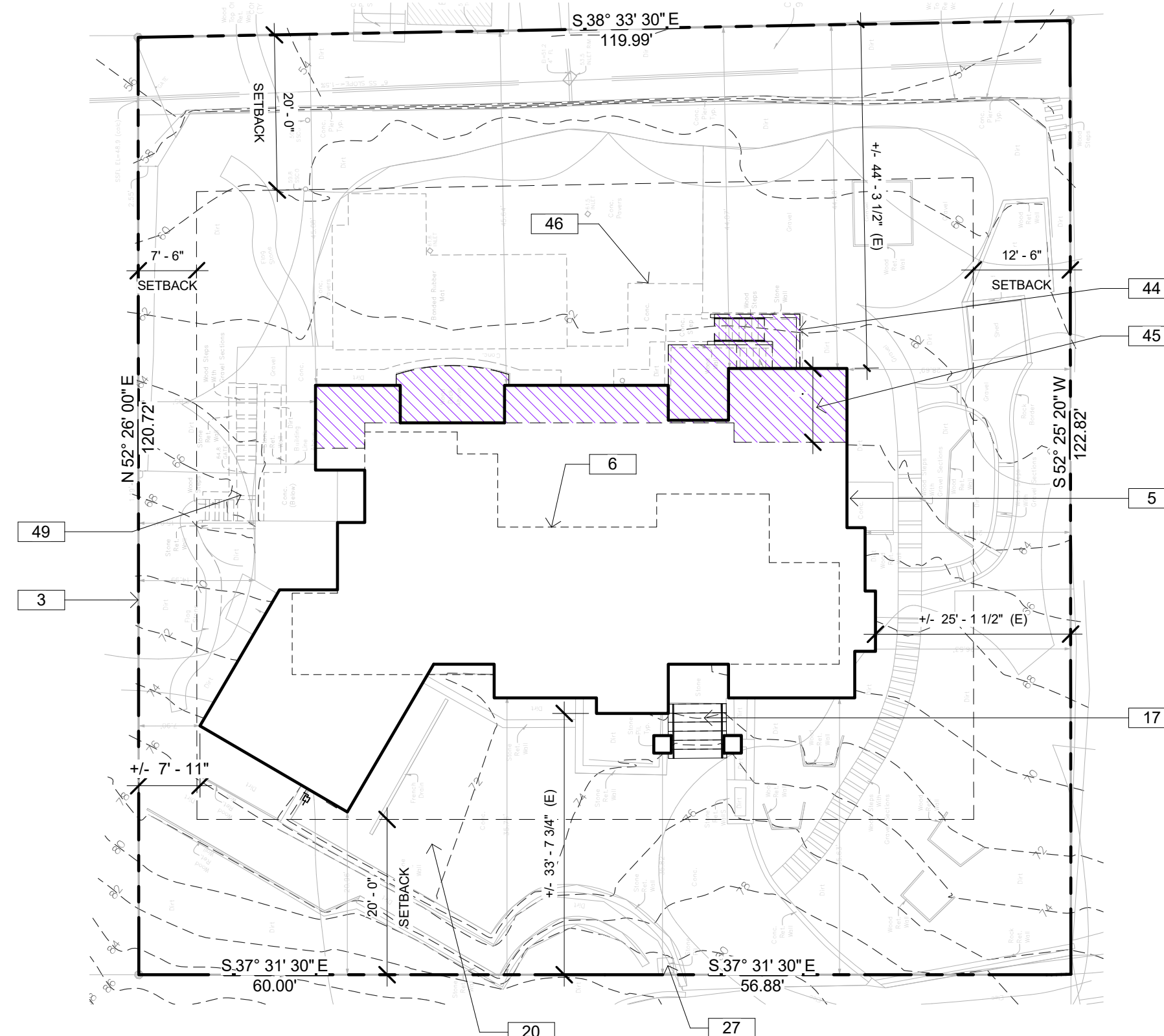


3 LOCATION MAP

KEY #	KEYNOTE TEXT
3	(E) PROPERTY LINE
5	OUTLINE OF (E) FIRST FLOOR
6	OUTLINE OF (E) SECOND FLOOR
17	(E) COVERED ENTRY
20	(E) STAMPED CONCRETE DRIVEWAY
27	(E) MAILBOX
42	OUTLINE OF (E) FIRST FLOOR LEVEL TO BE REMOVED
44	(E) DECK & STAIRS TO BE REMOVED
45	OUTLINE OF (E) BASEMENT & FIRST FLOOR TO BE REMOVED
46	(E) PAVERS TO BE REMOVED
49	REBUILD (E) STEPS ON GRADE TO COMPLY W/ CODE
61	OUTLINE OF NEW FIRST FLOOR
65	AT AREAS OF REMOVED BUILDING AND HARDSCAPE RESTORE (E) NATURAL GRADE AND GROUND COVER W/ NEW LANDSCAPE: (N) DEERGRASS (MULLENBERGIA RIGENS), SPANISH LAVENDER (LAVANDULA STOECCHAS), FRENCH LAVENDER (LAVANDULA DENTATA)
68	(N) NON SLIP TEXTURED CONCRETE DRIVEWAY ((E) STAMPED CONCRETE TO BE REMOVED), MATCH (E) SLOPE 20% MAX.
69	REPLACE (E) MAILBOX W/ NEW
72	(E) TREE DRIP LINE



2 PROPOSED SITE PLAN
1/16" = 1'-0"



1 (E) SITE PLAN
1/16" = 1'-0"

SCOPE OF WORK

- ALTERATIONS TO (E) SINGLE FAMILY DWELLING
- NEW ADU

ZONING INFORMATION

ASSESSOR'S PARCEL NUMBER : 057 232 250
 JURISDICTION : UNINCORPORATED COUNTY OF SAN MATEO
 ZONING DISTRICT : RH / DR (RESIDENTIAL HILLSIDE DISTRICT / DESIGN REVIEW DISTRICT)

PLANNING DATA

"RH" DISTRICT ZONING REQUIREMENTS:
 NET LOT SIZE : 14,615 SF (0.336 ACRES)
 MAXIMUM BUILDING FLOOR AREA (30% OF SITE PER SECTION 6808) : 4,385 SF
 MAXIMUM LOT COVERAGE (25% OF SITE PER SECTION 6806) : 3,653.75 SF
 SETBACKS (PER SECTION 6804)
 FRONT YARD SETBACK : 20 FEET
 REAR YARD SETBACK : 20 FEET
 SIDE YARD SETBACK : 7-1/2 FEET MIN., COMBINED 20 FEET MIN.
 FLOOR AREA:
 (E) FLOOR AREA : 4,363 SF (30% +/-)
 PROPOSED FLOOR AREA : 4,260 SF (29%)
 LOT COVERAGE:
 (E) LOT COVERAGE : 3,538 SF (24%)
 PROPOSED LOT COVERAGE : 2,963 SF (20%)
 ROOF AREA:
 (E) ROOF AREA : 3,394 SF
 PROPOSED ROOF AREA : 3,226 SF
 NEW ADU : 493 SF

FLOOR AREA CALCULATIONS

NAME	(E) AREA	AREA TO BE REMOVED	ADDITION	TOTAL AREA
FIRST FLOOR	2591 SF	480 SF	0 SF	2111 SF
(E) GARAGE	493 SF	0 SF	0 SF	493 SF
SECOND FLOOR	1279 SF	0 SF	377 SF	1656 SF
TOTAL	4363 SF	480 SF	377 SF	4260 SF

BUILDING DATA

OCCUPANCY GROUP : R-3 & U
 CONSTRUCTION TYPE : V-B

BUILDING CODE

1. ALL NEW WORK SHALL BE IN STRICT CONFORMANCE WITH THE FOLLOWING CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO:

- * PART 1: 2019 CALIFORNIA ADMINISTRATIVE CODE
 - * PART 2: 2019 CALIFORNIA BUILDING CODE
 - * PART 2.5: 2019 CALIFORNIA RESIDENTIAL CODE
 - * PART 3: 2019 CALIFORNIA ELECTRICAL CODE
 - * PART 4: 2019 CALIFORNIA MECHANICAL CODE
 - * PART 5: 2019 CALIFORNIA PLUMBING CODE
 - * PART 6: 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS & CODE
 - * PART 8: 2019 CALIFORNIA HISTORICAL BUILDING CODE
 - * PART 9: 2019 CALIFORNIA FIRE CODE
 - * PART 10: 2019 CALIFORNIA EXISTING BUILDING CODE
 - * PART 11: 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)
 - * PART 12: 2019 CALIFORNIA REFERENCED STANDARDS CODE
- ALL OTHER ADOPTED APPLICABLE CODES AND ALL OTHER APPLICABLE LOCAL AND STATE LAWS, REGULATIONS, ORDINANCES INCLUDING ALL AMENDATIONS AS ADOPTED IN ORDINANCE 1889.

SHEETS INDEX

SHEET #	SHEET NAME
A-1.1	SCOPE OF WORK, ZONING INFO., PLANNING DATA, FLOOR AREA CALCS., BUILDING DATA, BUILDING CODE INFO., SHEET INDEX, TEAM INFO., SITE PLANS, LOCATION MAP AND KEY NOTES LEGEND
-	BOUNDARY AND TOPOGRAPHIC SURVEY
A-1.2	FLOOR AREA DIAGRAMS AND FLOOR AREA SCHEDULE
A-2.1E	(E) BASEMENT FLOOR PLAN, DEMOLITION LEGEND AND KEY NOTES LEGEND
A-2.2E	(E) FIRST FLOOR PLAN SHOWING WORK TO BE REMOVED, DEMOLITION LEGEND AND KEY NOTES LEGEND
A-2.3E	(E) SECOND FLOOR SHOWING WORK TO BE REMOVED, DEMOLITION LEGEND AND KEY NOTES LEGEND
A-2.4E	(E) ROOF PLAN SHOWING WORK TO BE REMOVED, DEMOLITION LEGEND AND KEY NOTES LEGEND
A-2.5E	(E) EXTERIOR ELEVATIONS AND KEY NOTES LEGEND
A-2.6E	(E) BUILDING SECTIONS AND KEY NOTES LEGEND
A-3.1	PROPOSED BASEMENT FLOOR PLAN, CONSTRUCTION LEGEND AND KEY NOTES LEGEND
A-3.2	PROPOSED FIRST FLOOR PLAN, CONSTRUCTION LEGEND AND KEY NOTES LEGEND
A-3.3	PROPOSED SECOND FLOOR PLAN, CONSTRUCTION LEGEND AND KEY NOTES LEGEND
A-3.4	PROPOSED ROOF PLAN, CONSTRUCTION LEGEND AND KEY NOTES LEGEND
A-3.5	PROPOSED EXTERIOR ELEVATIONS, WALL MOUNTED EXTERIOR SCONCE IMAGE, EXTERIOR FINISHES SCHEDULE, TYPES OF FINISH AND KEY NOTES LEGEND
A-3.8	PROPOSED EXTERIOR ELEVATIONS AND KEY NOTES LEGEND
A-3.7	PROPOSED BUILDING SECTIONS -1
A-3.8	PROPOSED BUILDING SECTIONS -2
EC&TPP	EROSION CONTROL AND TREE PROTECTION PLAN
EC DETAILS	EROSION CONTROL DETAILS
TP DETAILS	TREE PROTECTION NOTES AND DETAILS

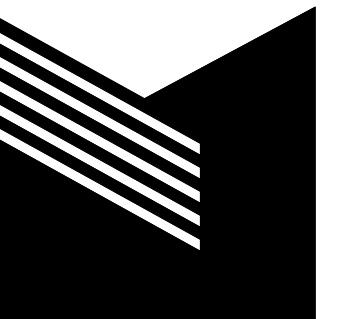
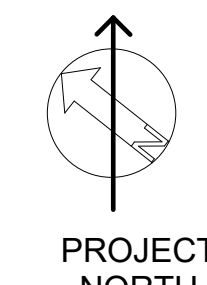
PROJECT TEAM

OWNER:
 JILL & NATHAN SCHMIDT
 3754 HAMILTON WAY
 REDWOOD CITY, CA 94062
 MAILING ADDRESS:
 33 IRIS STREET,
 REDWOOD CITY, CA 94062
 TEL: 415 420 1647

CIVIL ENGINEER:
 BOHLEY CONSULTING
 111 N. MARKET STREET, SUITE 300
 SAN JOSE CA 95113
 TEL: 408 265 1600

ARCHITECT:
 JOHN MATTHEWS ARCHITECTS
 335A EAST FOURTH AVENUE
 SAN MATEO, CA 94401
 TEL: 650 340 1107

SURVEYOR:
 L WADE HAMMOND
 38660 NEWARK BOULEVARD, SUITE C
 NEWARK, CA 94560
 TEL: 510 579 6112



JOHN MATTHEWS ARCHITECTS

335-A EAST FOURTH AVENUE
 SAN MATEO, CA 94401
 TELE: (650) 340-1107

ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR

JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
 ASSESSOR'S PARCEL NUMBER: 057 232 250

SCOPE OF WORK, ZONING INFO., PLANNING DATA, FLOOR AREA CALCS., BUILDING DATA, BUILDING CODE INFO., SHEET INDEX, TEAM INFO., SITE PLANS, LOCATION MAP AND KEY NOTES LEGEND

DESIGN REVIEW

DATE
 DECEMBER 06, 2021
 FEBRUARY 07, 2022

REVISION SCHEDULE		
REVISION NO.	DATE	NOTES

SCALE
 As indicated

DRAWN
 EPM

JOB NO.
 21696

SHEET

A-1.1
 OF SHEETS



(IN FEET)
1 inch = 8 ft. 6-29-2021

ABBREVIATIONS

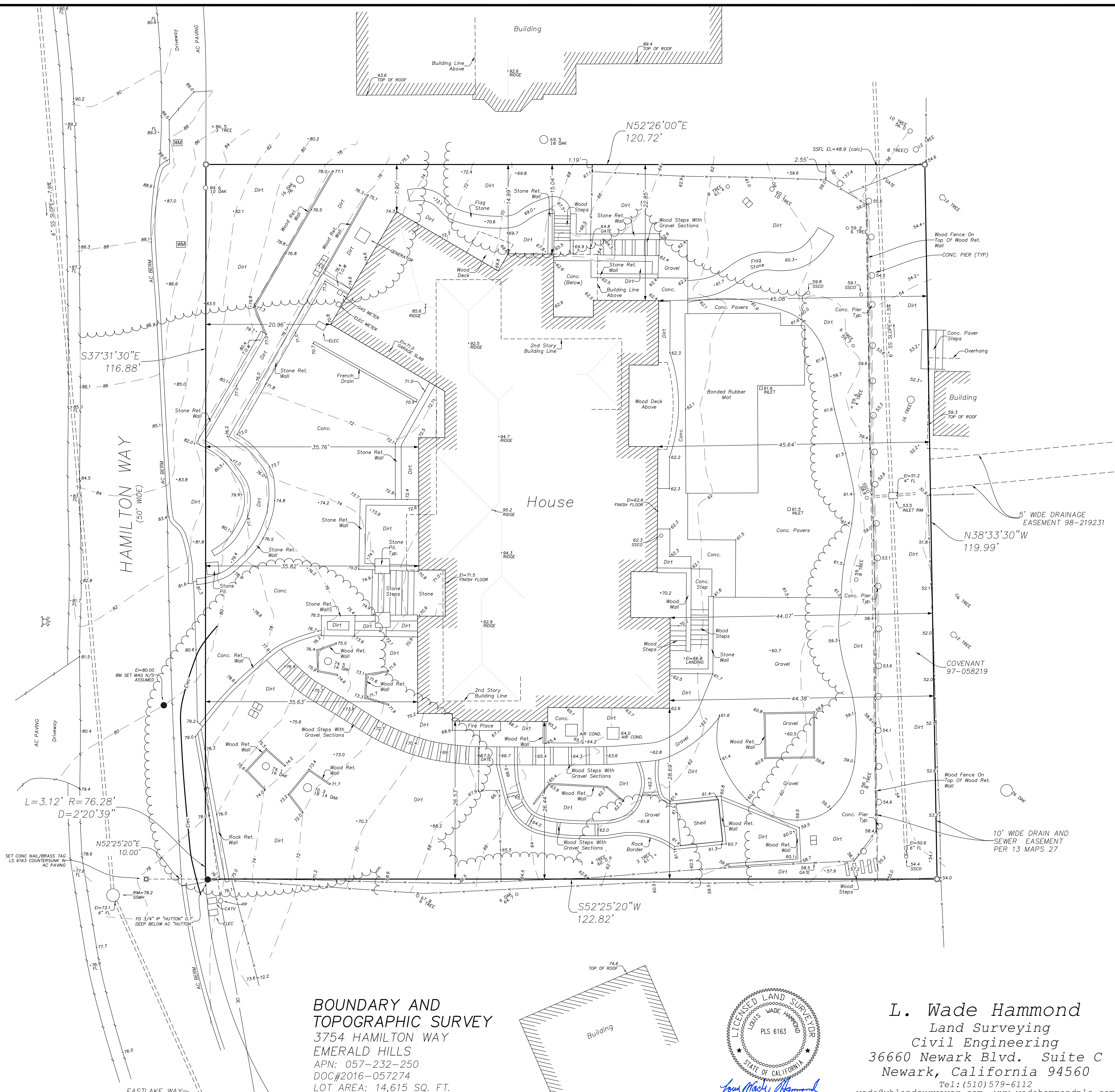
- AC ASPHALT
- CONC. CONCRETE
- TC TOP OF CURB
- FL FLOW LINE
- T.O.W. TOP OF WALL
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- P.U.E PUBLIC UTILITY EASEMENT

NOTES

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
- BOUNDARY CONTROL: SEE CONCURRENT CORNER RECORD EY MAP
- UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
- BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
- DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. THE BUILDING EXTERIOR FINISHED SURFACE IS WOOD SIDING AND VARIES APPROXIMATELY 0.05'-0.09' IN THICKNESS.
- FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
- BENCHMARK: ASSUMED DATUM, POINT AS SHOWN
- A BOUNDARY SURVEY WAS PERFORMED TO ACCURATELY LOCATE THE LEGAL PROPERTY LINES IN RELATION TO THE EXISTING IMPROVEMENTS (BUILDING)
- TITLE REPORT: LAWYERS TITLE 2-1-2016
- TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.
- TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE

LEGEND

- FOUND POINT IN MONUMENT CASTING (AS NOTED)
- FOUND POINT AS NOTED
- SET 3/4" IP "PLS 6163" (OR SET POINT AS NOTED)
- ⊗ SET NAIL/TAG "LS 6163"
- () RECORD DATA / REFERENCE
- WM WATER METER OR WATER VALVE BOX
- ⊕ FIRE HYDRANT
- ⊕ TREE - TRUNK DIAMETER IN INCHES
TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
- ⊕ TREE WITH MULTIPLE TRUNKS
- TRUNK TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
- +25.34 TC TOP OF CURB
- — — FENCE
- — — OVERHEAD WIRES
- PP POWER POLE
- + 12.34 SPOT ELEVATION
- SSCO 8.14 SANITARY SEWER CLEAN OUT
- ELEC UTILITY BOX-TYPE AS NOTED SIZE AS DRAWN
- IRRIGATION VALVE BOX
- — — POLE ANCHOR
- — — EDGE OF AC PAVING
- E — E — ELECTRIC LINE (PER SURFACE PAINT)

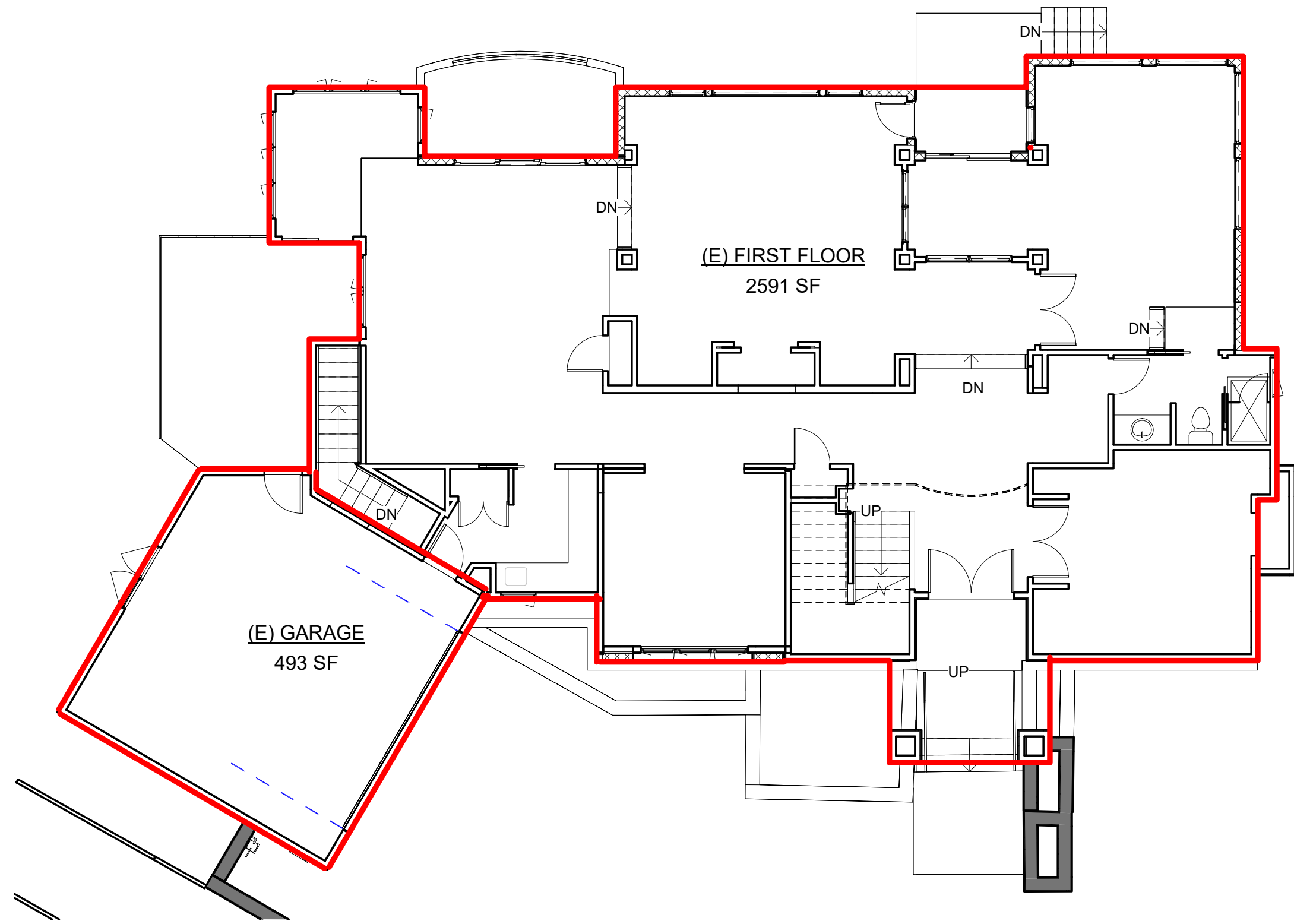


BOUNDARY AND TOPOGRAPHIC SURVEY
 3754 HAMILTON WAY
 EMERALD HILLS
 APN: 057-232-250
 DOC#2016-057274
 LOT AREA: 14,615 SQ. FT.



L. Wade Hammond
 Land Surveying
 Civil Engineering
 36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112
 wade@wh.landsurveyor.com www.wadehammondpls.com

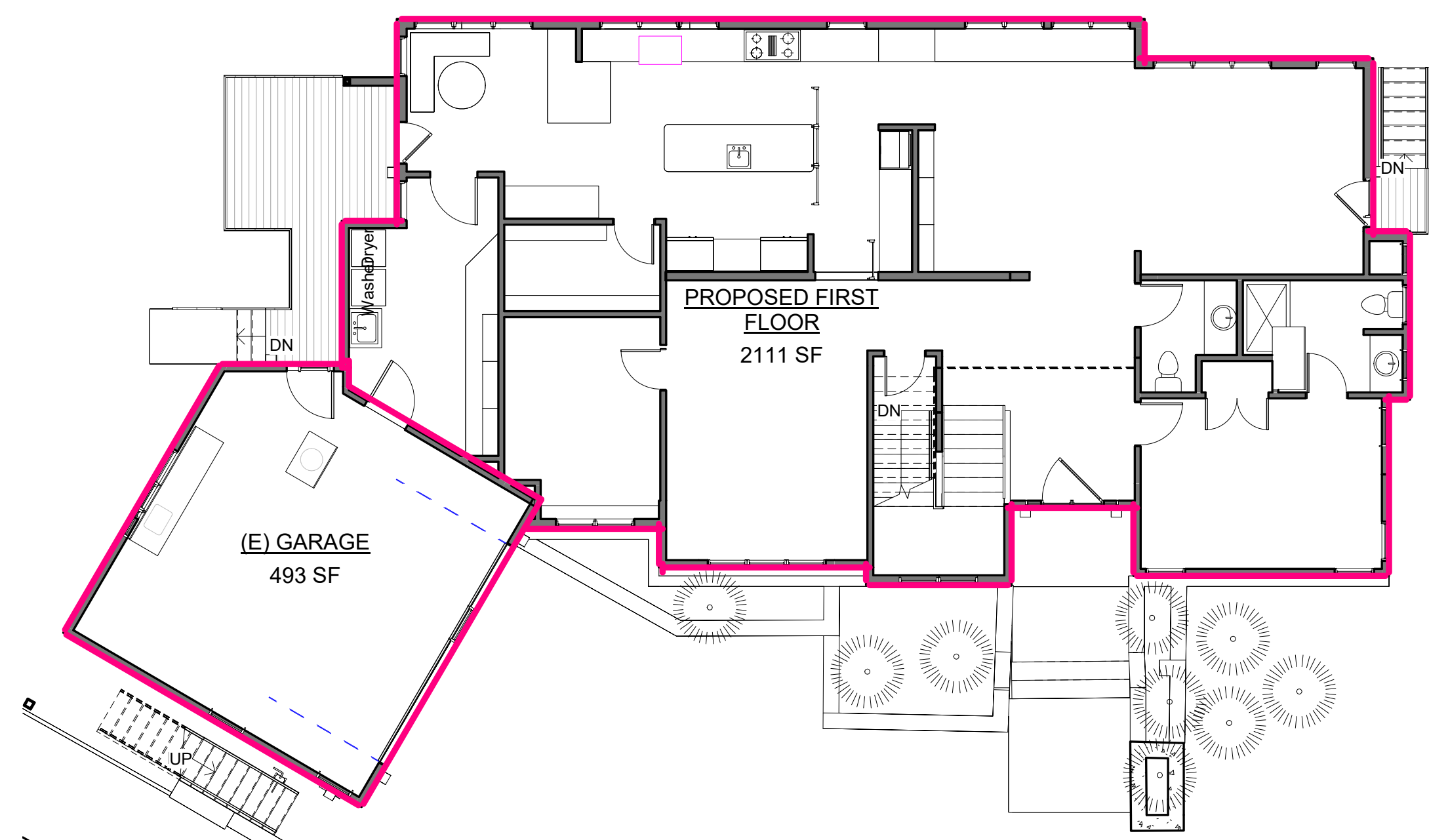
FLOOR AREA CALCULATIONS				
NAME	(E) AREA	AREA TO BE REMOVED	ADDITION	TOTAL AREA
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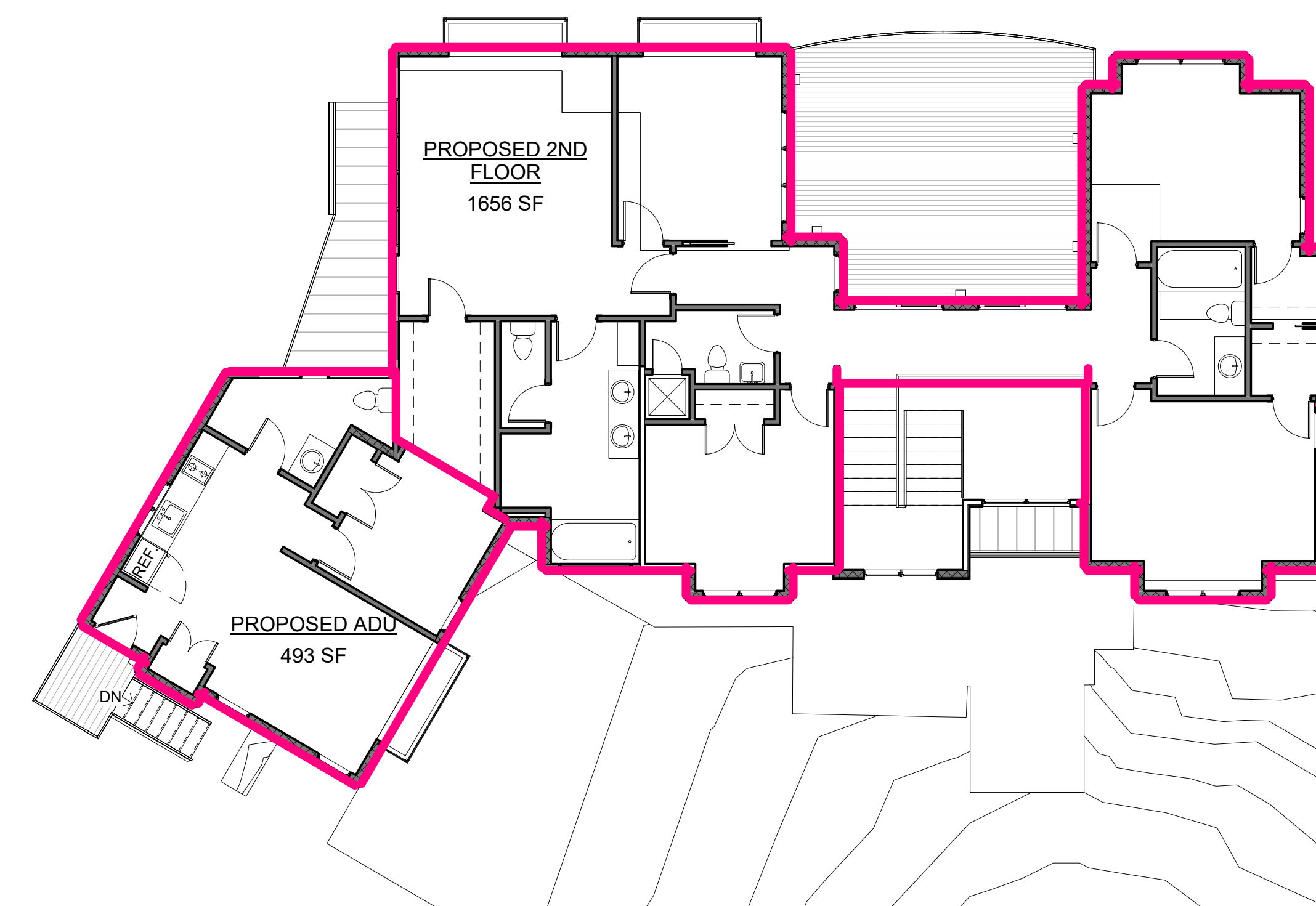
① (E) FIRST FLOOR
1/8" = 1'-0"



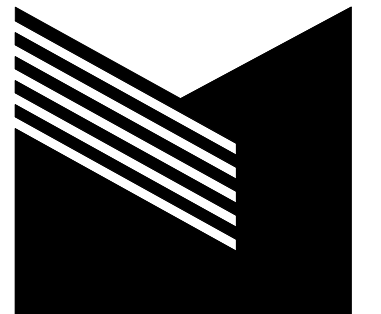
② (E) SECOND FLOOR
1/8" = 1'-0"



③ PROPOSED FIRST FLOOR
1/8" = 1'-0"



④ PROPOSED 2ND FLOOR
1/8" = 1'-0"



**JOHN
MATTHEWS
ARCHITECTS**

335-A EAST FOURTH AVENUE
SAN MATEO, CA 94401
TELE: (650) 340-1107

**ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW
ADU FOR**

JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

FLOOR AREA DIAGRAMS
AND FLOOR AREA
SCHEDULE

DESIGN REVIEW

DATE
DECEMBER 06, 2021
FEBRUARY 07, 2022

REVISION SCHEDULE		
REVISION NO.	DATE	NOTES

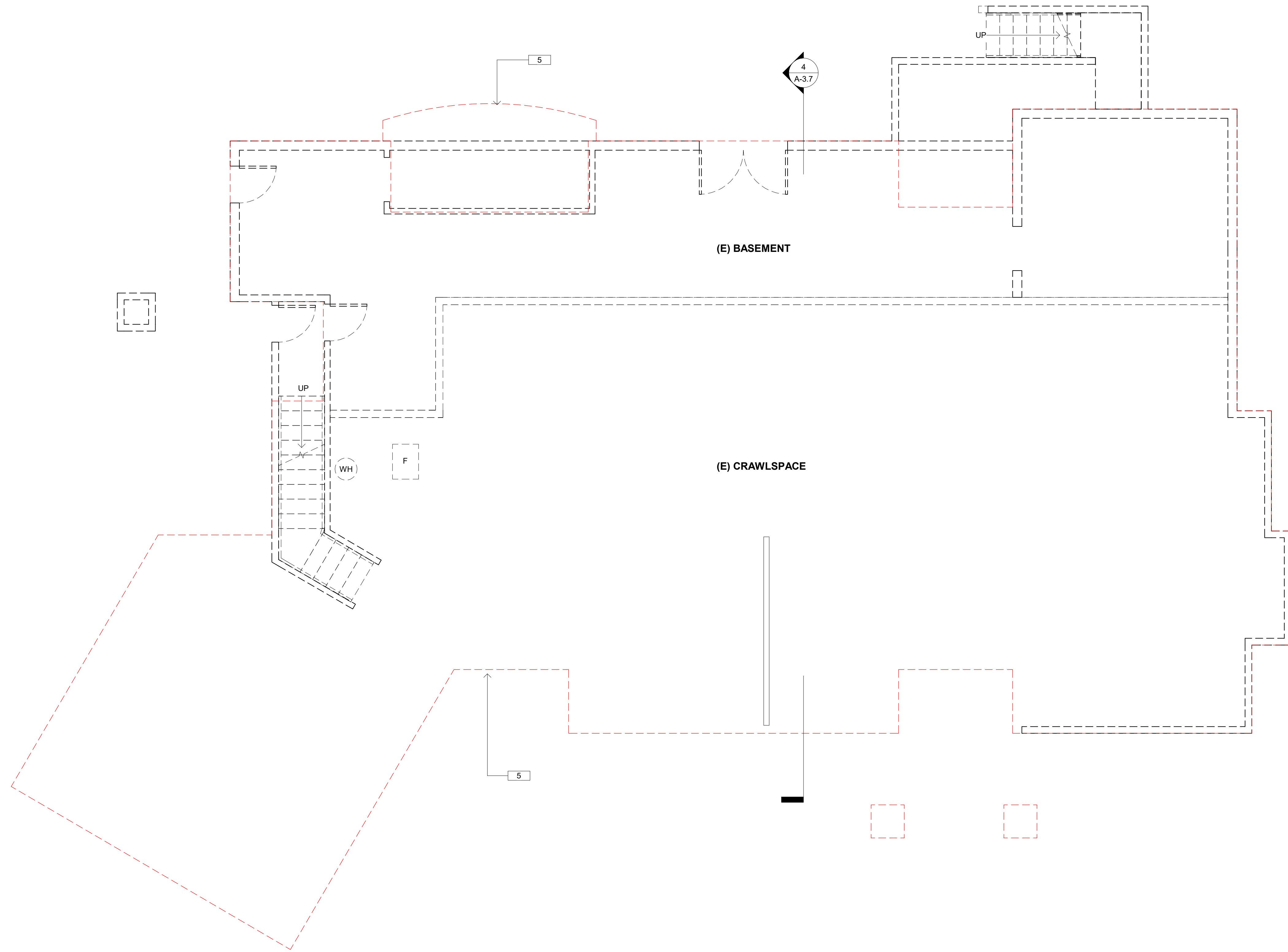
SCALE
1/8" = 1'-0"

DRAWN
EPM

JOB NO.
21696

SHEET

A-1.2
OF SHEETS



1 (E) BASEMENT
1/4" = 1'-0"

DEMOLITION LEGEND	
	(E) CONSTRUCTION TO BE REMOVED
	(E) FULL HEIGHT WALL TO REMAIN
	(E) DOOR TYPE KEY
	(E) WINDOW TYPE KEY
	SECTION KEY
	DETAIL NUMBER
	SHEET NUMBER
	EXTERIOR ELEVATION KEY
	DETAIL NUMBER
	SHEET NUMBER

KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
5	OUTLINE OF (E) FIRST FLOOR



JOHN MATTHEWS ARCHITECTS

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ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR

JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

(E) BASEMENT FLOOR PLAN, DEMOLITION LEGEND AND KEY NOTES LEGEND

DESIGN REVIEW

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DECEMBER 06, 2021
FEBRUARY 07, 2022

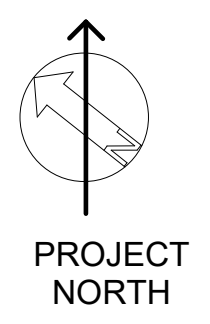
REVISION SCHEDULE		
REVISION NO.	DATE	NOTES

SCALE
1/4" = 1'-0"

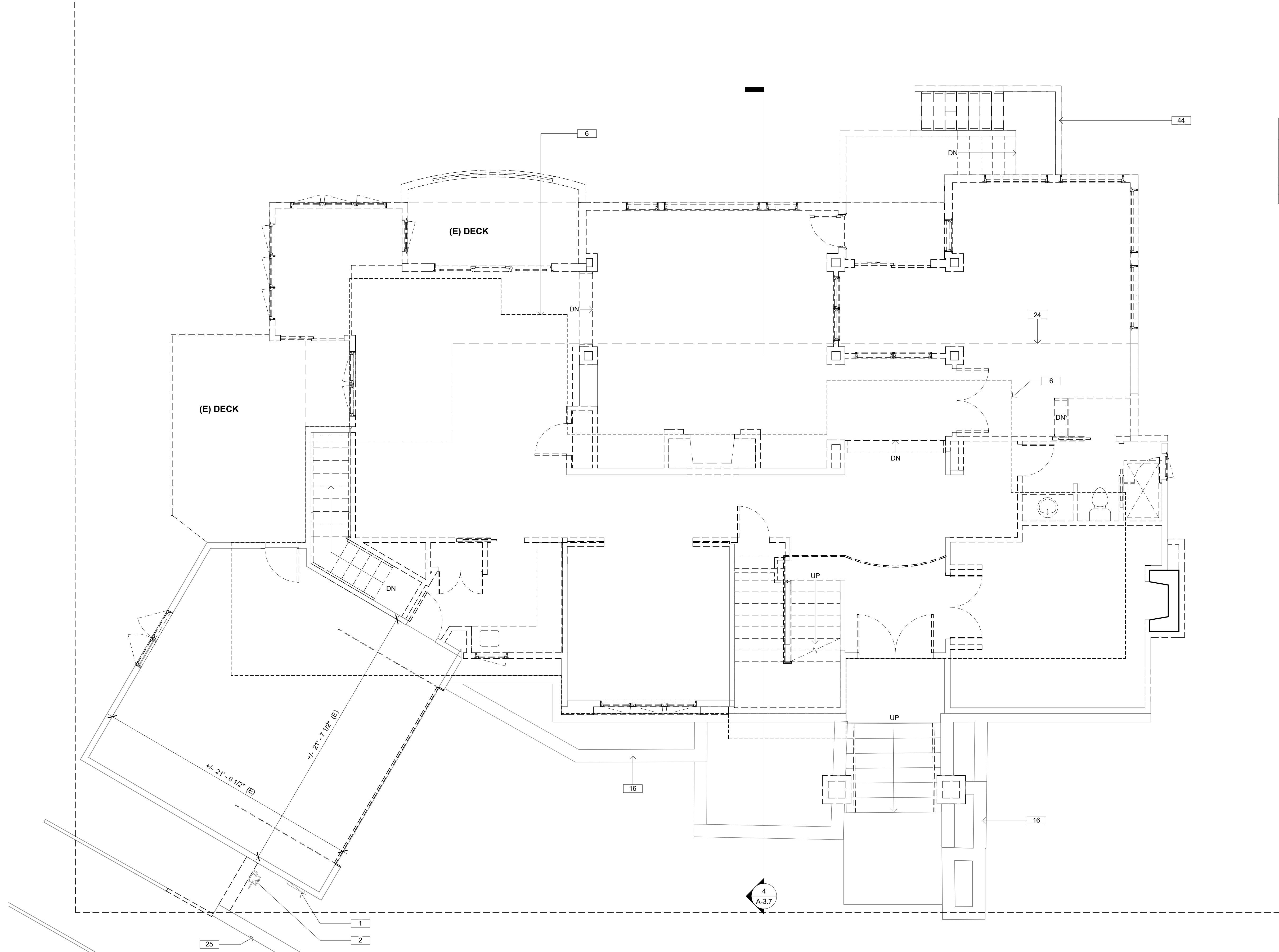
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EPM

JOB NO.
21696

SHEET



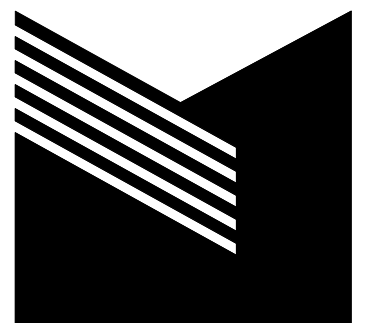
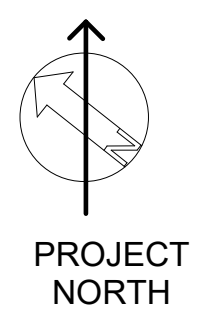
A-2.1E
OF SHEETS



DEMOLITION LEGEND	
	(E) CONSTRUCTION TO BE REMOVED
	(E) FULL HEIGHT WALL TO REMAIN
	(E) DOOR TYPE KEY
	(E) WINDOW TYPE KEY
	SECTION KEY
	DETAIL NUMBER
	SHEET NUMBER
	EXTERIOR ELEVATION KEY
	DETAIL NUMBER
	SHEET NUMBER

KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
1	(E) ELECTRICAL METER & SERVICE PANEL TO REMAIN
2	(E) GAS METER TO BE REMOVED / RELOCATED AS REQUIRED
6	OUTLINE OF (E) SECOND FLOOR
16	(E) PLANTER
24	OUTLINE OF (E) BASEMENT
25	(E) RETAINING WALL TO REMAIN

1 (E) FIRST FLOOR SHOWING WORK TO BE REMOVED
1/4" = 1'-0"



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ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR

JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
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(E) FIRST FLOOR PLAN SHOWING WORK TO BE REMOVED, DEMOLITION LEGEND AND KEY NOTES LEGEND

DESIGN REVIEW

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FEBRUARY 07, 2022

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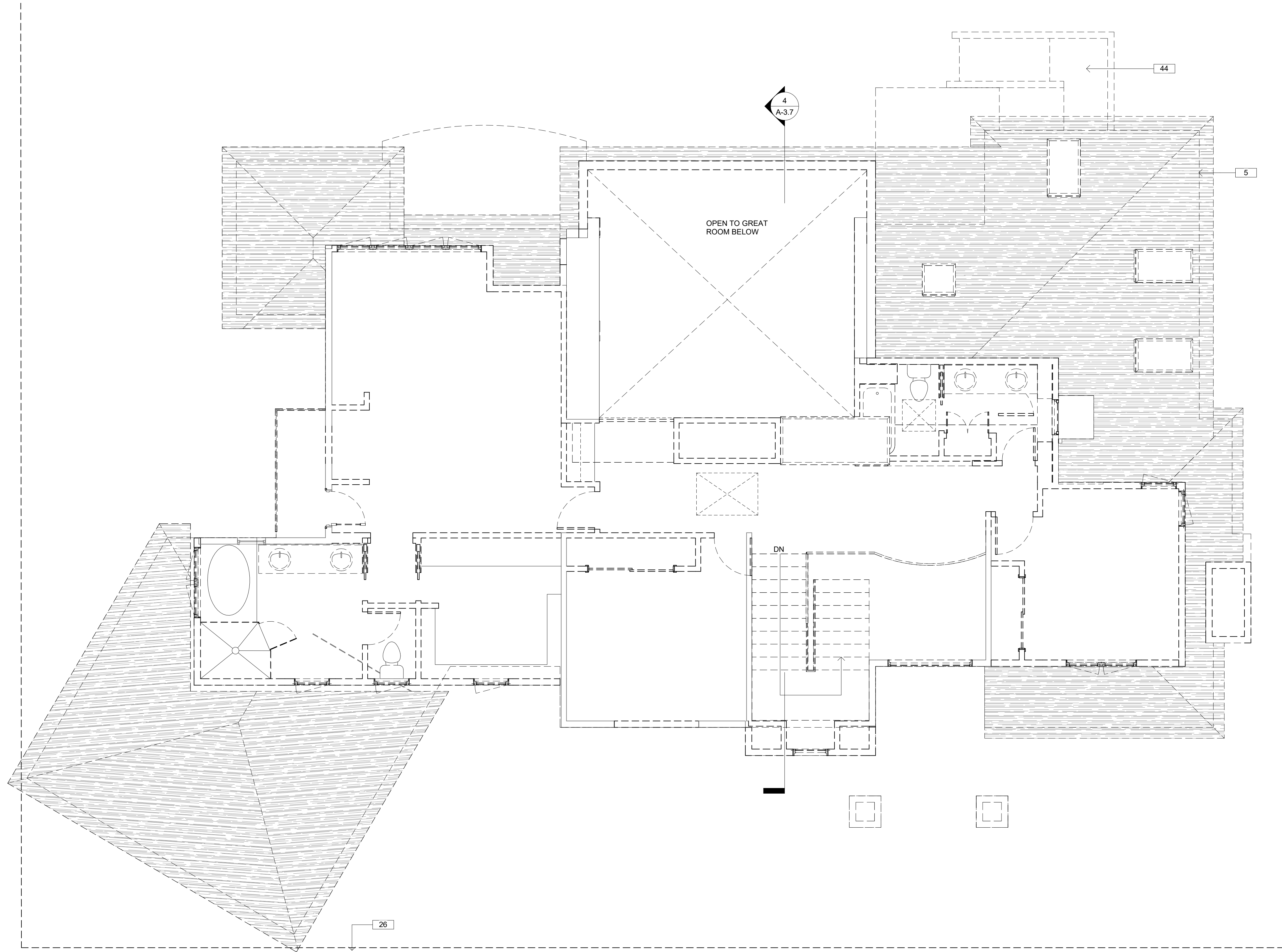
SCALE
1/4" = 1'-0"

DRAWN
Author

JOB NO.
21696

SHEET

A-2.2E
OF SHEETS



1 (E) SECOND FLOOR SHOWING WORK TO BE REMOVED
1/4" = 1'-0"

DEMOLITION LEGEND	
	(E) CONSTRUCTION TO BE REMOVED
	(E) FULL HEIGHT WALL TO REMAIN
	(E) DOOR TYPE KEY
	(E) WINDOW TYPE KEY
	SECTION KEY
	DETAIL NUMBER
	SHEET NUMBER
	EXTERIOR ELEVATION KEY
	DETAIL NUMBER
	SHEET NUMBER

KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
5	OUTLINE OF (E) FIRST FLOOR
26	SETBACKS
44	(E) DECK & STAIRS TO BE REMOVED



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**ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW
ADU FOR**

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3754 HAMILTON WAY, REDWOOD CITY, CA 94062
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(E) SECOND FLOOR
SHOWING WORK TO BE
REMOVED, DEMOLITION
LEGEND AND KEY
NOTES LEGEND

DESIGN REVIEW

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FEBRUARY 07, 2022

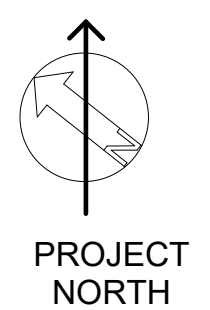
REVISION SCHEDULE		
REVISION NO.	DATE	NOTES

SCALE
1/4" = 1'-0"

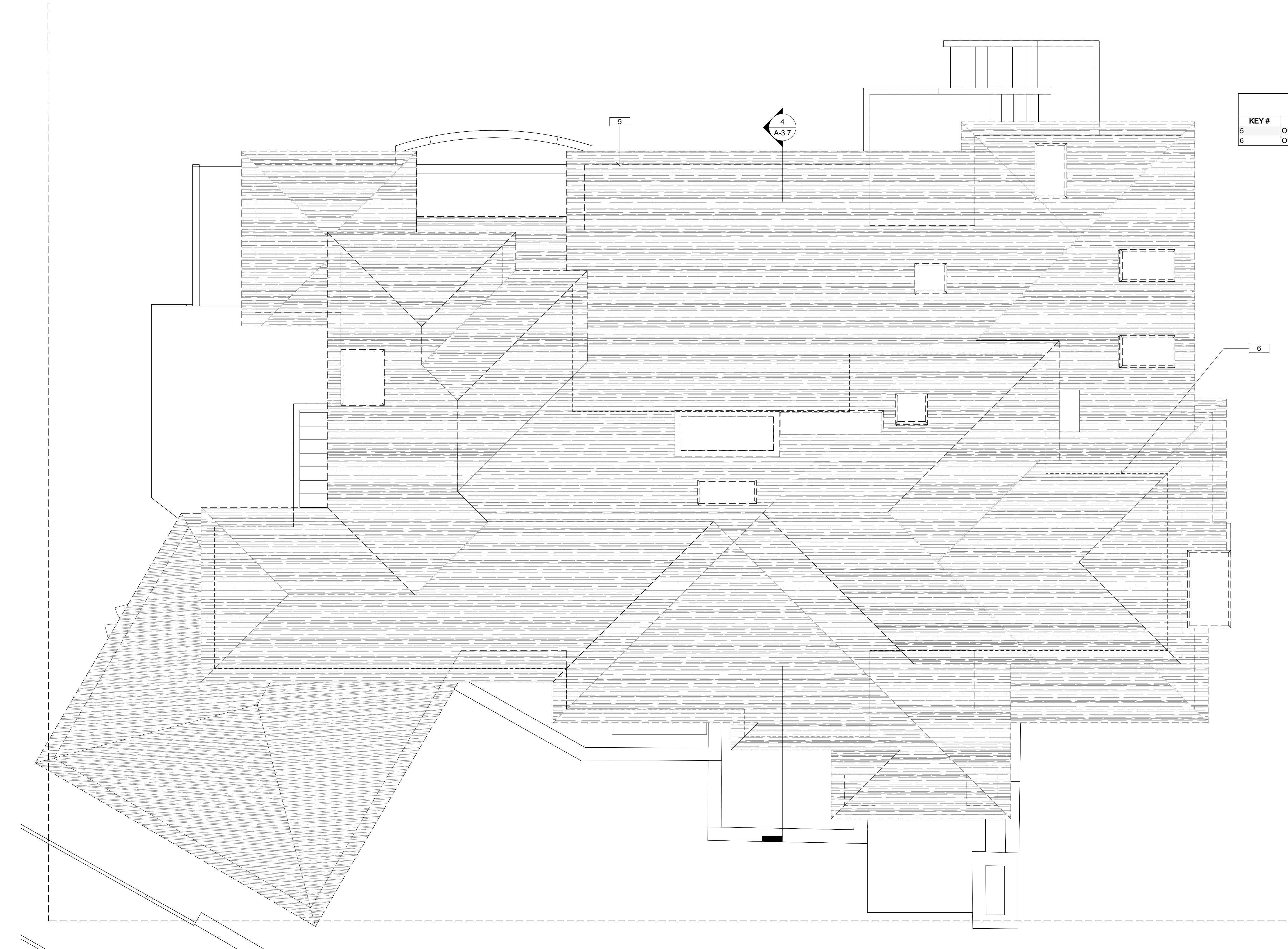
DRAWN
EPM

JOB NO.
21696

SHEET



A-2.3E
OF SHEETS



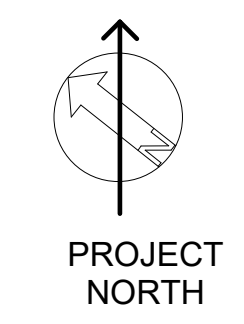
DEMOLITION LEGEND

	(E) CONSTRUCTION TO BE REMOVED
	(E) FULL HEIGHT WALL TO REMAIN
	(E) DOOR TYPE KEY
	(E) WINDOW TYPE KEY
	SECTION KEY
	DETAIL NUMBER
	SHEET NUMBER
	EXTERIOR ELEVATION KEY
	DETAIL NUMBER
	SHEET NUMBER

KEY NOTES LEGEND

KEY #	KEYNOTE TEXT
5	OUTLINE OF (E) FIRST FLOOR
6	OUTLINE OF (E) SECOND FLOOR

1 (E) ROOF PLAN SHOWING WORK TO REMOVED
1/4" = 1'-0"



JOHN MATTHEWS ARCHITECTS

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ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR

JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
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(E) ROOF PLAN SHOWING WORK TO BE REMOVED, DEMOLITION LEGEND AND KEY NOTES LEGEND

DESIGN REVIEW

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REVISION SCHEDULE

REVISION NO.	DATE	NOTES

SCALE
1/4" = 1'-0"

DRAWN
EPM

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21696

SHEET

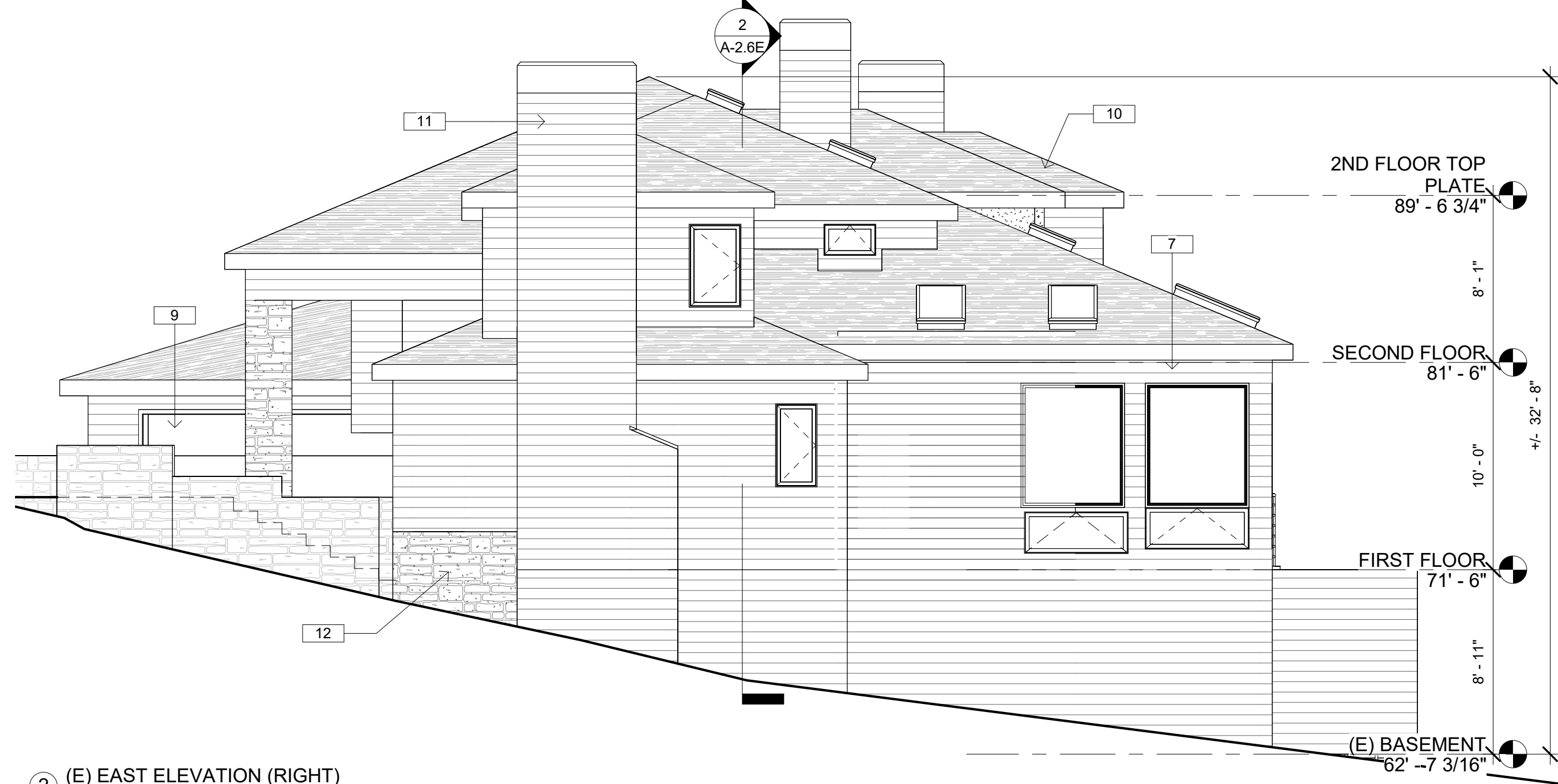
A-2.4E
OF SHEETS

2/7/2022 12:11:01 PM

D:\Dropbox\00-LOB FILES\Residential\21696-3754 Hamilton Way\04-DD\Schmidt-AB.rvt



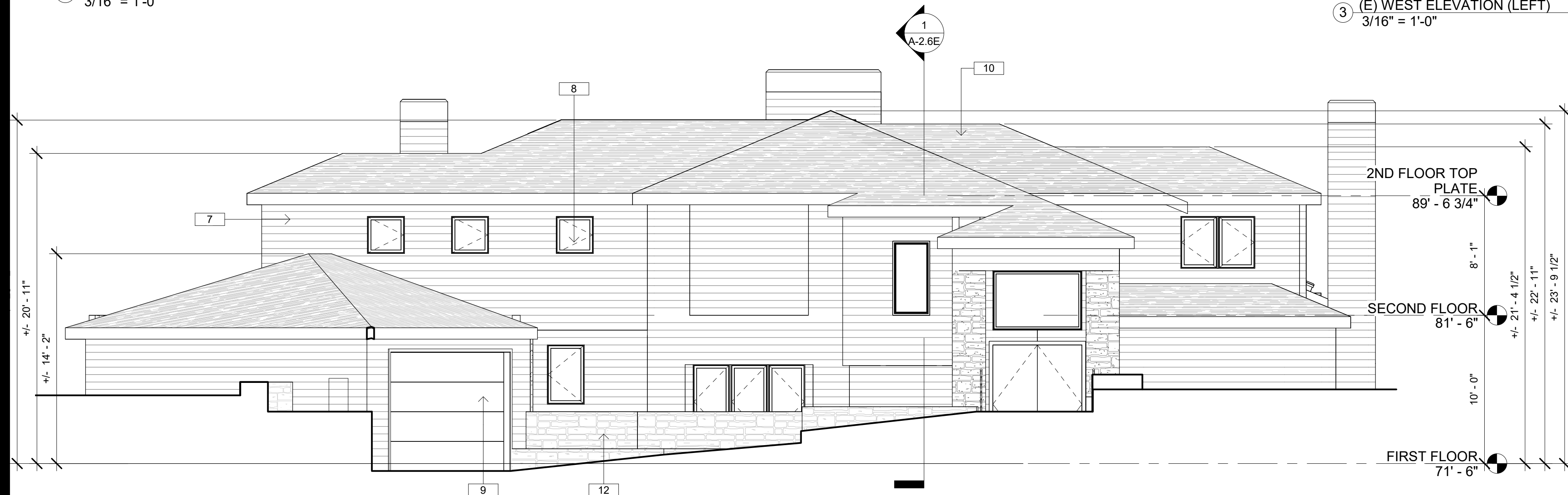
4 (E) NORTH ELEVATION (REAR)
3/16" = 1'-0"



2 (E) EAST ELEVATION (RIGHT)
3/16" = 1'-0"



3 (E) WEST ELEVATION (LEFT)
3/16" = 1'-0"



1 (E) SOUTH ELEVATION (FRONT)
3/16" = 1'-0"

KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
7	(E) SIDING, TYP.
8	(E) WINDOW, TYP.
9	(E) WOOD SECTIONAL GARAGE DOOR
10	(E) COMPOSITION SHINGLE ROOFING
11	(E) FIREPLACE CHIMNEY & CAP
12	(E) STONE FINISH



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3754 HAMILTON WAY, REDWOOD CITY, CA
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(E) EXTERIOR ELEVATIONS AND KEY NOTES LEGEND

DESIGN REVIEW

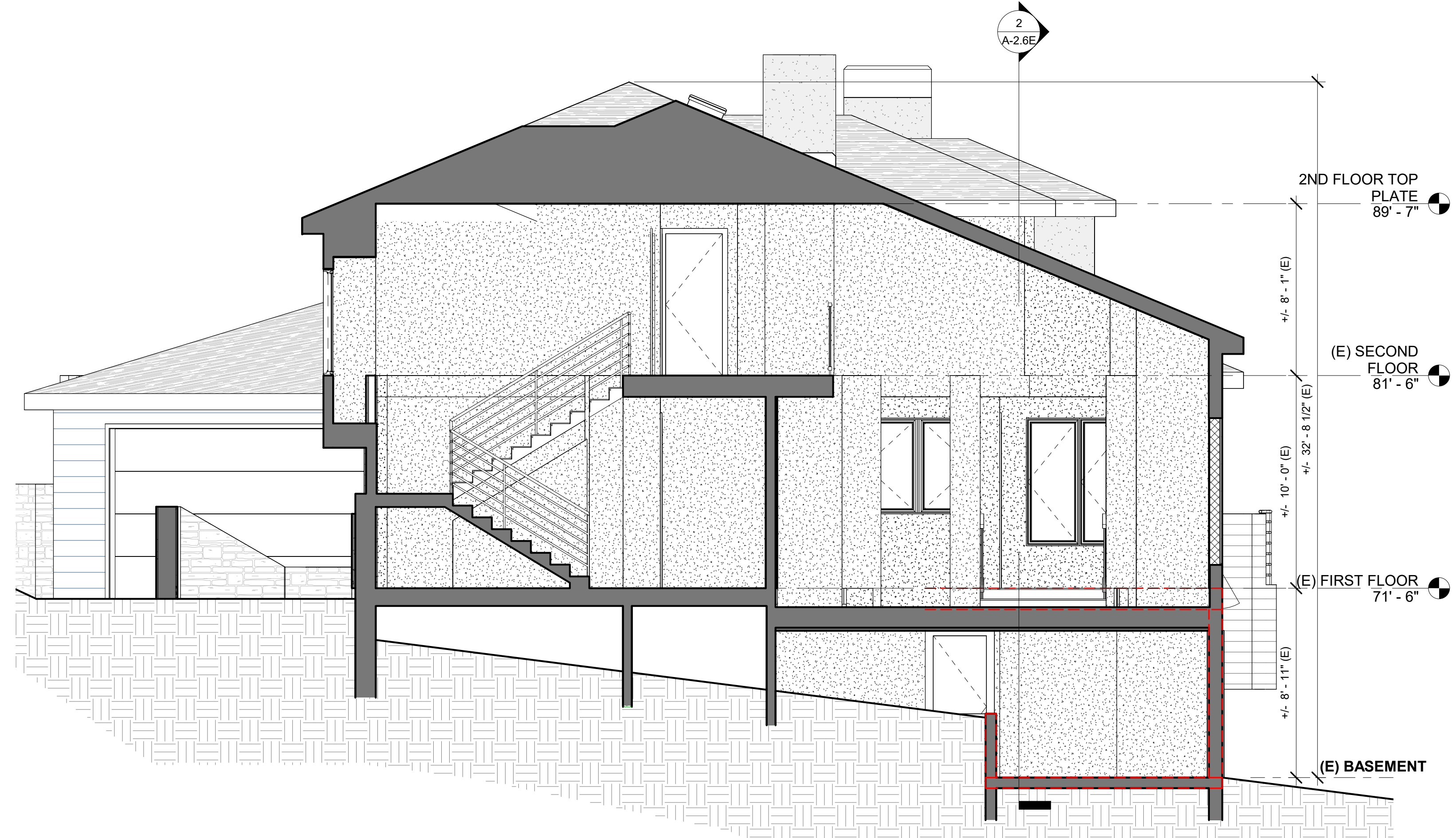
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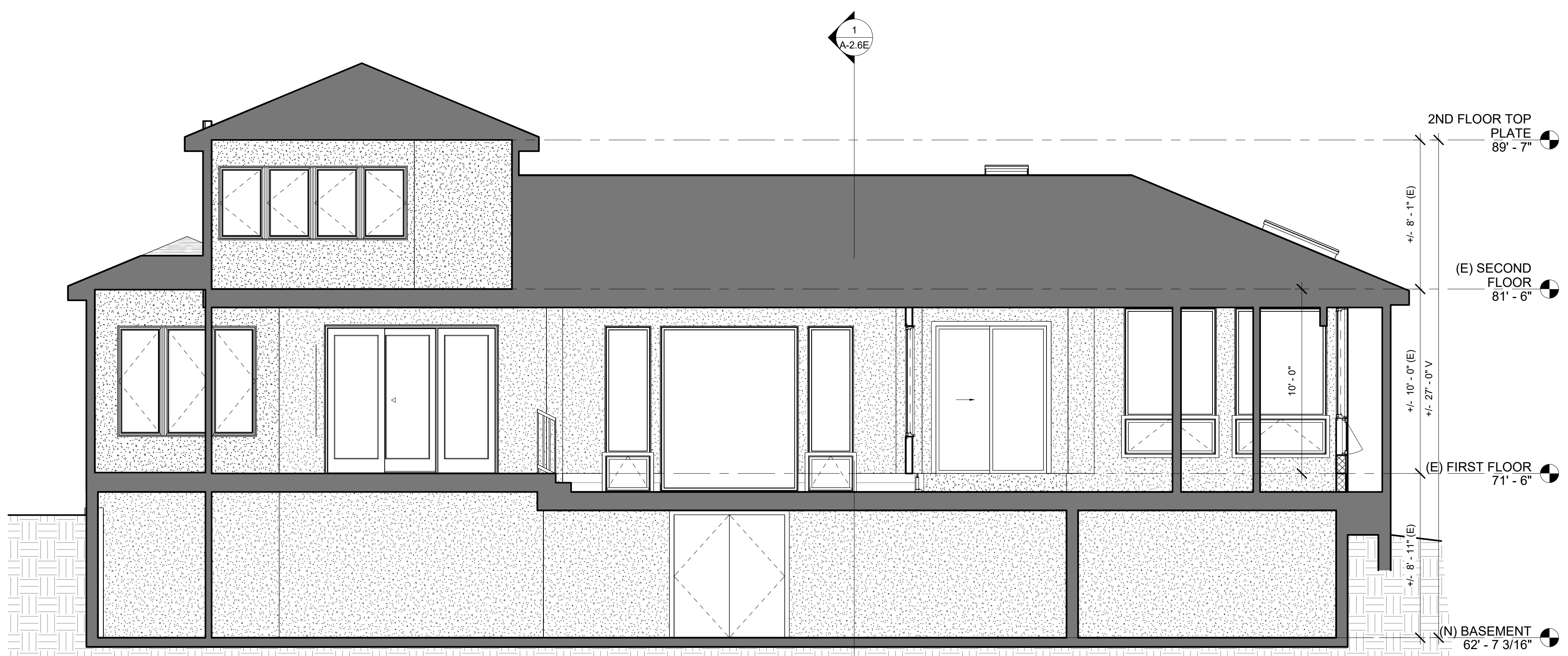
SCALE
3/16" = 1'-0"
DRAWN
EPM
JOB NO.
21696
SHEET

A-2.5E
OF SHEETS

KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT



1 (E) CROSS SECTION
1/4" = 1'-0"



2 (E) LONGITUDINAL SECTION
1/4" = 1'-0"



**JOHN
MATTHEWS
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ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW
ADU FOR

JILL & NATHAN SCHMIDT
3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

(E) BUILDING SECTIONS
AND KEY NOTES
LEGEND

DESIGN REVIEW

DATE
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REVISION SCHEDULE		
REVISION NO.	DATE	NOTES

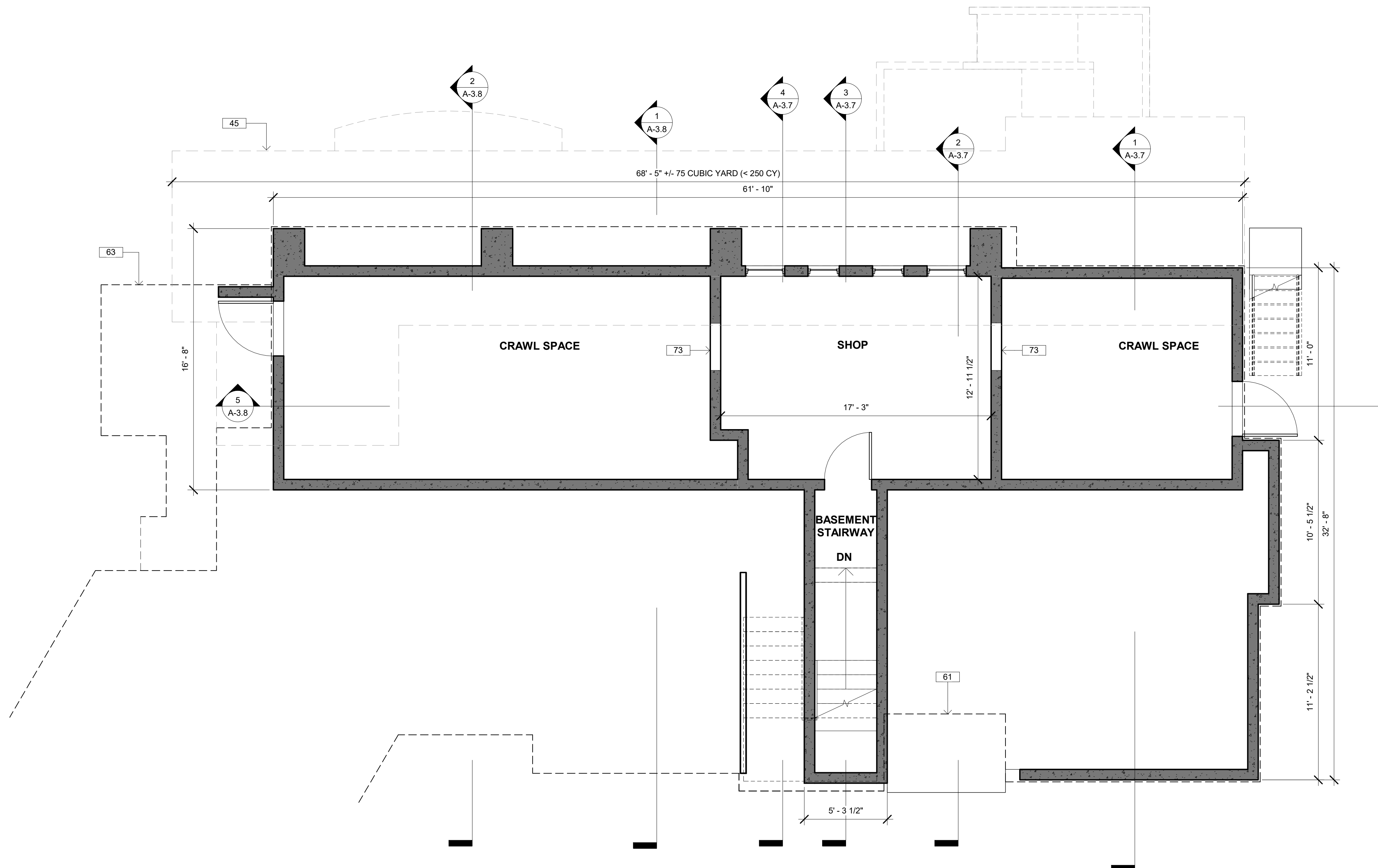
SCALE
1/4" = 1'-0"

DRAWN
EPM

JOB NO.
21696

SHEET

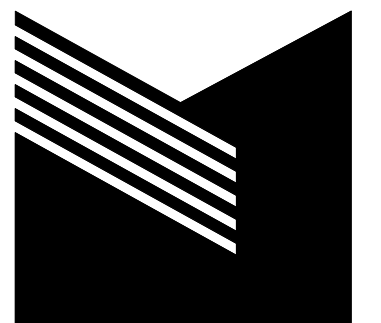
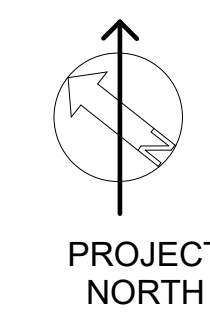
A-2.6E
OF SHEETS



1 PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"

CONSTRUCTION LEGEND	
	(E) CONSTRUCTION TO BE REMOVED
	(E) FULL HEIGHT WALL TO REMAIN
	(N) 2x4 FRAMED FULL HEIGHT WALL: W/ 1/2" GYP. BD. AT INTERIOR UNLESS OTHERWISE TO MATCH (E)
	(N) 2x6 FRAMED FULL HEIGHT WALL: W/ 1/2" GYP. BD. AT INTERIOR UNLESS OTHERWISE TO MATCH (E)
	SECTION KEY
	DETAIL NUMBER
	EXTERIOR / INTERIOR ELEVATION KEY
	DETAIL NUMBER
	SHEET NUMBER

KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
45	OUTLINE OF (E) BASEMENT & FIRST FLOOR TO BE REMOVED
61	OUTLINE OF NEW FIRST FLOOR
63	NEW DECK AT FIRST FLOOR
73	CRAWL SPACE ACCESS PER CODE



JOHN MATTHEWS ARCHITECTS

335-A EAST FOURTH AVENUE
SAN MATEO, CA 94401
TELE: (650) 340-1107

ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR

JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

PROPOSED BASEMENT FLOOR PLAN, CONSTRUCTION LEGEND AND KEY NOTES LEGEND

DESIGN REVIEW

DATE
DECEMBER 06, 2021
FEBRUARY 07, 2022

REVISION SCHEDULE		
REVISION NO.	DATE	NOTES

SCALE
1/4" = 1'-0"

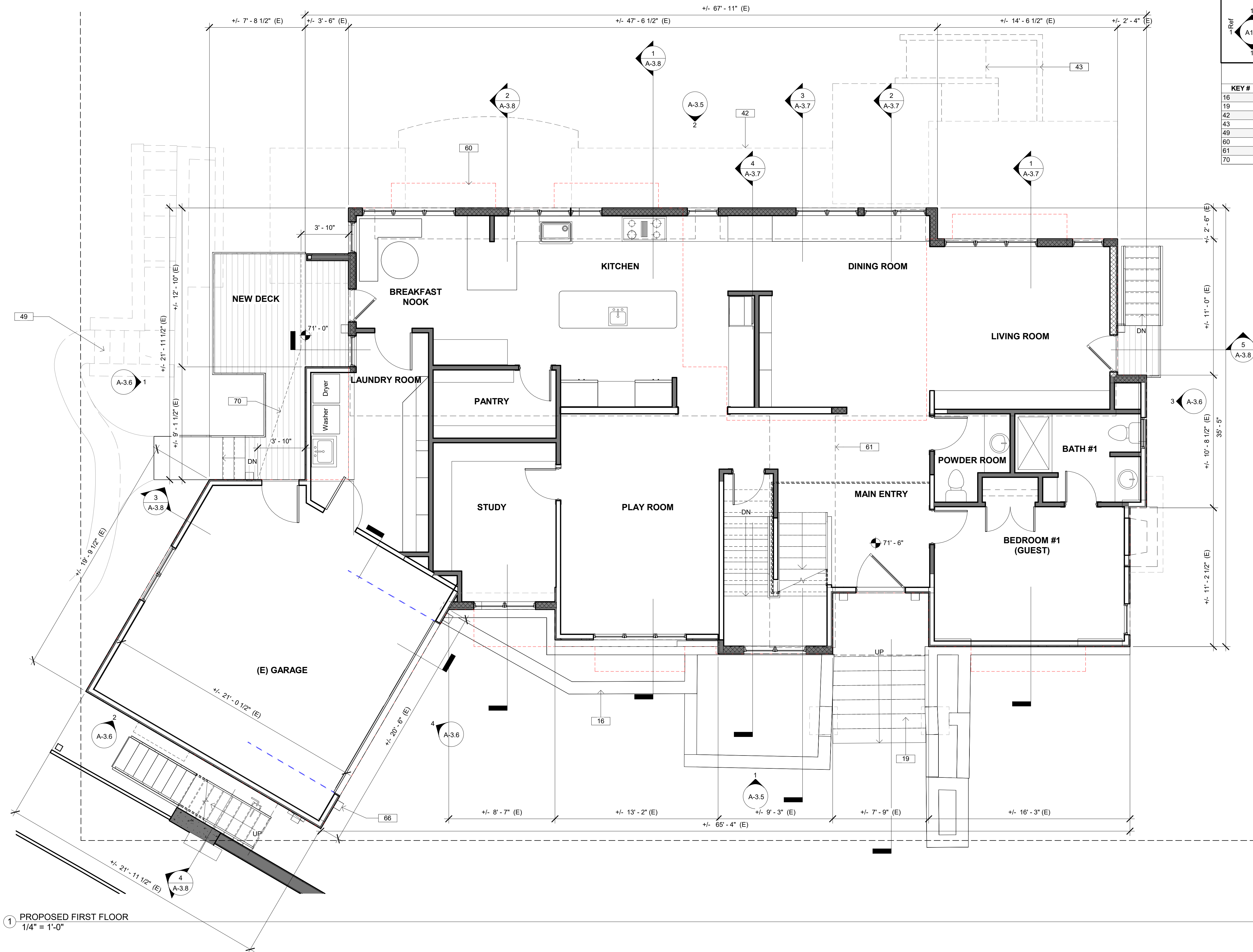
DRAWN
EPM

JOB NO.
21696

SHEET

A-3.1
OF SHEETS

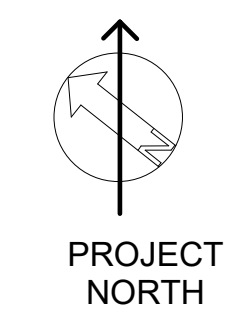
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1 PROPOSED FIRST FLOOR
1/4" = 1'-0"

CONSTRUCTION LEGEND	
	(E) CONSTRUCTION TO BE REMOVED
	(E) FULL HEIGHT WALL TO REMAIN
	(N) 2x4 FRAMED FULL HEIGHT WALL: W/ 1/2" GYP. BD. AT INTERIOR UNLESS OTHERWISE TO MATCH (E)
	(N) 2x6 FRAMED FULL HEIGHT WALL: W/ 1/2" GYP. BD. AT INTERIOR UNLESS OTHERWISE TO MATCH (E)
	SECTION KEY
	DETAIL NUMBER
	SHEET NUMBER
	EXTERIOR / INTERIOR ELEVATION KEY
	DETAIL NUMBER
	SHEET NUMBER

KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
16	(E) PLANTER
19	(E) ENTRY STEPS
42	OUTLINE OF (E) FIRST FLOOR LEVEL TO BE REMOVED
43	OUTLINE OF (E) SECOND FLOOR LEVEL TO BE REMOVED
49	REBUILD (E) STEPS ON GRADE TO COMPLY W/ CODE
60	OUTLINE OF NEW SECOND FLOOR
61	OUTLINE OF NEW FIRST FLOOR
70	OUTLINE OF ROOF AT 1ST FLOOR



JOHN MATTHEWS ARCHITECTS

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ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR
JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

PROPOSED FIRST FLOOR PLAN,
CONSTRUCTION LEGEND AND KEY NOTES LEGEND

DESIGN REVIEW

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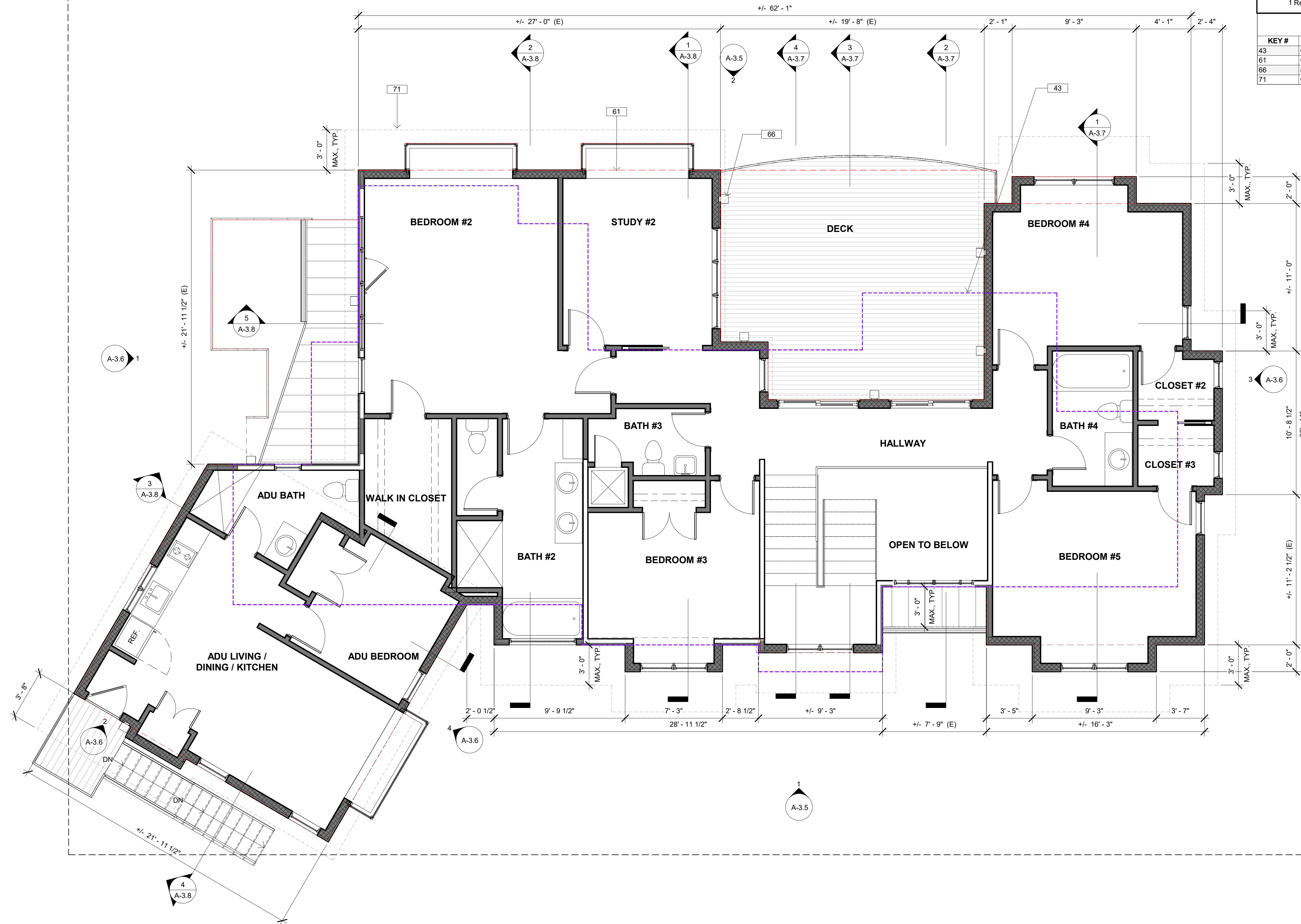
SCALE
1/4" = 1'-0"

DRAWN
EPM

JOB NO.
21696

SHEET

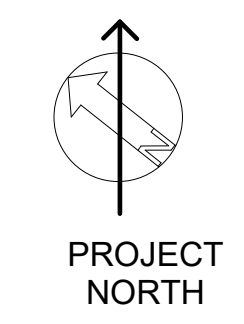
A-3.2
OF SHEETS



CONSTRUCTION LEGEND	
	(E) CONSTRUCTION TO BE REMOVED
	(E) FULL HEIGHT WALL TO REMAIN
	(N) 2x4 FRAMED FULL HEIGHT WALL: W/ 1/2" GYP. BD. AT INTERIOR UNLESS OTHERWISE TO MATCH (E)
	(N) 2x6 FRAMED FULL HEIGHT WALL: W/ 1/2" GYP. BD. AT INTERIOR UNLESS OTHERWISE TO MATCH (E)
	SECTION KEY
	DETAIL NUMBER SHEET NUMBER
	EXTERIOR / INTERIOR ELEVATION KEY
	DETAIL NUMBER SHEET NUMBER

KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
43	OUTLINE OF (E) SECOND FLOOR LEVEL TO BE REMOVED
61	OUTLINE OF NEW FIRST FLOOR
66	(N) LED WALL MOUNTED EXTERIOR LIGHT FIXTURE, TYP.
71	OUTLINE OF ROOF AT 2ND FLOOR

1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



JOHN MATTHEWS ARCHITECTS

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SAN MATEO, CA 94401
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ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR
JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

PROPOSED SECOND FLOOR PLAN,
CONSTRUCTION LEGEND AND KEY NOTES LEGEND

DESIGN REVIEW

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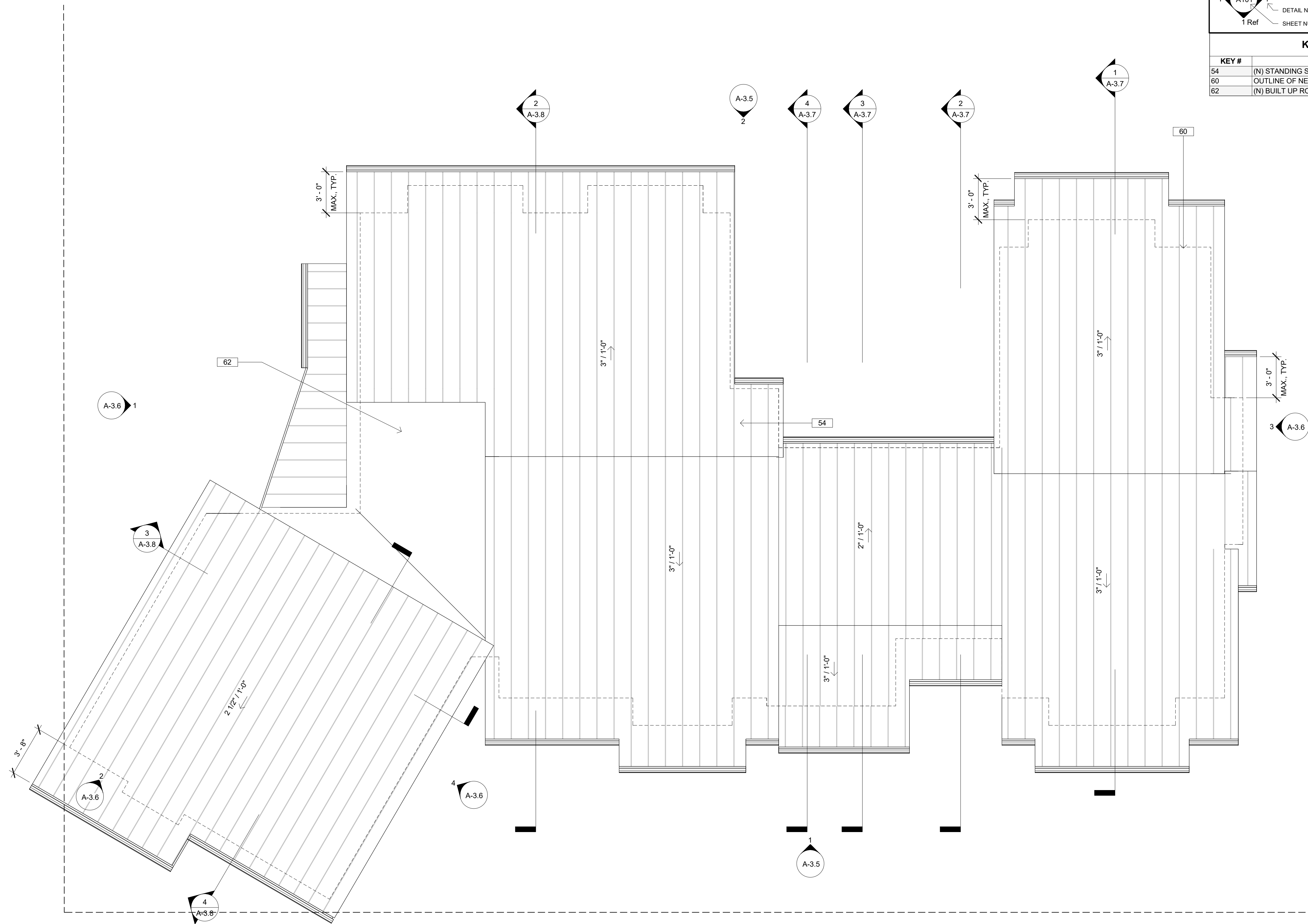
SCALE
1/4" = 1'-0"

DRAWN
Author

JOB NO.
21696

SHEET

A-3.3
OF SHEETS



1 PROPOSED ROOF PLAN
1/4" = 1'-0"

CONSTRUCTION LEGEND

- (E) CONSTRUCTION TO BE REMOVED
- (E) FULL HEIGHT WALL TO REMAIN
- (N) 2x4 FRAMED FULL HEIGHT WALL: W/ 1/2" GYP. BD. AT INTERIOR UNLESS OTHERWISE TO MATCH (E)
- (N) 2x6 FRAMED FULL HEIGHT WALL: W/ 1/2" GYP. BD. AT INTERIOR UNLESS OTHERWISE TO MATCH (E)

SECTION KEY

SIM
DETAIL NUMBER
SHEET NUMBER

EXTERIOR / INTERIOR ELEVATION KEY

1 Ref
DETAIL NUMBER
SHEET NUMBER

KEY NOTES LEGEND

KEY #	KEYNOTE TEXT
54	(N) STANDING SEAM METAL ROOF, TYP.
60	OUTLINE OF NEW SECOND FLOOR
62	(N) BUILT UP ROOFING



JOHN MATTHEWS ARCHITECTS

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ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR

JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

PROPOSED ROOF PLAN,
CONSTRUCTION
LEGEND AND KEY
NOTES LEGEND

DESIGN REVIEW

DATE
DECEMBER 06, 2021
FEBRUARY 07, 2022

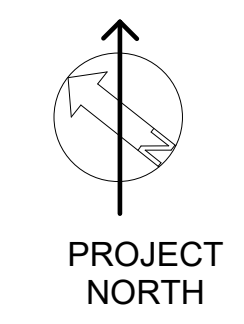
REVISION SCHEDULE		
REVISION NO.	DATE	NOTES

SCALE
1/4" = 1'-0"

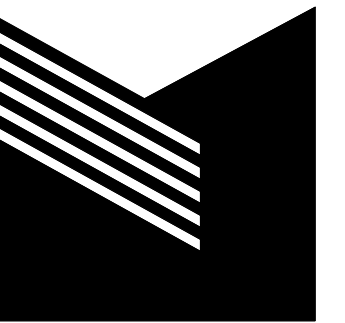
DRAWN
EPM

JOB NO.
21696

SHEET



A-3.4
OF SHEETS



JOHN MATTHEWS ARCHITECTS

335-A EAST FOURTH AVENUE
SAN MATEO, CA 94401
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ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR

JILL & NATHAN SCHMIDT
3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

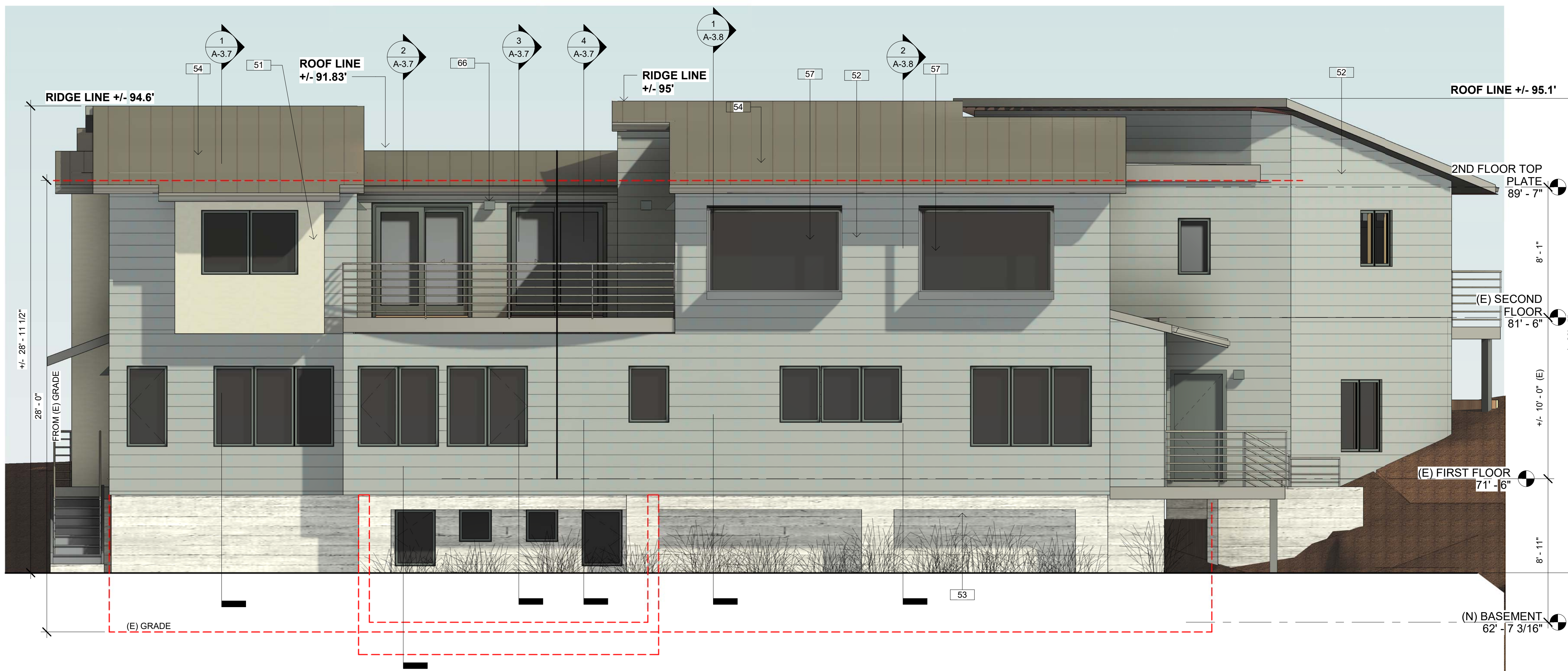
KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
51	(N) CEMENT PLASTER (LIGHT DASH TEXTURE), TYP.
52	(N) HORIZONTAL CEMENT FIBER BOARD SIDING, TYP.
53	(N) BOARD FORMED CONCRETE, TYP.
54	(N) STANDING SEAM METAL ROOF, TYP.
55	(N) ALUMINUM CLAD WOOD WINDOW, TYP.
57	(N) ALUMINUM FRAMED WINDOW
58	(N) ALUMINUM CLAD WOOD ENTRY DOOR
64	(N) ALUMINUM FRAMED GARAGE DOORS W/ TEMPERED & OBSCURE GLASS
66	(N) LED WALL MOUNTED EXTERIOR LIGHT FIXTURE, TYP.



WALL MOUNTED EXTERIOR SCENCE
CAMMIAN LIGHTING: SATIN BLACK, "LN LED 35K CLV 1 WA PSB"



1 PROPOSED SOUTH ELEVATION (FRONT)
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION (REAR)
1/4" = 1'-0"

EXTERIOR FINISHES SCHEDULE			
DESCRIPTION	MATERIAL	FINISH	REMARKS
WALLS	HORIZONTAL CEMENT FIBER BOARD SIDING	E	PAINT, LOW V.O.C. PAINT
	CEMENT PLASTER	E	
EXTERIOR WINDOWS & DOORS	ALUMINUM CLAD WOOD, ALUMINUM WINDOWS	-	LOW E, DUAL PANE, TEMPERED SAFETY GLASS
ROOF	STANDING SEAM METAL	-	CLASS A
TRIM, STUCCO MOLD, FASCIA, SOFFIT	REDWOOD, CEDAR, P.T.D.F.	G	PAINT, LOW V.O.C. PAINT
GUTTER, DOWNSPOUTS, SCUPPERS, VENTS	GALVANIZED SHEET METAL	D	LOW V.O.C. PAINT

TYPES OF FINISH		
TYPE	COATS	DESCRIPTION
A	3	PRIME BOTH FACES + 2 COATS GLOSS ALKYD ENAMEL
B	1	SEMI-TRANSPARENT STAIN
C	4	PRE-TREATMENT PRIMER + ZINC OXIDE PRIMER + 2 COATS GLOSS ALKYD
D	4	PRE-TREATMENT PRIMER + 2 COATS FLAT ACRYLIC
E	3	PRIMER + 2 COATS FLAT EXTERIOR LATEX
F	3	PRIMER + 2 COATS FLAT LATEX
G	3	PRIMER + 2 COATS SEMIGLOSS ACRYLIC
H	3	PRIMER + 2 COATS EGGSHELL ACRYLIC
J	3	PRIMER + 2 COATS SEMI-GLOSS ALKYD ENAMEL
K	4	SANDING SEALER + WIPING STAIN + 2 COATS SEMI-GLOSS LACQUER
L	4	WIPING STAIN W/ FILLER + 3 COATS SATIN POLYURETHANE
M	4	SANDING SEALER + STAIN + 2 COATS SATIN POLYURETHANE

NOTE: FOR (E) SURFACE IN GOOD CONDITION USE 1 OR 2 COATS AS NECESSARY TO MATCH. FOR REPAIRED OR PATCHED SURFACES SPOT PRIME WITH SPECIFIED PRIMER AND USE 1 OR 2 FINISH COATS AS NECESSARY. REVIEW SHEEN AND COLOR WITH OWNER AND CLIENT.

PROPOSED EXTERIOR ELEVATIONS, WALL MOUNTED EXTERIOR SCENCE IMAGE, EXTERIOR FINISHES SCHEDULE, TYPES OF FINISH AND KEY NOTES LEGEND

DESIGN REVIEW

DATE
DECEMBER 06, 2021
FEBRUARY 07, 2022

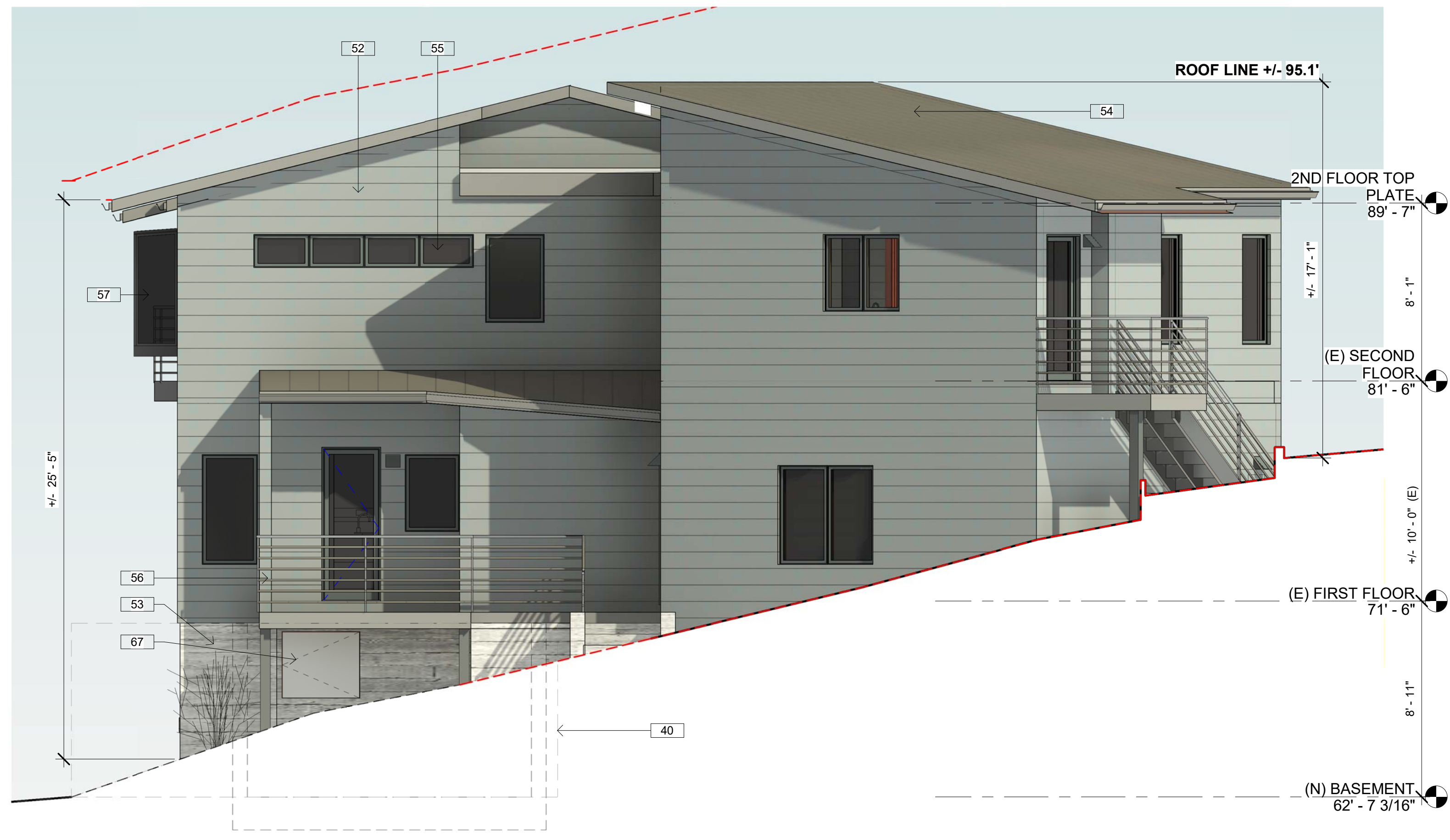
REVISION SCHEDULE		
REVISION NO.	DATE	NOTES

SCALE
As indicated

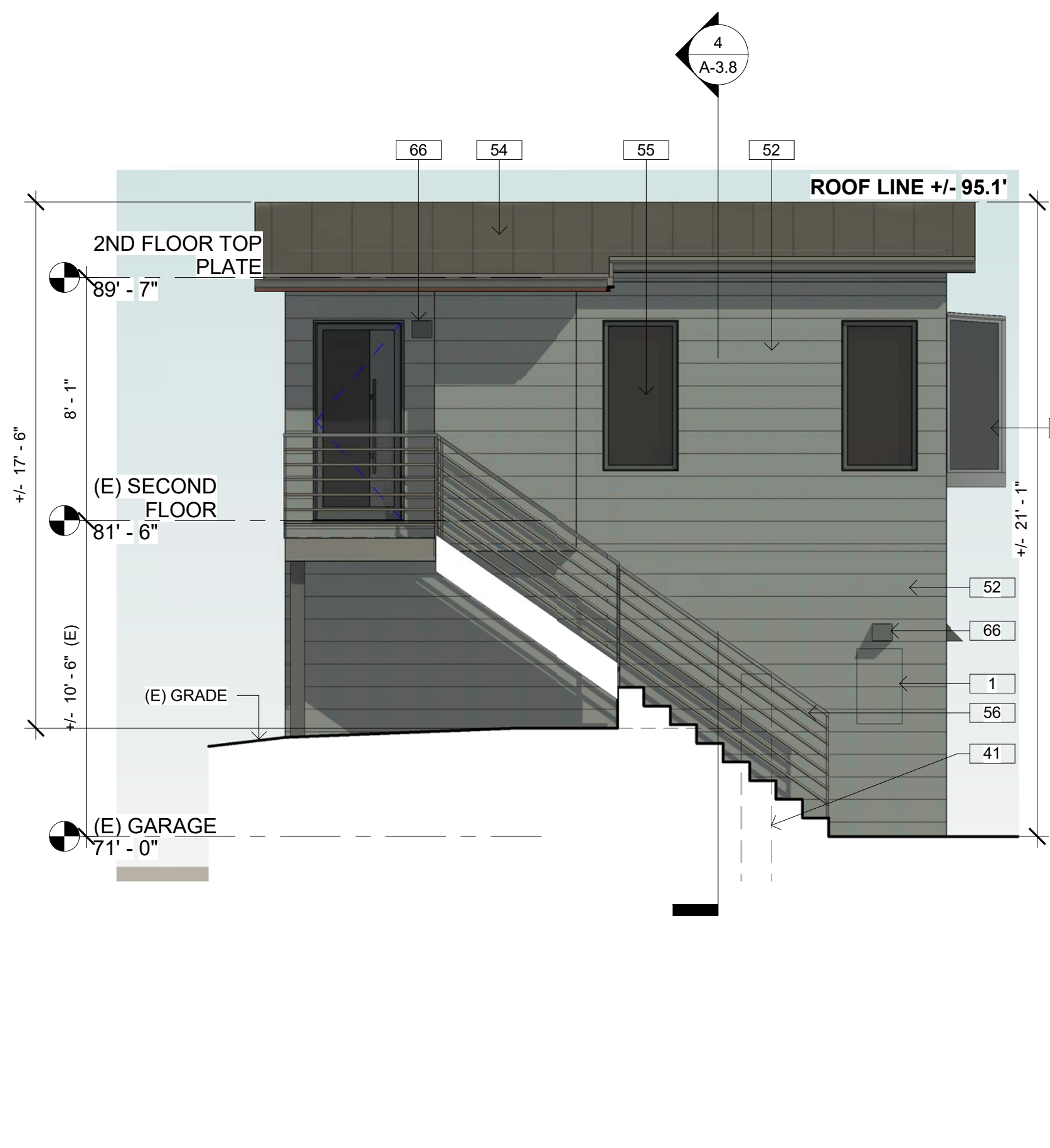
DRAWN
EPM
JOB NO.
21696

SHEET

A-3.5
OF SHEETS

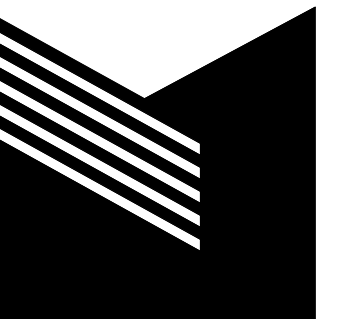


1 PROPOSED WEST ELEVATION (LEFT)
1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION OF GARAGE / ADU
1/4" = 1'-0"

KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
1	(E) ELECTRICAL METER & SERVICE PANEL TO REMAIN
40	OUTLINE OF (E) NON-CONFORMING BASEMENT TO BE REMOVED
41	(E) RETAINING WALL TO BE REMOVED FOR NEW STAIRS
51	(N) CEMENT PLASTER (LIGHT DASH TEXTURE), TYP.
52	(N) HORIZONTAL CEMENT FIBER BOARD SIDING, TYP.
53	(N) BOARD FORMED CONCRETE, TYP.
54	(N) STANDING SEAM METAL ROOF, TYP.
55	(N) ALUMINUM CLAD WOOD WINDOW, TYP.
56	(N) PIPE GUARDRAIL, TYP.
57	(N) ALUMINUM FRAMED WINDOW
64	(N) ALUMINUM FRAMED GARAGE DOORS W/ TEMPERED & OBSCURE GLASS
66	(N) LED WALL MOUNTED EXTERIOR LIGHT FIXTURE, TYP.
67	(N) REQUIRED CRAWL SPACE ACCESS



JOHN MATTHEWS ARCHITECTS

335-A EAST FOURTH AVENUE
SAN MATEO, CA 94401
TELE: (650) 340-1107

ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR

JILL & NATHAN SCHMIDT
3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

PROPOSED EXTERIOR ELEVATIONS AND KEY NOTES LEGEND

DESIGN REVIEW

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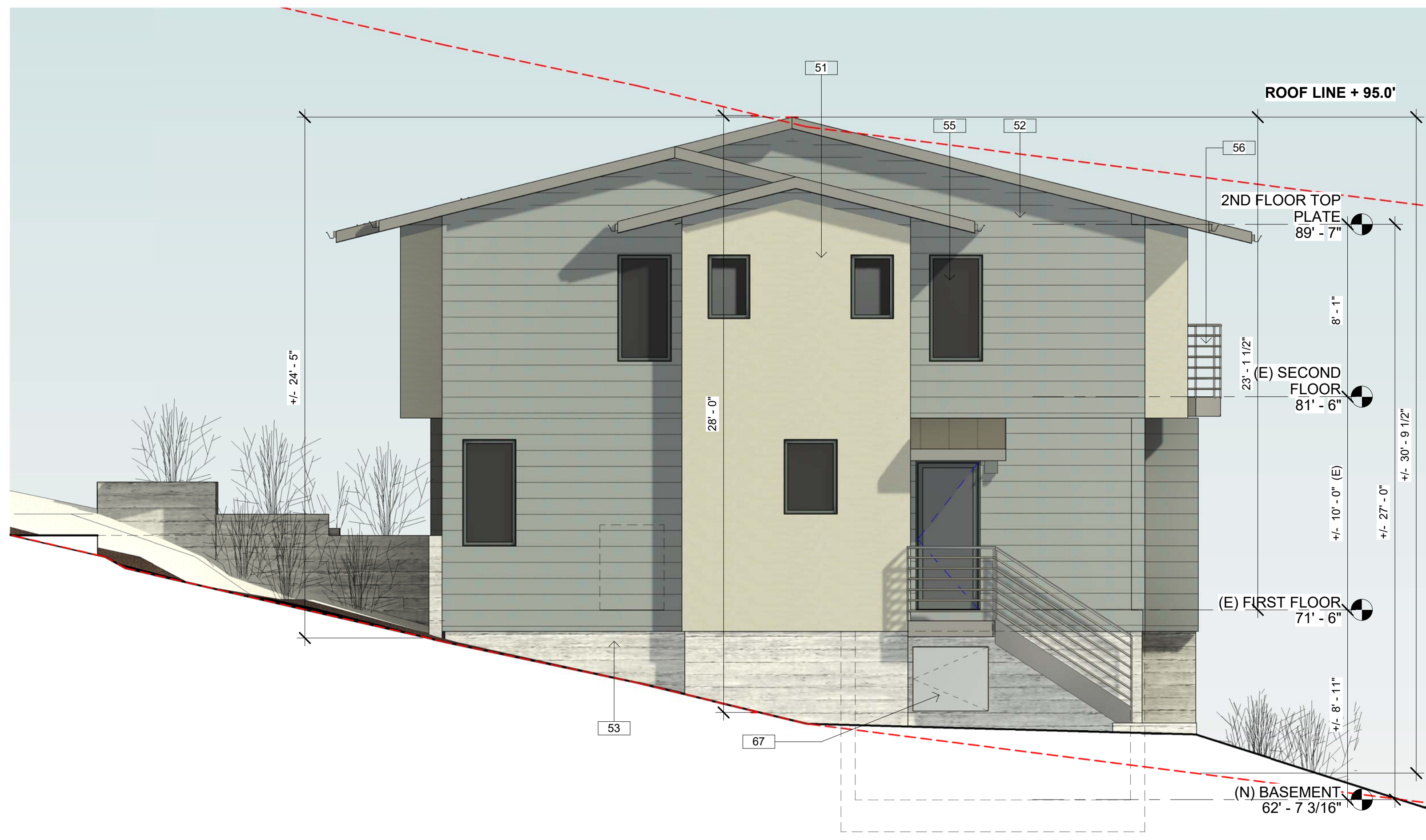
SCALE
1/4" = 1'-0"

DRAWN
EPM

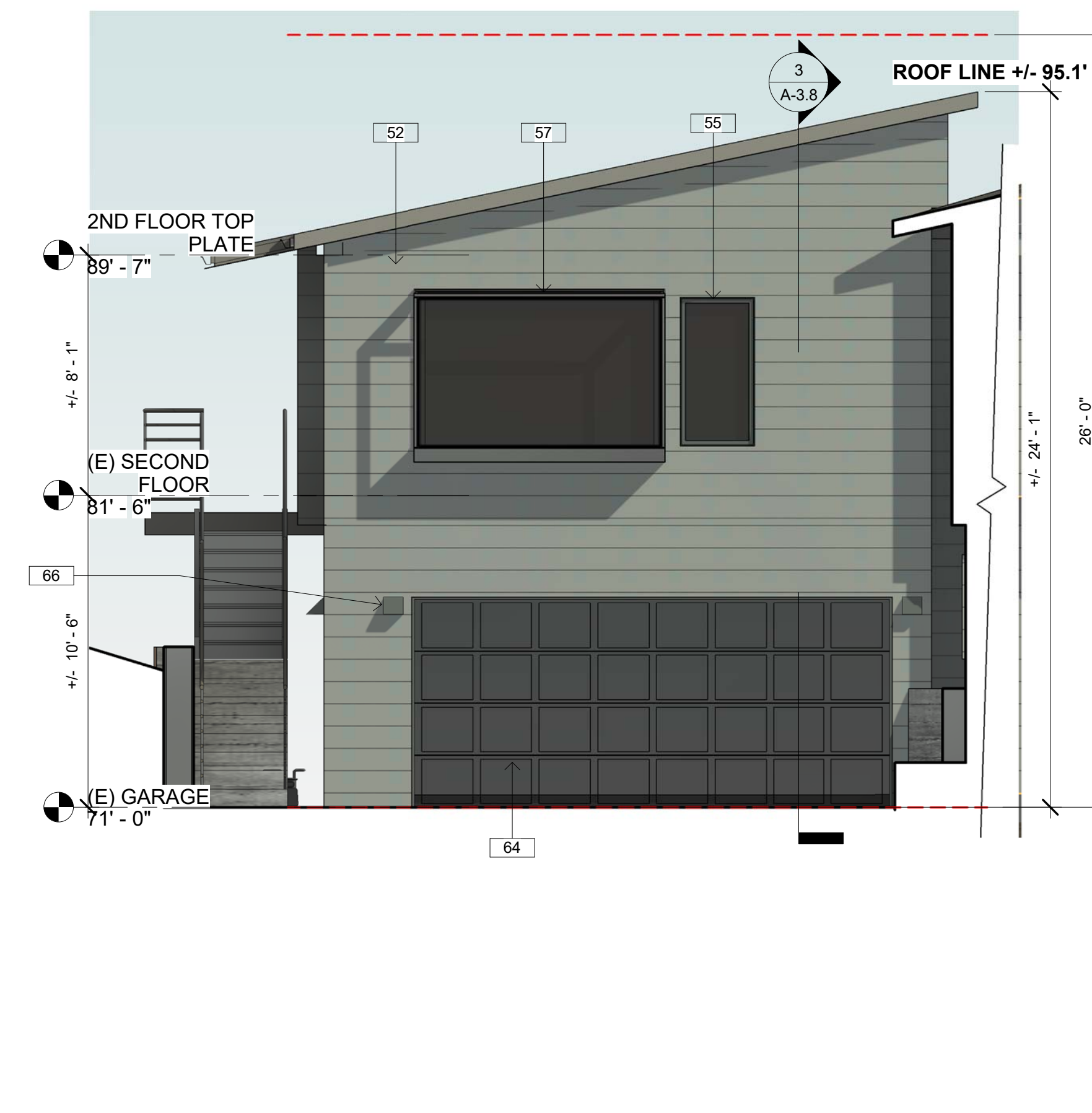
JOB NO.
21696

SHEET

A-3.6
OF SHEETS



3 PROPOSED EAST ELEVATION (RIGHT)
1/4" = 1'-0"



4 PROPOSED FRONT ELEVATION OF GARAGE / ADU
1/4" = 1'-0"

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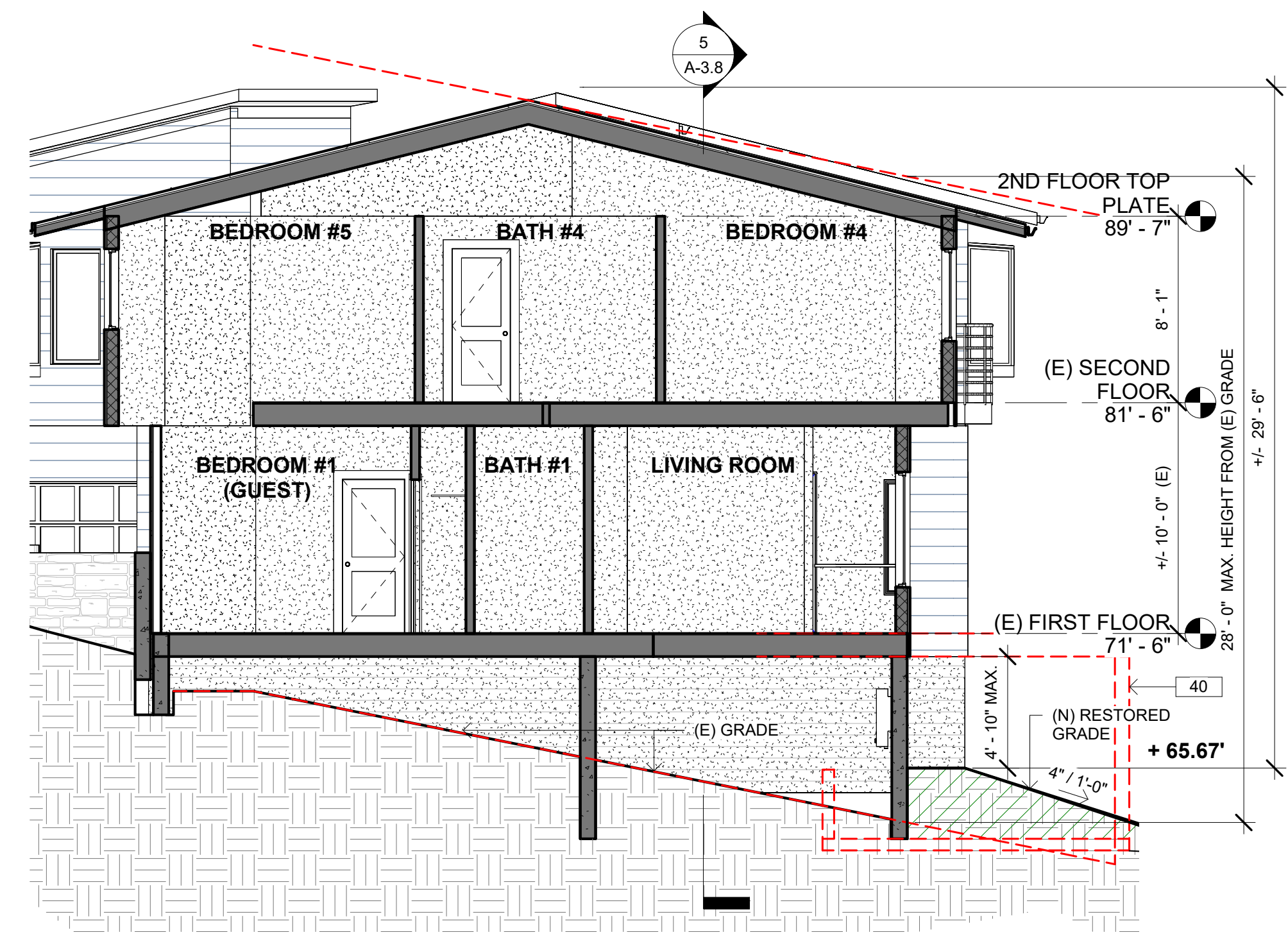
JOHN MATTHEWS ARCHITECTS

335-A EAST FOURTH AVENUE
SAN MATEO, CA 94401
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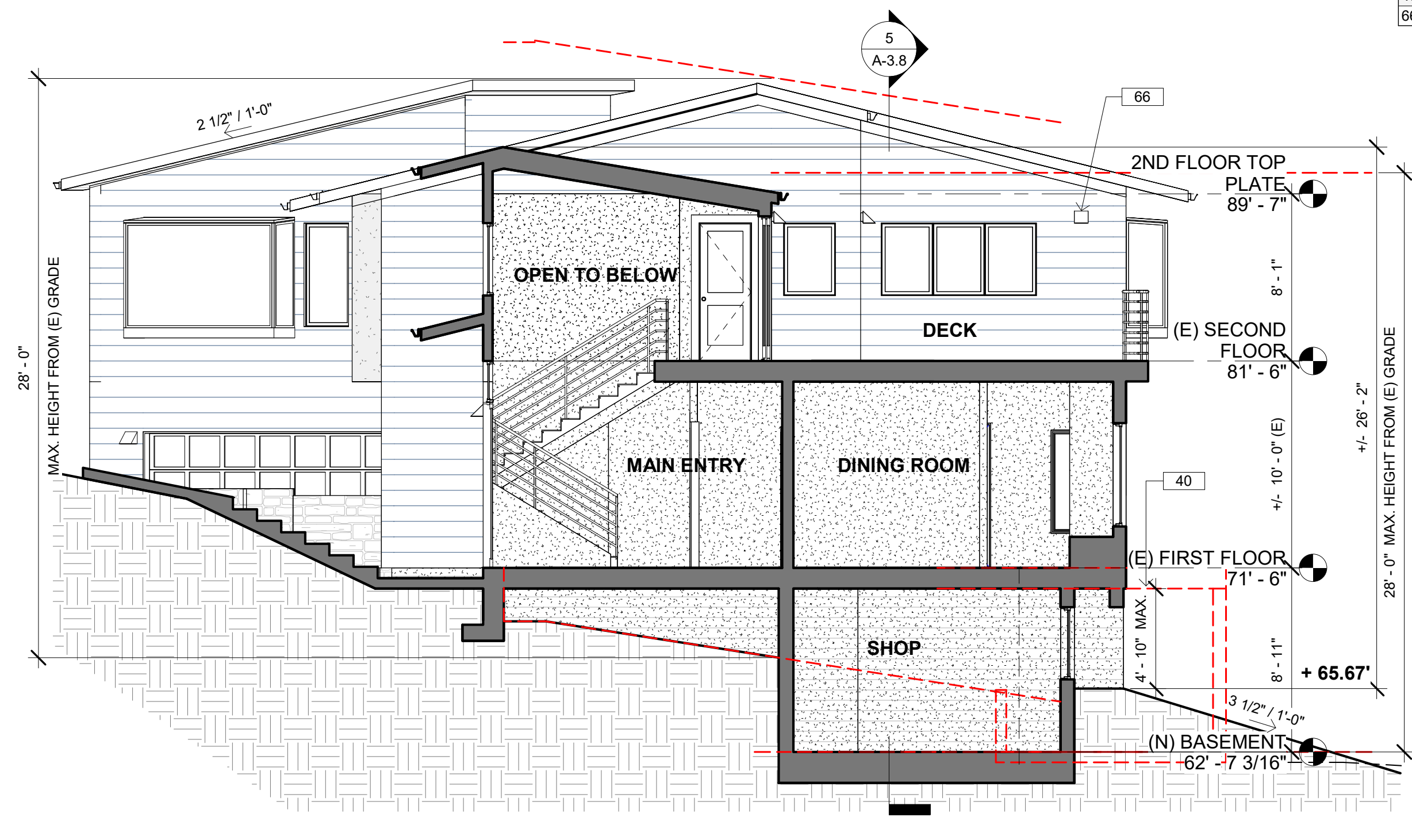
ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR
JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

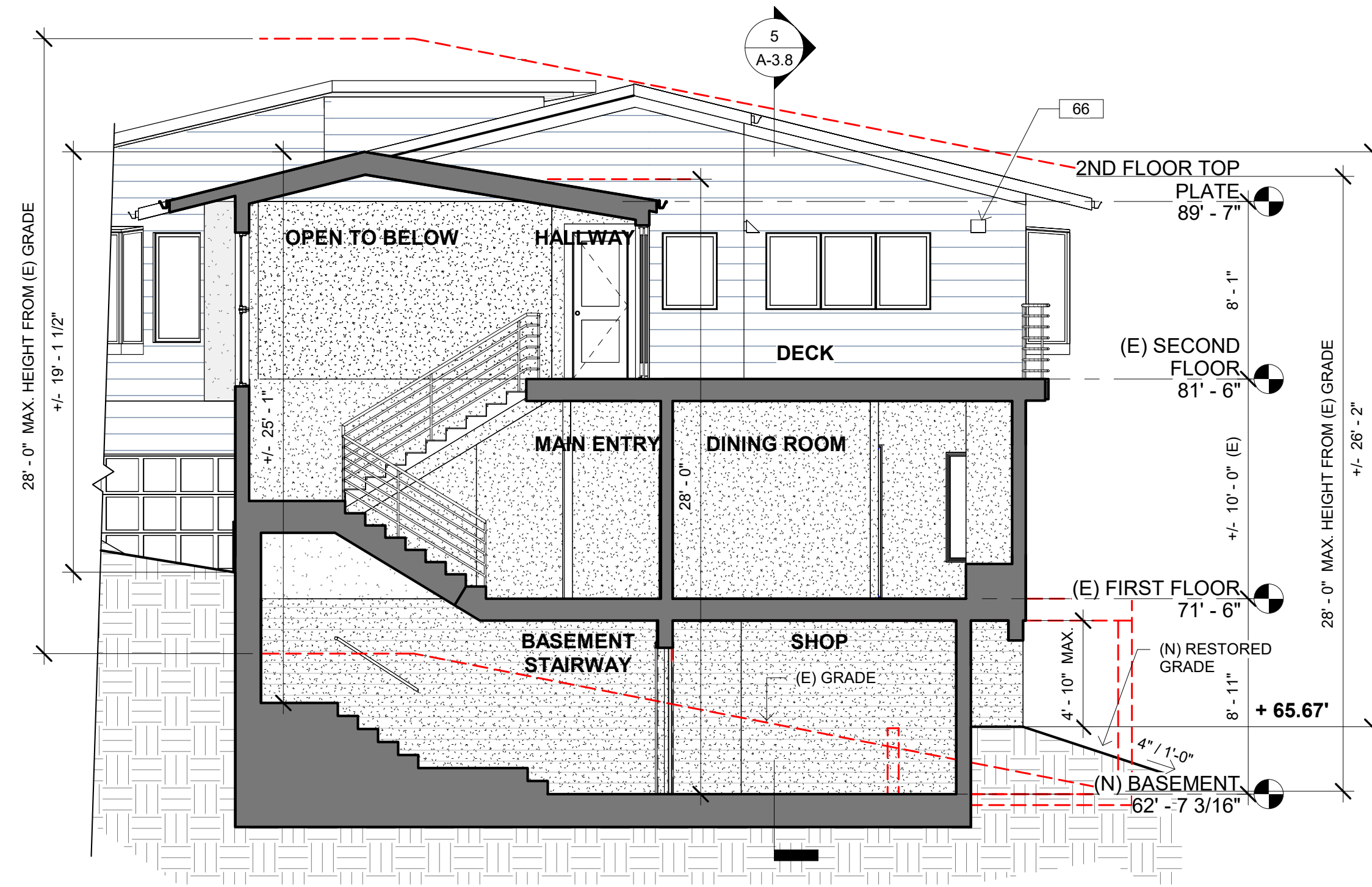
KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
40	OUTLINE OF (E) NON-CONFORMING BASEMENT TO BE REMOVED
66	(N) LED WALL MOUNTED EXTERIOR LIGHT FIXTURE, TYP.



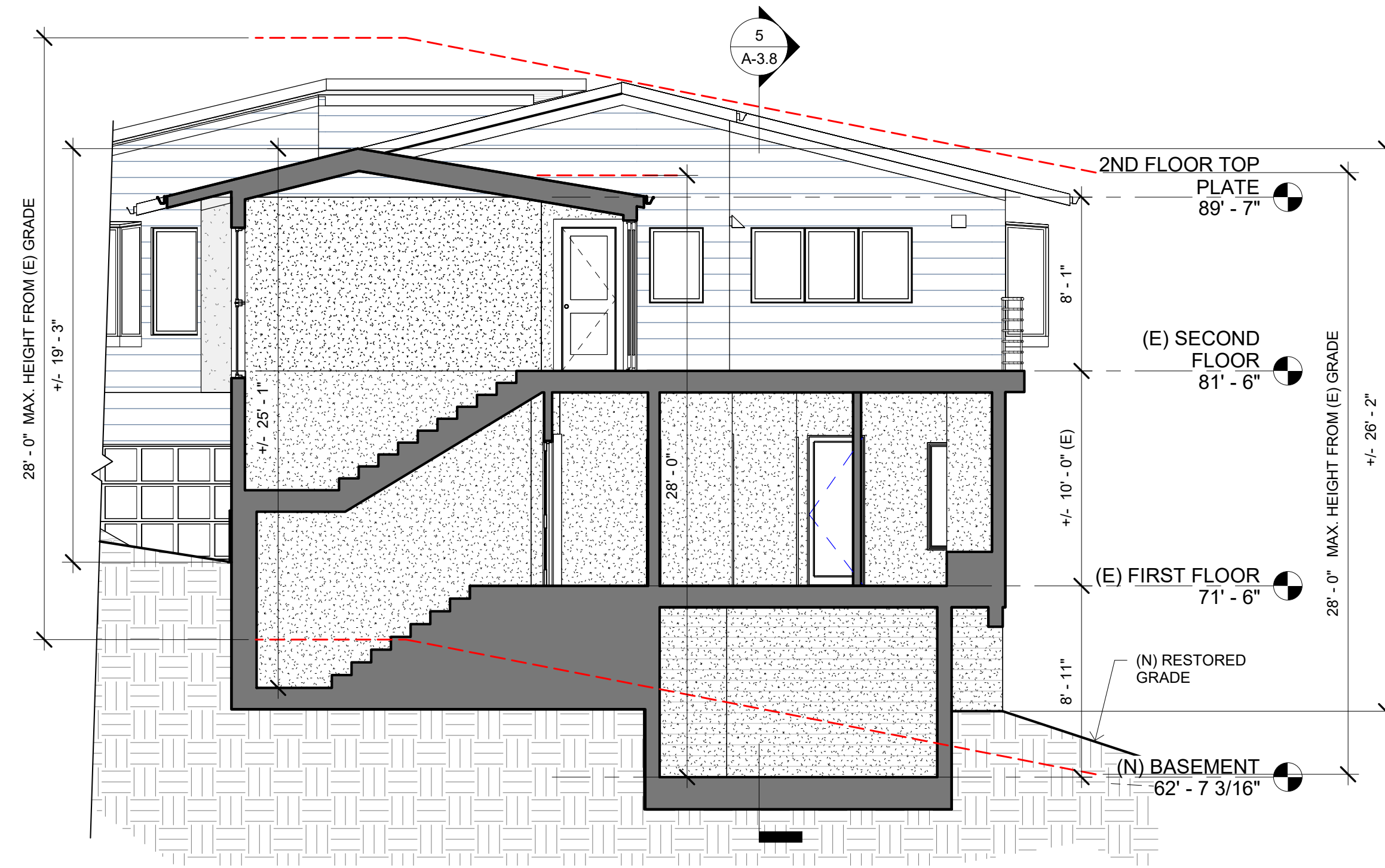
1 PROPOSED CROSS SECTION 1
3/16" = 1'-0"



2 PROPOSED CROSS SECTION 2
3/16" = 1'-0"



3 PROPOSED CROSS SECTION 3
3/16" = 1'-0"



4 PROPOSED CROSS SECTION 4
3/16" = 1'-0"

PROPOSED BUILDING SECTIONS -1

DESIGN REVIEW

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REVISION NO.	DATE	NOTES

SCALE
3/16" = 1'-0"

DRAWN
EPM

JOB NO.
21696

SHEET

A-3.7
OF SHEETS

KEY NOTES LEGEND	
KEY #	KEYNOTE TEXT
40	OUTLINE OF (E) NON-CONFORMING BASEMENT TO BE REMOVED



JOHN MATTHEWS ARCHITECTS

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ALTERATIONS TO (E) SINGLE FAMILY HOME AND NEW ADU FOR

JILL & NATHAN SCHMIDT

3754 HAMILTON WAY, REDWOOD CITY, CA 94062
ASSESSOR'S PARCEL NUMBER: 057 232 250

PROPOSED BUILDING SECTIONS -2

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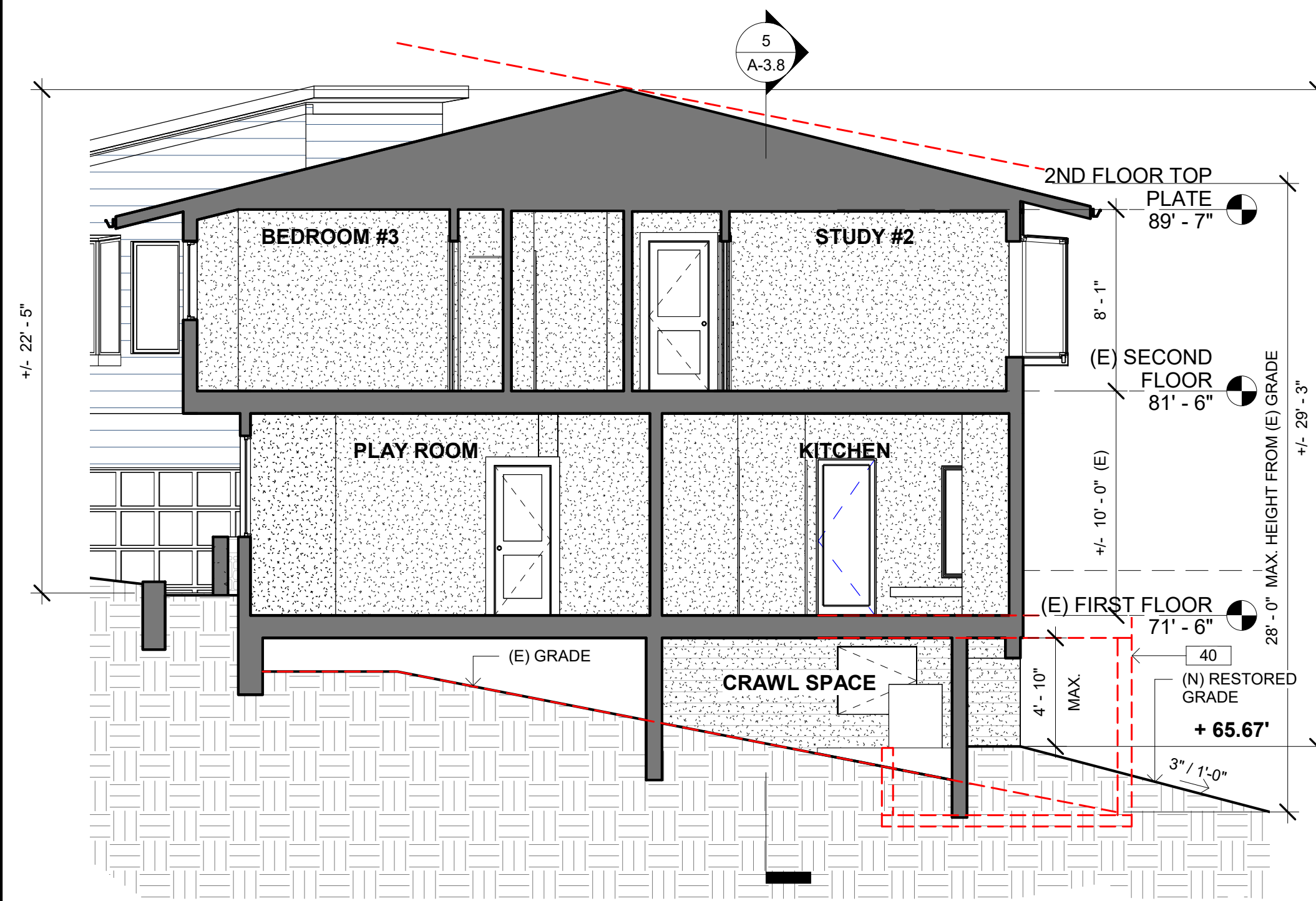
SCALE
3/16" = 1'-0"

DRAWN
EPM
JOB NO.
21696

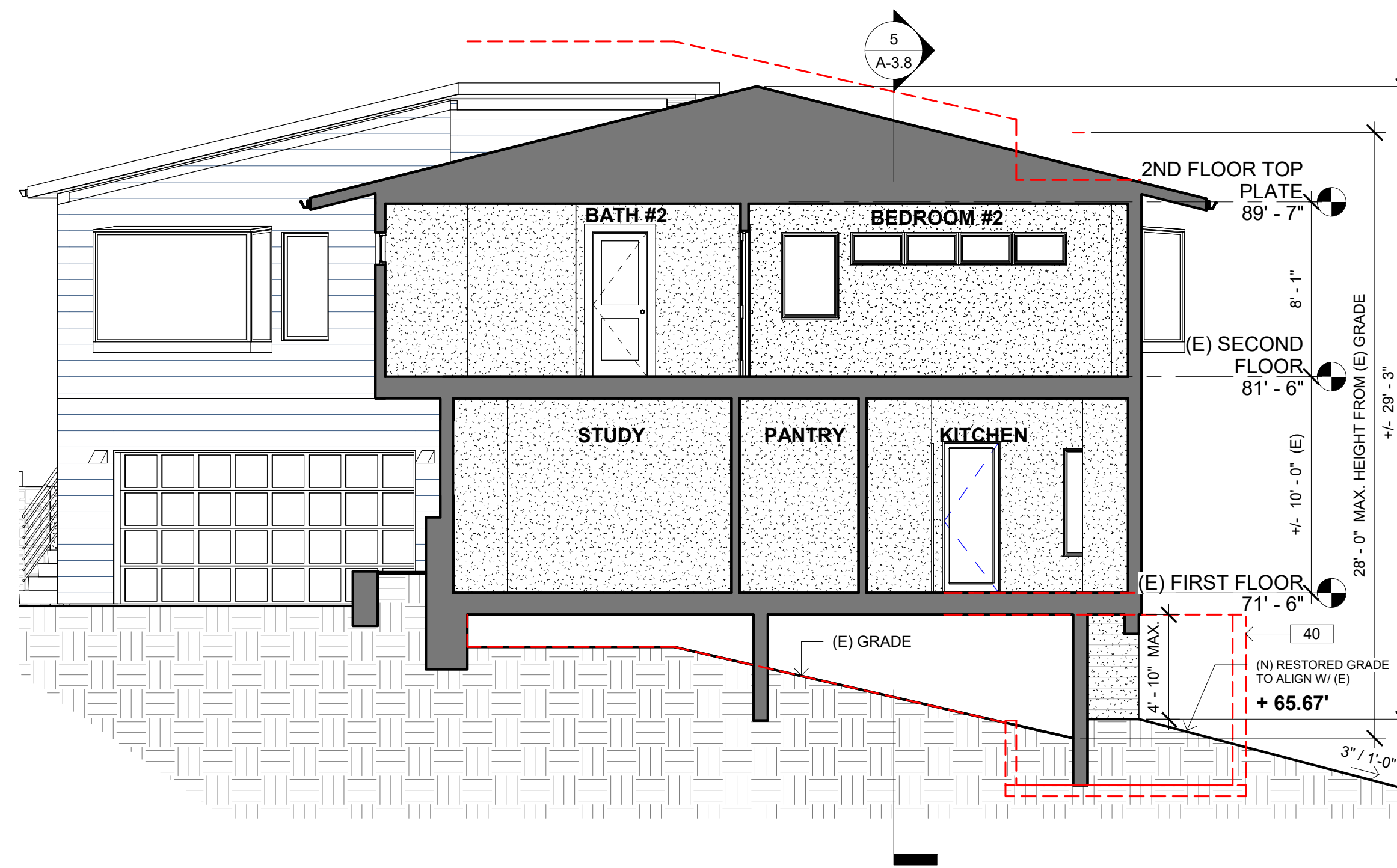
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A-3.8

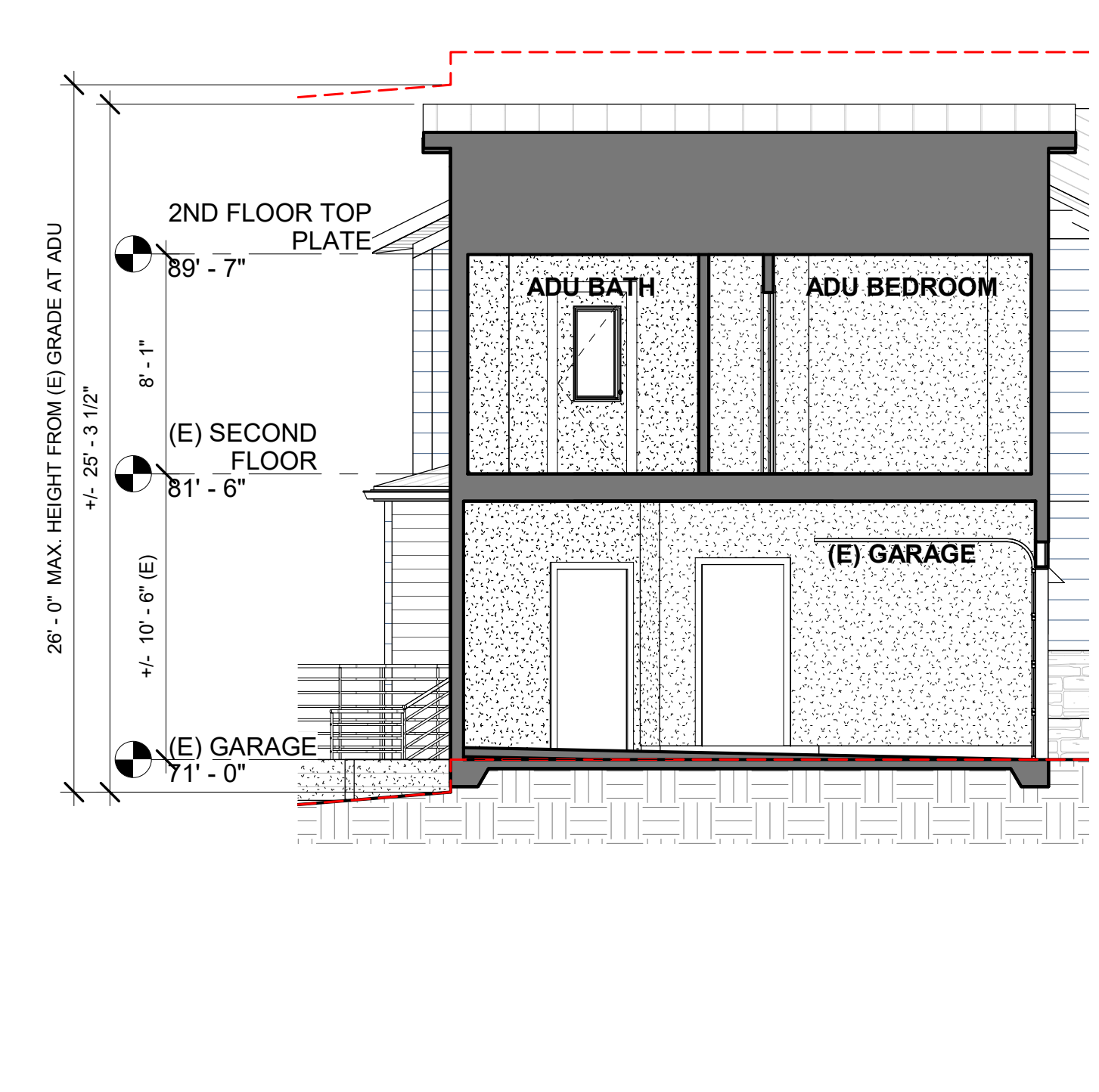
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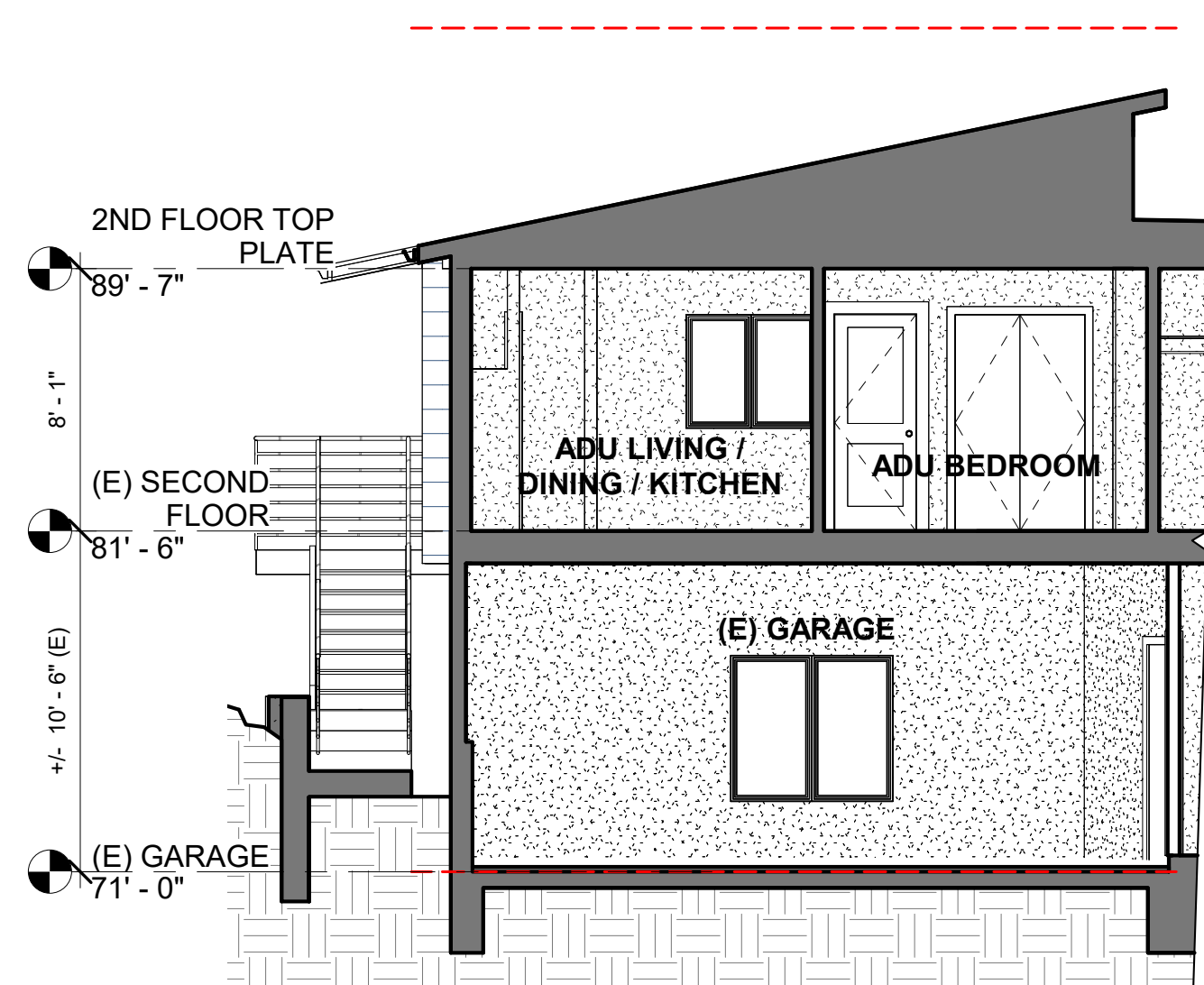
1 PROPOSED CROSS SECTION 6
3/16" = 1'-0"



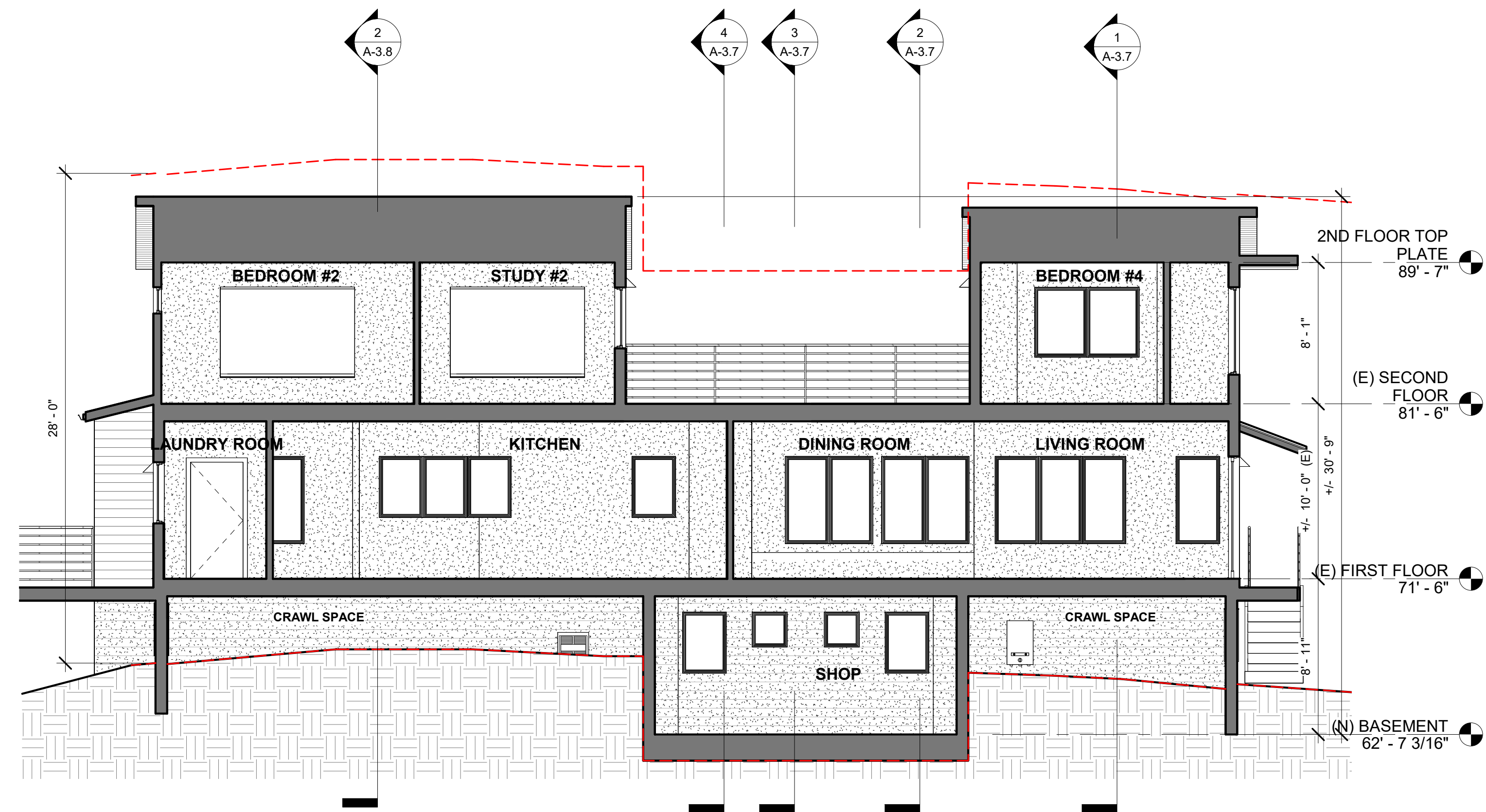
2 PROPOSED CROSS SECTION 5
3/16" = 1'-0"



3 PROPOSED SECTION 1AT (E) GARAGE & NEW ADU
3/16" = 1'-0"



4 PROPOSED SECTION 2 AT (E) GARAGE & NEW ADU
3/16" = 1'-0"



5 PROPOSED LONGITUDINAL SECTION
3/16" = 1'-0"

SCHMIDT RESIDENCE

3754 HAMILTON WAY
 REDWOOD CITY
 CA 94062

Scale 1"=10'

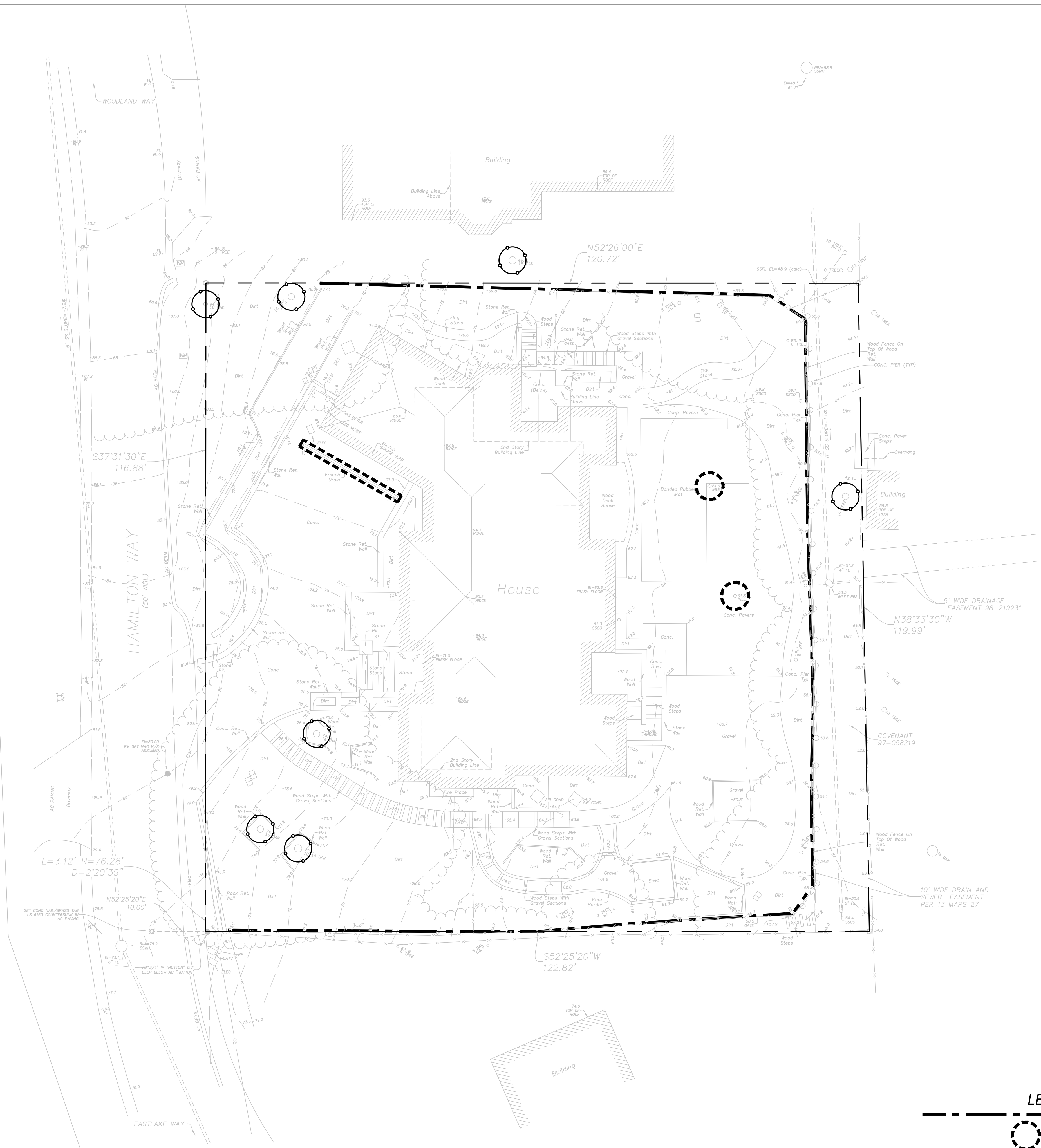
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Job No 202112

Date 12/31/21 Description



EROSION CONTROL AND TREE PROTECTION PLAN



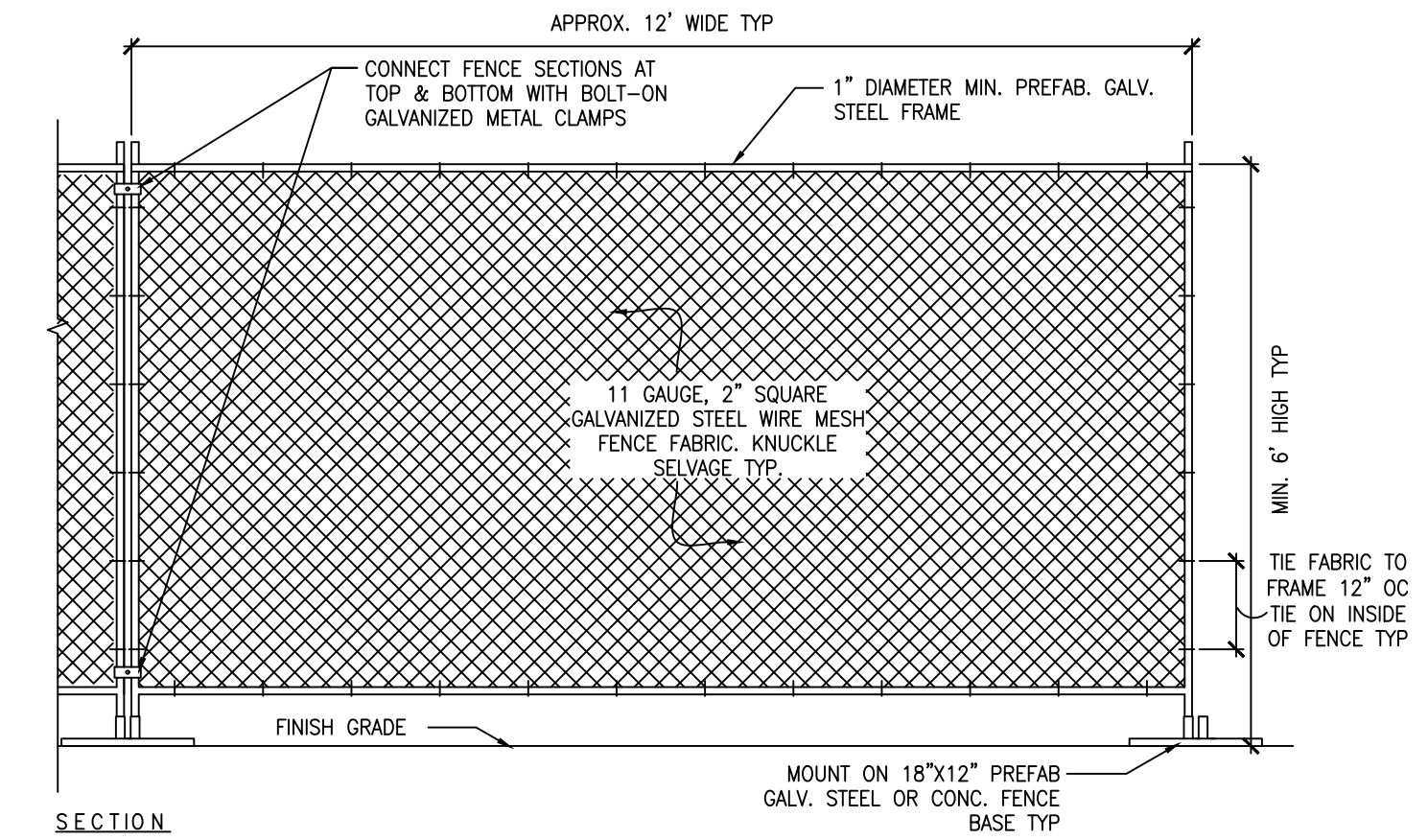
BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY L. WADE HAMMOND (PLS 6163), DATED 6/29/2021.

- LEGEND**
- FIBER ROLL
 - INLET PROTECTION 3/2 OR 1/2 AS APPROPRIATE
 - MAY BE REQUIRED ON SITE. CONTRACTOR TO DETERMINE LOCATION AS NEEDED.
 - CONTRACTOR TO DETERMINE LOCATION FOR TEMPORARY CONCRETE WASHOUT FACILITY ON SITE
 - PROTECT EXISTING TREE TO REMAIN. PROTECT TO THE LIMITS OF THE TREE PROTECTION ZONE (TPZ) AS DEFINED IN THE TREE PROTECTION NOTES AND AS SHOWN ON DETAIL ON SHEET 2.

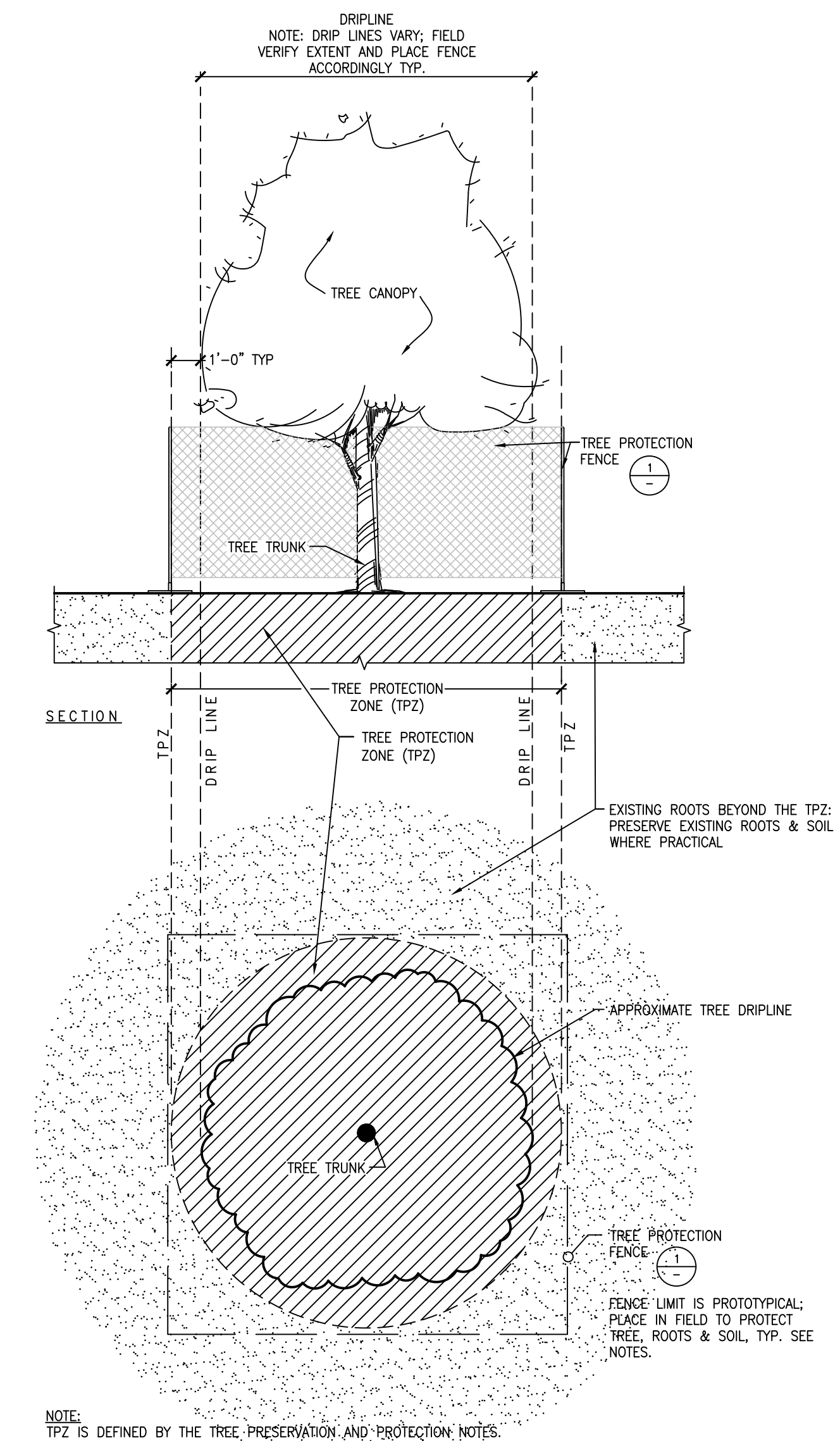
TREE PRESERVATION AND PROTECTION NOTES

1. PRE-CONSTRUCTION MEETING:
IT IS IMPORTANT THAT CONSTRUCTION CREWS UNDERSTAND TREE PROTECTION REQUIREMENTS. PERSONNEL WORKING ON-SITE SHOULD BE PROVIDED WITH AN ORIENTATION TO TREE PRESERVATION MEASURES AND MONITORING FOR TREE PRESERVATION.
2. APPRAISED VALUE:
A. IF A TREE IS DAMAGED, A CERTIFIED ARBORIST DETERMINES THE TREE APPRAISAL VALUE BY ADJUSTING THE TREE'S BASIC VALUE BY ITS CONDITION, LOCATION AND SPECIES USING THE MOST RECENT EDITION OF THE GUIDE FOR PLANT APPRAISAL. THE FORMULA USED SHOULD BE NOTED.
B. REFER TO THE COUNCIL OF TREE AND LANDSCAPE APPRAISERS, CURRENT EDITION, GUIDE FOR PLANT APPRAISAL, CHAMPAIGN, IL; INTERNATIONAL SOCIETY OF ARBORICULTURE.
3. TREE PROTECTION ZONE (TPZ):
EACH TREE TO BE PROTECTED SHALL HAVE A DESIGNATED TPZ IDENTIFYING THE AREA SUFFICIENTLY LARGE ENOUGH TO PROTECT THE TREE, ROOTS AND SOIL FROM DISTURBANCE. THE TPZ IS DEFINED AS THE AREA UNDER THE TREE CANOPY AND EXTENDING TO 1'-0" PAST THE DRIPLINE OF THE TREE. FOR EXAMPLE, A TREE WITH A CANOPY 25' WIDE IN DIAMETER WOULD HAVE A TPZ OF 27' WIDE. ANY DEVIATION IN DETERMINING THE TPZ WILL REQUIRE APPROVAL BY THE CONSTRUCTION MANAGER. SEE TREE PROTECTION DETAIL.
4. PROTECTIVE TREE FENCING FOR TREES:
FENCED ENCLOSURES SHALL BE ERRECTED AROUND TREES TO BE PROTECTED TO ESTABLISH THE TPZ IN WHICH NO SOIL OR ROOT DISTURBANCE IS PERMITTED AND ACTIVITIES ARE RESTRICTED. MAINTAIN TPZ FREE OF WEEDS AND TRASH.
A. NOT ALL TREES REQUIRING PROTECTION MAY BE SHOWN ON THE PLAN; PROTECT ALL TREES THAT HAVE COPY OVER THE SITE. THIS INCLUDES TREES WHOSE TRUNKS ARE OFF SITE, BUT HAVE A CANOPY THAT EXTENDS OVER THE SITE.
B. SIZE AND TYPE OF FENCE: ALL TREES TO BE PRESERVED SHALL BE PROTECTED WITH A 6' HIGH, MINIMUM 11 GAUGE CHAIN LINK FENCE. MOUNT FENCES ON 2-INCH DIAMETER GALVANIZED STEEL POSTS MOUNTED ON SUPPORT FEET.
C. DURATION: TREE FENCING SHALL BE ERRECTED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS AND SHALL REMAIN IN PLACE THROUGH CONSTRUCTION.
D. TREE PROTECTION SIGN: A WARNING SIGN SHALL BE PROMINENTLY DISPLAYED ON EACH FENCE. SIGN SHALL NOT BE LESS THAN 12" X 12" AND SHALL READ: "TREE PROTECTION FENCE. DO NOT REMOVE OR RELOCATE WITHOUT AUTHORIZATION."
E. PLACEMENT: TREE PROTECTION FENCE SHALL BE LOCATED 1'-0" OUTSIDE THE TREE DRIPLINE OR AS OTHERWISE SHOWN ON PLAN. A TREE PROTECTION FENCE LOCATED WITHIN THE TPZ SHALL NOT EXEMPT THE CONTRACTOR FROM COMPLYING WITH THE REQUIREMENTS OF THE TPZ FOR THE ENTIRE LIMITS OF THE TPZ.
F. TEMPORARY REMOVAL OR RELOCATION: RELOCATION OR REMOVAL FOR CONSTRUCTION REQUIRES AUTHORIZATION AND IS PERMITTED ONLY AS REQUIRED FOR CONSTRUCTION. FENCE MUST BE RESTORED TO ORIGINAL LOCATION AS SOON AS PRACTICAL AS CONSTRUCTION ACTIVITIES PERMIT.
5. ACTIVITIES PROHIBITED WITHIN THE TPZ INCLUDE:
A. STORAGE OF PARKED VEHICLES, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS, INCLUDING BUT NOT LIMITED TO PAINT, PETROLEUM PRODUCTS, CONCRETE, STUCCO MIX OR DIRTY WATER
B. THE USE OF TREE TRUNKS AS A WINCH SUPPORT, ANCHORAGE, AS A TEMPORARY POWER POLE, SIGN POSTS OR OTHER SIMILAR FUNCTION
C. CUTTING OF TREE ROOTS BY UTILITY TRENCHING, FOUNDATION DIGGING, PLACEMENT OF CURBS AND TRENCHES AND OTHER MISCELLANEOUS EXCAVATION
D. SOIL DISTURBANCE, SOIL COMPACTION OR GRADE CHANGES
E. DRAINAGE CHANGES
F. FIRES
6. ACTIVITIES PERMITTED OR REQUIRED WITHIN THE TPZ INCLUDE:
A. MULCHING - DURING CONSTRUCTION, IT IS RECOMMENDED THAT WOOD CHIPS OR SIMILAR MATERIAL BE SPREAD WITHIN THE TPZ TO A 2-INCH DEPTH, LEAVING THE TRUNK CLEAR OF MULCH.
B. ROOT BUFFER - WHEN AREAS WITHIN THE TPZ CANNOT BE FENCED, A ROOT BUFFER IS REQUIRED AND SHALL COVER THE ROOT ZONE.
C. IRRIGATION, AERATION, FERTILIZING OR OTHER BENEFICIAL PRACTICES THAT HAVE BEEN SPECIFICALLY APPROVED FOR USE BY THE LANDSCAPE ARCHITECT WITHIN THE TPZ.
D. EXISTING IRRIGATION IS TO BE MAINTAINED AND OPERATED 100% DURING CONSTRUCTION. SEE IRRIGATION PLANS.
7. ROOT BUFFER SHALL BE DEFINED AS: A TEMPORARY LAYER OF MATERIAL TO PROTECT THE SOIL TEXTURE AND ROOTS. THE BUFFER SHALL CONSIST OF A BASE COURSE OF BARK OR WOOD CHIPS SPREAD OVER THE ROOT AREA, KEEPING ONE FOOT CLEAR OF THE TRUNK CLEAR, TO A 4"-6" DEPTH, CAPPED BY A BASE COURSE OF 3/4-INCH QUARRY GRAVEL TO STABILIZE A 3/4" PLYWOOD ON TOP.
8. EROSION CONTROL
IF A TREE IS ADJACENT TO OR IN THE IMMEDIATE PROXIMITY TO A GRADE SLOPE OF 8% OR MORE, THEN APPROVED EROSION CONTROL OR SILT BARRIERS SHALL BE INSTALLED OUTSIDE THE TPZ TO PREVENT SILTATION AND/OR EROSION WITHIN THE TPZ.
9. TUNNELING AND DIRECTIONAL DRILLING
IF TRENCHING OR PIPE INSTALLATION HAS BEEN APPROVED WITHIN THE TPZ, THEN THE TRENCH SHALL BE EITHER CUT BY HAND, AIR SPADE OR BY MECHANICALLY BORING THE TUNNEL UNDER THE ROOTS WITH A HORIZONTAL DIRECTIONAL DRILL AND HYDRAULIC OR PNEUMATIC AIR EXCAVATION TECHNOLOGY. IN ALL CASES, INSTALL THE UTILITY PIPE, IMMEDIATELY BACKFILL WITH SOIL AND SOAK WITHIN THE SAME DAY.
10. TREE PRUNING AND SURGERY
A. ROOT PRUNING: ROOT PROTECTION MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. NECESSARY ROOT PRUNING IS BEST ACCOMPLISHED PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES WHEN EXCAVATION EQUIPMENT WILL BE USED. AFTER BEING EXPOSED BY HAND OR AIR EXCAVATION, ROOTS ARE PRUNED UNDER ARBORIST SUPERVISION. CONSTRUCTION ACTIVITIES ARE THEN FREE TO OCCUR OUTSIDE OF THE ROOT PRUNING BOUNDARY.
B. DO NOT CUT MAIN LATERAL ROOTS OR TAPROOTS. CUT ONLY SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF UTILITIES. CUT ROOTS WITH SHARP PRUNING INSTRUMENTS. DO NOT BREAK OR CHOP.
10. TREE REMOVAL PROCEDURE
TREES MAY ONLY BE REMOVED IF SPECIFICALLY NOTED ON PLAN OR APPROVED FOR REMOVAL BY THE OWNER. WHEN TREES ARE REMOVED, TREE REMOVAL PRACTICES APPLY:
A. OBTAIN PERMIT FROM THE CITY AS REQUIRED.
B. ANY TREE TO BE REMOVED THAT MAY IMPACT A PROTECTED TREE SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
C. THE REMOVAL OF TREES THAT EXTEND INTO THE BRANCHES OR ROOTS OF PROTECTED TREES SHALL NOT BE ATTEMPTED BY DEMOLITION OR CONSTRUCTION PERSONNEL, GRADING OR OTHER HEAVY EQUIPMENT. A CERTIFIED ARBORIST OR CERTIFIED TREE WORKER SHALL REMOVE OR OVERSEE THE REMOVAL OF THE TREE IN A MANNER THAT CAUSES NO DAMAGE ABOVE OR BELOW GROUND TO TREES THAT SHALL REMAIN.
11. SUPPLEMENTAL IRRIGATION:
PROVIDE SUPPLEMENTAL IRRIGATION, AS REQUIRED, BASED ON THE LEVEL OF ROOT LOSS, SOIL CONDITIONS, TREE HEALTH AND TIME OF YEAR.

- NOTES:**
1. LOCATE FENCE WHERE SHOWN ON PLAN. LOCATION MAY BE ADJUSTED SUBJECT TO APPROVAL OF PROJECT INSPECTOR. REMOVE FENCE UPON PROJECT ACCEPTANCE.
 2. CONTRACTOR MAY USE CONTINUOUS CHAIN LINK FENCE FABRIC WITH SUPPORT POSTS DRIVEN INTO THE GROUND AS ACCEPTED BY LANDSCAPE ARCHITECT.
 3. LOCATE GATES WHERE APPROVED BY PROJECT INSPECTOR.



1 CONSTRUCTION & TREE PROTECTION FENCE
NO SCALE



NOTE:
TPZ IS DEFINED BY THE TREE PRESERVATION AND PROTECTION NOTES.

2 TREE PROTECTION
NO SCALE

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Scale NONE

Drawing DETAILS.DWG

Job No 202112

Date 12/31/21

Description



TREE PROTECTION NOTES AND DETAILS